



City of Plymouth Zoning Board of Appeals Regular Meeting Agenda Thursday, April 1, 2021 – 7:00 p.m. ONLINE Zoom Webinar

City of Plymouth
201 South Main Street
Plymouth, Michigan 48170

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Join the Webinar: <https://us02web.zoom.us/j/82453257164>

Webinar ID: 824 5325 7164 Passcode: 800829

Statement of explanation of the reason why the public body is meeting electronically:

On March 10, 2020 the Governor of the State of Michigan declared a State of Emergency across the State of Michigan under section 1 of Article 5 of the Michigan Constitution of 1963, the Emergency Management Act, 1976 PA 390, as amended, MCL 30.401 – 421, and the Emergency Powers of the Governor Act of 1945, 1945 PA 302, as amended, MCL10.31 – 33. These sections provide the governor with broad powers and duties to cope with dangers to this state or to the people of the state.

As a part of the response to the emergency, the Governor has deemed it reasonable and necessary to temporarily suspend rules and procedures relating to physical presence at meetings and hearings of public bodies and other governmental entities in Michigan. These public bodies and entities must continue to conduct public business during this emergency.

- 1) **CALL TO ORDER**
 - a) Roll Call
- 2) **CITIZEN COMMENTS**
- 3) **APPROVAL OF THE MINUTES**
 - a) Approval of the February 24, 2021 joint educational working session minutes
 - b) Approval of the March 4, 2021 meeting minutes
- 4) **APPROVAL OF THE AGENDA**
- 5) **OLD BUSINESS**
- 6) **NEW BUSINESS**
 - a) **Z 21-07:** 271 S. Main, non-use variance for windows facing interior lot line within the side yard setback.
 - b) **Z 21-08:** 921 Sutherland, non-use variance for garage height.
- 7) **COMMISSIONER COMMENTS**
- 8) **REPORTS AND CORRESPONDENCE**
- 9) **ADJOURNMENT**

Citizen Comments - This section of the agenda allows up to 3 minutes to present information or raise issues regarding items not on the agenda. Upon arising to address the Commission, speakers should first identify themselves by clearly stating their name and address. Comments must be limited to the subject of the item.

Persons with disabilities needing assistance should contact the City Clerk's office at 734-453-1234 Monday through Friday from 8:00 a.m. -4:30 p.m., at least 24 hours prior to the meeting. An attempt will be made to make reasonable accommodations.

City of Plymouth Strategic Plan 2017-2021

GOAL I - QUALITY OF LIFE
<p>OBJECTIVES</p> <ul style="list-style-type: none"> Support the neighborhoods with high-quality customer service Engage in collaboration with private entities and surrounding municipalities to implement the Joint Recreation Master Plan Improve communication with the public across multiple platforms Maintain a high level of cleanliness throughout the City Support and host a diverse variety of events that foster community and placemaking

ONE-YEAR TASKS 2021

- Restore sports and recreational programs that were halted by COVID-19 as soon as possible
- Review and evaluate the special event policy with safety considerations
- Address challenges with the Kellogg Park improvements with safety considerations
- Move Kellogg Park Fountain project forward
- Continue to re-engage service clubs to help enhance parks and public properties
- Increase followers by 2,000 on all our communications platforms
- Develop an internal and external communications plan
- Upgrade City Hall facilities to accommodate remote meetings and remote participation
- Continue investigating multi-modal transportation opportunities
- Revisit noise ordinance

GOAL II - FINANCIAL STABILITY
<p>OBJECTIVES</p> <ul style="list-style-type: none"> Approve balanced budgets that maintain fiscal responsibility Advocate for increased revenue sharing with the State of Michigan Encourage and engage in partnerships, both public and private, to share costs of services and equipment Address the issue of legacy costs Seek out and implement efficient and effective inter-departmental collaboration Market our successes to attract new economic and investment opportunities

ONE-YEAR TASKS 2021

- Identify mechanisms for funding sources for capital improvement projects
- Increase funding to the Public Improvement Fund
- Create a potential package for financing emergency structural repairs
- Develop a comprehensive asset management plan that includes a review of the equipment fleet
- Search out other possible revenue streams through continued association with the CWW and the MML
- Develop a financial plan for public safety
- Continue to make extra payments towards legacy costs
- Monitor outside influences on our revenue sources, including unfunded mandates, the 35th District Court and the PCCS
- Negotiate three labor contracts

GOAL III - ECONOMIC VITALITY
<p>OBJECTIVES</p> <ul style="list-style-type: none"> Continue to support and improve active, vibrant downtown branding Support community and economic development projects and initiatives Support a mix of industrial, commercial and residential development Reference the Master Plan in economic decision-making

ONE-YEAR TASKS 2021

- Complete Saxton's development
- Develop municipal parking lot at Saxton's site
- Support development of 23 parcels adjacent to the Starkweather School property
- Continue to administer the grant and the brownfield plan to support the Pulte project's completion
- Finish Redevelopment Ready Community (RRC) certification by the end of the 2021
- Develop an annual training calendar for the Planning Commission, the Historic District Commission, the Zoning Board of Appeals and the DDA, and identify a funding source
- Implement temporary plans to assist businesses in recovery efforts

GOAL IV - SERVICE AND INFRASTRUCTURE
<p>OBJECTIVES</p> <ul style="list-style-type: none"> Support administration and staff by providing professional development opportunities, supplying resources, and maintaining a commitment to recruitment, retention, succession planning Support and deliver safe and responsive emergency services Maintain a sophisticated and responsive technology to communicate and manage data Continually record, maintain, update, and improve City infrastructure

ONE-YEAR TASKS 2021

- Explore enhanced pedestrian safety opportunities into targeted intersections
- Research funding opportunities for ADA compliance at the PCC
- Implement 2021 infrastructure program
- Continue training for future career development and succession planning
- Conduct a traffic study to determine whether to make additional streets one way
- Update mapping resources including parcel data, completing 50% by the end of the year
- Update/replace current technology to ensure compliance with new regulations, rules, and operating systems
- Revisit paid parking

City of Plymouth
Zoning Board of Appeals Notice
Thursday, April 1, 2021 – 7:00 p.m.
Online Zoom Webinar

201 S. Main Street Plymouth, Michigan 48170
Website: www.plymouthmi.gov Phone: (734) 453-1234 ext. 232

A regular meeting of the Zoning Board of Appeals will be held on Thursday, April 1, 2021 at 7:00 P.M. online via Zoom to consider the following:

Z21-07 Non-Use Variance Request for 271 S. Main
Windows facing interior lot line within the side yard setback
Zoned: B-2, Central Business District
Applicant: Joe Philips

Z21-08 Non-Use Variance Request for 921 Sutherland
Garage height
Zoned: R-1, Single Family Residential
Applicant: Craig Beck

All interested persons are invited to attend.

In compliance with the Americans with Disabilities Act, the City of Plymouth will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting/hearing, to individuals with disabilities. Requests for auxiliary aids or services may be made by writing or calling the following:

Maureen Brodie, ADA Coordinator
201 S. Main Street
Plymouth, MI 48170, (734) 453-1234, Ext. 234

Publish: Thursday, March 18, 2021



Plymouth Planning Commission and Zoning Board of Appeals Joint Educational Working Session Minutes Wednesday, February 24, 2021 - 7:00 p.m.

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Online Zoom Webinar

1. CALL TO ORDER

Planning Commission Chair Karen Sisolak called the meeting to order at 7:00 p.m.

Planning Commission Members Present: Chair Sisolak, Joe Hawthorne, Tim Joy, Jennifer Kehoe, Charles Myslinski, Adam Offerman, Hollie Saraswat, Scott Silvers

Zoning Board of Appeals Members Present: Chair Joe Elliott, Jim Burrows, Michael Devine, Ed Krol

Also present: Community Development Director John Buzuvis, Assistant Community Development Director Greta Bolhuis and Building Official Brent Strong

2. CITIZENS COMMENTS

There were no citizen comments.

3. EDUCATIONAL WORKING SESSION

a. Building Height

Strong provided information and examples of how building grade and height are determined and on how City ordinances affect them. Members of the Planning Commission and ZBA asked questions and received clarification on several points.

b. Accessory Structure Height and Habitable Space

Strong explained the process of determining the height of accessory buildings and gave the definition of habitable space (a space where someone can live) and occupiable space (a space that is used for storage and has no kitchen or sleeping amenities). Planning Commission and ZBA members discussed the definitions and the possibility of revisiting ordinances related to them some time in the future.

4. ADJOURNMENT

Myslinski offered a motion, seconded by Joy to adjourn the meeting at 8:33 p.m.

MOTION PASSED 12-0



City of Plymouth
Zoning Board of Appeals
Regular Meeting Minutes
Thursday, March 4, 2021 - 7:00 p.m.

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Online Zoom Meeting

1. CALL TO ORDER

Chair Joe Elliott called the meeting to order at 7:00 p.m.

Present: Chair Elliott, Members Jim Burrows, Mike Devine, Mike Gowen

Excused: Members Ed Krol and Scott Silvers

Also present: Assistant Community Development Director Greta Bolhuis

2. CITIZENS COMMENTS

Jeffrey Longe, 690 Forest, said he thinks the FAR is sometimes miscalculated by applicants and that the ZBA application should be revised to clarify whether the FAR is part of the variance request.

3. APPROVAL OF THE MEETING MINUTES

Burrows offered a motion, seconded by Devine, to approve the minutes of the February 4, 2021 meeting.

There was a roll call vote.

Yes: Burrows, Devine, Elliott, Gowen

MOTION PASSED 4-0

Burrows offered a motion, seconded by Devine, to approve the minutes of the February 11, 2021 meeting.

There was a roll call vote.

Yes: Burrows, Devine, Elliott, Gowen

MOTION PASSED 4-0

Burrows offered a motion, seconded by Devine, to approve the minutes of the February 16, 2021 meeting.

There was a roll call vote.

Yes: Burrows, Devine, Elliott, Gowen

MOTION PASSED 4-0

4. APPROVAL OF THE AGENDA

Burrows offered a motion, seconded by Devine, to approve the agenda for March 4, 2021.

There was a roll call vote.

Yes: Burrows, Devine, Elliott, Gowen

MOTION PASSED 4-0

5. OLD BUSINESS

There was no old business.

6. NEW BUSINESS

a. Z21-05: 1294 Maple – non-use variance for side yard setback

Applicant Nate Johns described the proposed project.

Citizen Comments

Jeff Wassel, 1302 Maple, spoke in support of the variance.

Board Comments

Board members discussed current setbacks in the neighborhood and the size of the variance.

Devine offered a motion, seconded by Burrows, to approve request Z21-05 at 1294 Maple, for a variance of 3.55 feet along the west side yard setback for a distance of approximately 3 feet, as shown on the submitted drawing and substantiated by administration and a survey.

Findings of Fact

The west property line is a unique shape.

The variance only allows an extension of an existing nonconforming wall, and there is no change in distance to the neighboring structure to the west.

The current layout of the house contributes to the practical difficulty requiring a variance.

Conditions

The variance only applies to a single-story garage.

There was a roll call vote.

Yes: Burrows, Devine, Elliott, Gowen

MOTION PASSED 4-0

b. Z21-06: 629 Herald – non-use variance for front yard setback

Applicant Brandon Morris described the proposed project.

Citizen Comments

Elliott read a letter from Chip Humitz, 623 Herald, in support of the variance request.

Board Comments

After a discussion, Devine offered a motion, seconded by Burrows, to approve variance Z21-06 for 629 Herald for a variance of 2.7 feet to the front yard setback for a front porch.

Findings of Fact

A porch has been identified as an integral part of Plymouth's walkability.
A porch would be allowed without a variance if a garage is constructed.

Condition

The porch must meet all the criteria of the incentive porch ordinance.

There was a roll call vote.

Yes: Burrows, Devine, Elliott, Gowen

MOTION PASSED 4-0

7. COMMISSIONER COMMENTS

There were no commissioner comments.

8. REPORTS AND CORRESPONDENCE

Elliott said he attended a mayor and chairs meeting. He will forward a summary to board members.

Bolhuis said she would let board members know whether Zoom and/or hybrid meetings will continue.

10. ADJOURNMENT

A motion to adjourn was offered at 8:26 p.m. by Burrows and seconded by Gowen.

There was a roll call vote.

Yes: Burrows, Devine, Elliott, Gowen

MOTION PASSED 4-0



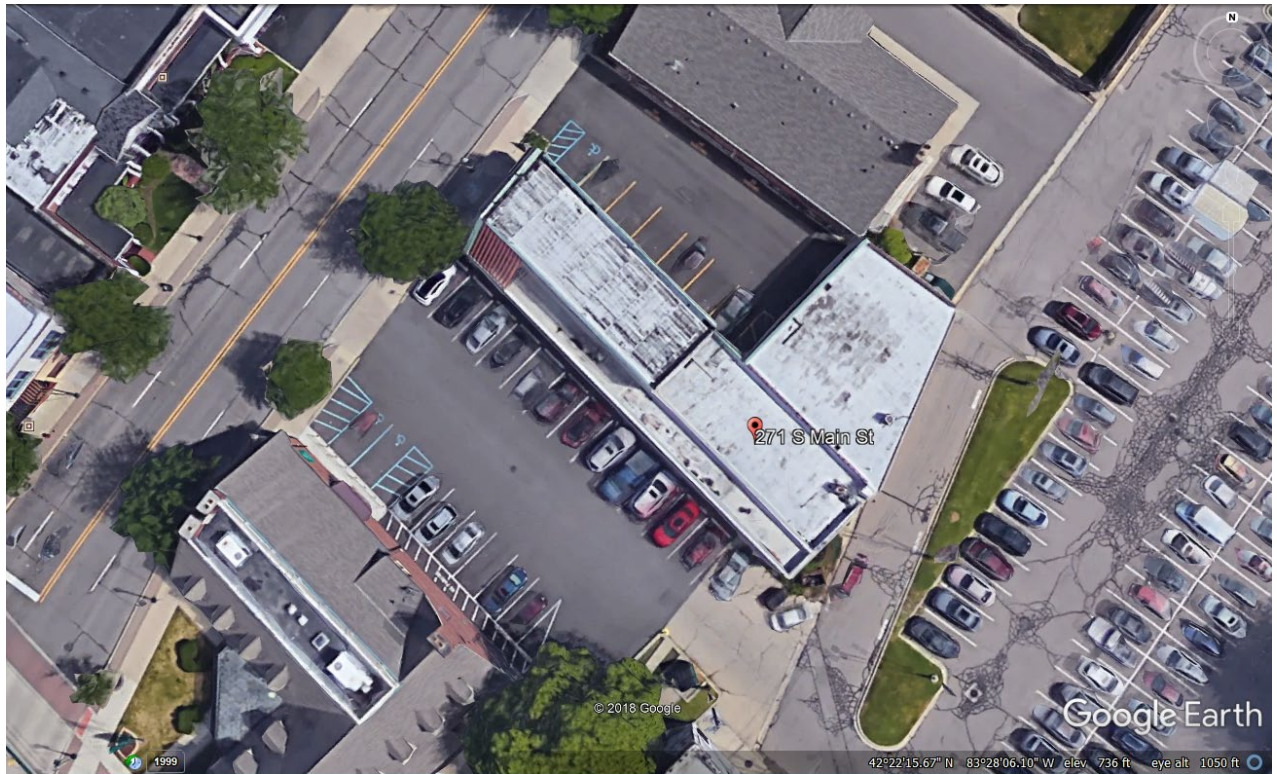
**CITY OF PLYMOUTH
COMMUNITY DEVELOPMENT**
201 South Main Street Plymouth, MI 48170
Ph. 734-453-1234 ext. 232
Website: www.plymouthmi.gov

TO: Zoning Board of Appeals Commissioners
FROM: Greta Bolhuis, Assistant Community Development Director
DATE: March 25, 2021
RE: 271 S. Main, Non-Use Variance Request

Joe Philips, applicant, is requesting a non-use variance to install additional interior facing windows within the side yard setback. The property is approximately 69 feet wide and 135 feet deep (both width and depth are variable). The property is 10,981 square feet and is zoned B-2, Central Business District.

Section 78-191(f) states "If walls of structures facing interior lot lines contain windows or other openings, side yards of not less than ten feet shall be provided." The applicant is proposing adding windows on the first and second floor on the side of the building which is built to the property line. A variance of 10 feet is required.

Should you have any questions regarding this agenda item, please contact me directly.





DIMENSIONAL (NON-USE) VARIANCE APPLICATION

Community Development Department

201 S. Main Street Plymouth, MI 48170 Ph. 734-453-1234 ext. 232

Website: www.plymouthmi.gov

Type of Variance Request: DIMENSIONAL – Common regulations subject to dimensional (non-use) variance requests: setbacks, signs, height, parking regulations, lot coverage, and bulk or landscaping restrictions. Uniqueness: odd shape, small size, wetland, creek, natural features, big trees or slopes.

271 S. MAIN STREET

02/11/21

Address of Property

Date of Application

JOSEPH PHILIPS

BRIAN LAHELOIS

OPERATIONS DIRECTOR

Applicant Name

Property Owner

921 WING ST.

PLYMOUTH

MI 48170

Address

City

State Zip

JOSEPHPHILIPSARCHITECT@GMAIL.COM

(734) 455-8354

Email

Phone

Three Basic Functions of the ZBA:

1. Interpreting the zoning ordinance (text and map) and nonconforming situations.
2. Deciding appeals on administrative decisions, special land uses, or PUDs.
3. Granting variance requests.

Standards for Dimensional (Non-Use) Variance: [Click here to see full ordinance language.](#)

1. Ordinance unreasonably prevents the owner from using the property for what it is zoned
2. Variance will do substantial justice to the applicant, and the surrounding community
3. Problem is due to the unique circumstances of the property
4. Problem is not self-created

A quorum (3 members) is required for approval of all non-use variance requests.

The Zoning Board of Appeals meets the first Thursday of each month at 7:00PM. The completed application and necessary/applicable plans must be filed with a fee of \$250.00 for single family projects or \$500.00 for multi-family and non-residential. Visit the City's website for submittal deadlines and meeting dates: [Zoning Board of Appeals](#). Ten (10) copies of the application and plans including but not limited to survey, plot map, building plans, and photos are encouraged at submittal.

The Zoning Board of Appeals will not accept incomplete applications. Signature of property owner and applicant, as well as notarization is required for every application. There are notaries located in City Hall. The Community Development Department has the right to remove an item from the agenda due to incompleteness.

Article and Section of the Zoning Ordinance for which an appeal or variance is being requested:

ARTICLE XVII, SECTION 78-191(S): NOTES TO SCHEDULE - SIDE YARDS (10' REQUIRED)

I (We) hereby appeal to the Zoning Board of Appeals for a variance to:

ALLOW ADDITIONAL WINDOWS WITHIN EXISTING AND PROPOSED WALLS LOCATED ON THE PROPERTY LINE

Description of Property

Current zoning classification: B-2

Current use of structure(s) on premises: GROWTH WORKS - SEE TITLE SHEET

Is it a corner or interior lot? INTERIOR LOT

Size and area of lot: SEE SITE PLAN 0.252 ACRES, 10,981.75 SQ. FT.

Total square footage of existing main structure(s): SEE TITLE SHEET

Total square footage of accessory structure(s): N/A

Existing lot coverage (percentage) of all buildings and structures: N/A

Height of existing main ~~and/or accessory~~ structures: VARIES - 23'-0" + L MAX.

Description of Proposed Structures

Dimensions and area of structure or addition to be constructed: SEE ATTACHED DRAWINGS

Front yard setback after completion (measured from property line): VARIES - 8'-0" + L MIN.

Rear yard setback after completion (measured from property line): ZERO

Side yard setback after completion (measured from property line): VARIES - ZERO MIN.

Height of proposed structure: 23'-0" + L

Lot coverage (percentage) after completion: N/A

Residential Only: Floor Area Ratio (FAR) after completion (shall not exceed 0.4): _____

A scaled drawing or boundary survey depicting the above information.

Please answer all of the following questions as they relate to the dimensional variance, use additional sheets as necessary:

1. What are the practical difficulties preventing compliance with the ordinance? Are these practical difficulties an exception or unique to the property compared to other properties in the City? (NOTE: The ZBA cannot grant a variance because it is inconvenient or more expensive to build to ordinance or solely to satisfy aesthetic concerns.) _____

SEE ATTACHMENT "A"

2. What effect will the variance have on neighboring properties? _____

SEE ATTACHMENT "A"

3. Is the practical difficulty which prevents you from complying with the ordinance self-imposed? How did the practical difficulty come about? (NOTE: The ZBA has generally found that purely aesthetic consideration and self-created hardships are unacceptable grounds for a variance.) _____

SEE ATTACHMENT "A"

4. Why do the ordinance restrictions unreasonably prevent the owner from using the property for a permitted purpose? _____

SEE ATTACHMENT "A"

I hereby depose and say that all the above statements and the statements contained in the papers submitted herewith are true and correct:

Signature of Property Owner

Signature of Applicant

Subscribed and sworn before me this _____ day of _____, 20_____

Notary Public

My Commission expires _____

271 S. MAIN STREET
NON-USE VARIANCE: SIDE YARD SETBACK VARIANCE REQUEST

**ATTACHMENT A - RESPONSE TO THE FOLLOWING ZONING BOARD OF
APPEAL "DIMENSIONAL (NON-USE) VARIANCE APPLICATION" ITEMS**

- 1) What are the practical difficulties preventing compliance with the ordinance? Are these practical difficulties an exception or unique to the property in the city?
 - A. THE BUILDING IS EXISTING AND CURRENTLY ENJOYS WINDOWS ON THE SOUTH ELEVATION.
 - B. THE SOUTHERN MOST PART OF THE BUILDING TO WHICH WE ARE SEEKING A VARIANCE WAS BUILT IN 1953. THERE ARE CURRENTLY ELEVEN (11) WINDOWS ON THE SOUTH ELEVATION OF THE BUILDING.
 - FOUR (4) OF THE WINDOWS ARE LOCATED ON THE FIRST FLOOR AND ARE LOCATED ON A WALL CONSTRUCTED ON THE SOUTHERN PROPERTY LINE.
 - SEVEN (7) OF THE WINDOWS ARE LOCATED ON THE SECOND FLOOR AND ARE LOCATED ON A WALL CONSTRUCTED APPROXIMATELY 9'-2' OFF THE SOUTHERN PROPERTY LINE.
 - C. ALL OF THE ELEVEN (11) WINDOWS ARE IN VIOLATION OF THE CURRENT ZONING ORDINANCE. WHETHER THE WINDOWS ON THIS ELEVATION HAVE BEEN THERE SINCE 1953 IS UNCERTAIN.
 - D. ROOMS ON THE SOUTH ELEVATION ARE USED PRIMARILY FOR BUSINESS AND MEETING FUNCTIONS. BECAUSE OF THEIR SIZE OCCUPANCY OF THESE ROOMS IS LIGHT.
 - E. EMPLOYEES AND CLIENTS HAVE COME TO ENJOY THE BENEFITS OF DIRECT SUNLIGHT INTO THE BUILDING FROM THE SOUTH ELEVATION FOR MANY YEARS.
 - F. THE PROPOSED CONSTRUCTION WILL RESULT IN THE FOLLOWING:**
 - a. FORMERLY APPROVED BY THE ZBA:**
 - i. FIFTEEN (15) WINDOWS BEING LOCATED ON THE SOUTH ELEVATION:
 - EIGHT (8) WINDOWS ON THE FIRST FLOOR. [Four(4) Existing Will Remain And Four (4) Windows Are Proposed.]
 - SEVEN (7) WINDOWS ON THE SECOND FLOOR. [Five (5) Existing Will Remain, Two (2) Will Be Removed And Two (2) Windows Are Proposed.
 - b. NOW SEEKING APPROVAL OF THE ZBA:**
 - i. ADDITIONAL TEN (10) WINDOWS TO BE LOCATED ON THE SOUTH ELEVATION:**
 - **FIVE(5) WINDOWS ON THE FIRST FLOOR.** [Three (3) Existing Will Be Removed and Five (5) Windows Are Proposed.]
 - **FIVE (5) WINDOWS ON THE SECOND FLOOR.** [Five (5) Existing Will Be Removed and Five (5) Windows Are Proposed.]

Note: Italicized and bolded text above is the extent of text revised from former approved submittal to this current ZBA Request.

G. THE PROPOSED ADDITION TO THE BUILDING IS NOT SO MUCH THE RESULT OF THE NEED FOR ADDITIONAL SQUARE FOOTAGE AS IT IS TO PROVIDE A BUILDING MASS THAT WILL ACCEPT THE PROPOSED TWO STORY FAÇADE DESIRED BY GROWTH WORKS. ADDITIONAL WINDOWS ARE PROPOSED TO COMPLIMENT THE DESIGN AND TO ADD WINDOWS IN EXISTING DARK ROOMS LOCATED ON THE FIRST FLOOR.

THE EXISTING BUILDING LOCATION, COUPLED WITH THE FACT THAT WINDOWS ALREADY EXIST ON THE SOUTH WALL OF THE BUILDING CONSTITUTE THE PRACTICAL DIFFICULTIES THAT ARE UNIQUE TO THIS PROPERTY.

2) What effect will the variance have on neighboring properties?

THE PROPOSED VARIANCE AND SUBSEQUENT ADDITION WILL HAVE THE FOLLOWING POSITIVE EFFECTS ON THE NEIGHBORING PROPERTIES.

- INCREASE THE VISUAL APPEAL OF THE DOWNTOWN BY ALLOWING A FULL 2 STORY FAÇADE ADDITION TO THE EXISTING BUILDING THAT IS RESPECTFUL OF ITS SURROUNDINGS, THE SCALE OF THE NEIGHBORING STRUCTURES AND THE ARCHITECTURAL CHARACTER OF THE AREA.
- ADD MORE LIFE TO THE SOUTH ELEVATION OF THE BUILDING BY PROVIDING ADDITIONAL WINDOWS.

3) Is the practical difficulty which prevents you from complying with the ordinance self-imposed? How did the practical difficulty come about?

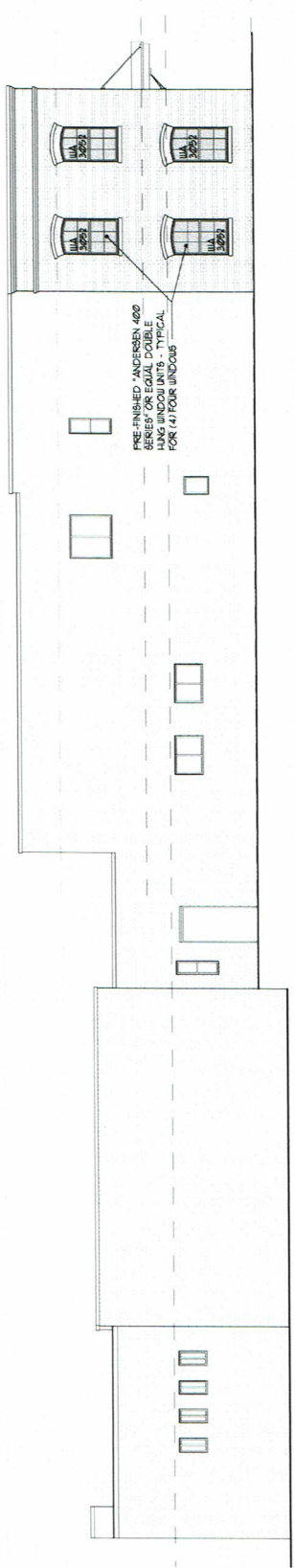
NO, THE CONDITIONS, WHICH EXIST, THAT WARRANT THE GRANTING OF THESE VARIANCES WERE IN PLACE BEFORE THE CURRENT OWNERS PURCHASED THE PROPERTY. THE LOCATION OF THE EXISTING BUILDING, AS WELL AS THE EXISTENCE OF SOUTH WALL WINDOWS ALL EXISTED PRIOR THE APPLICANT PURCHASING THE PROPERTY.

THE EXISTING BUILDING IS NON-CONFORMING BECAUSE IT IS NOT LOCATED WITHIN THE CURRENT REQUIRED SETBACKS. WHEN THE STRUCTURE WAS BUILT, IT IS ASSUMED THAT IT DID IN FACT CONFORM TO THEN CURRENT ORDINANCES. IF THE SETBACK REQUIREMENTS DID NOT CHANGE OR IF THE EXISTING STRUCTURE WAS BUILT TO CURRENT SETBACK REQUIREMENTS, A VARIANCE WOULD MORE THAN LIKELY NOT BE REQUIRED.

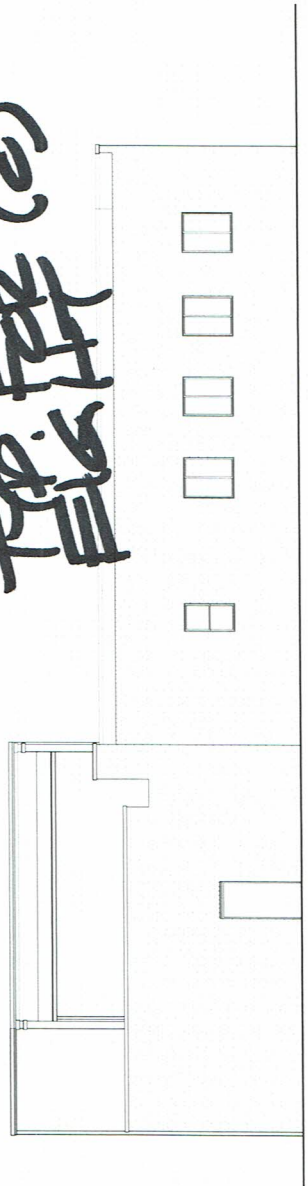
4) Why do the ordinance restrictions unreasonably prevent the owner from using the property for a permitted purpose?

THE ORDINANCE RESTRICTIONS PREVENT THE APPLICANT FROM ADDING ONTO THE EXISTING BUILDING PROVIDING CONSTRUCTION THAT MATCHES THE EXISTING. TYPICALLY BUILDING A SECOND FLOOR AND ADDING WINDOWS ON AN EXTERIOR WALL IS WHAT A PROPERTY OWNER COULD EXPECT. IF THE BUILDING WERE CONSTRUCTED CONFORMING TO CURRENT SETBACK REQUIREMENTS A VARIANCE WOULD NOT BE REQUIRED.

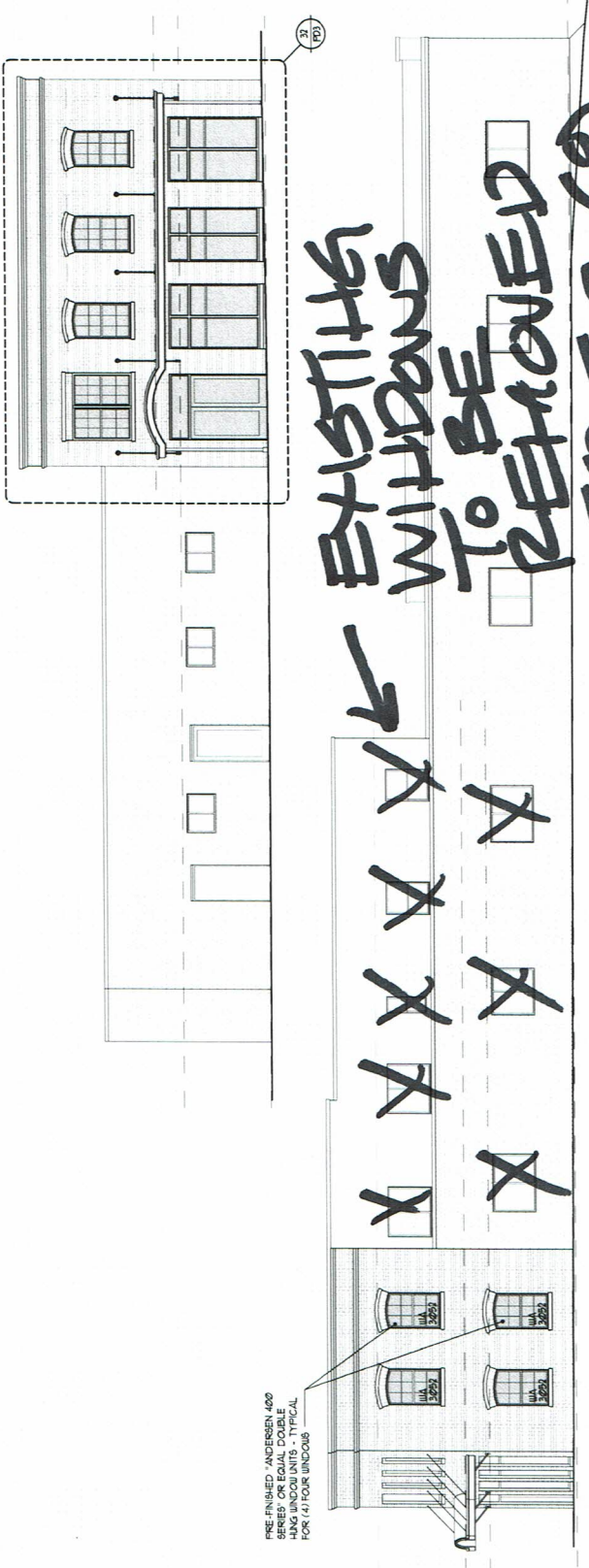
(N) NORTH ELEVATION
 SCALE 3/8" = 1'-0"
 (PDI)



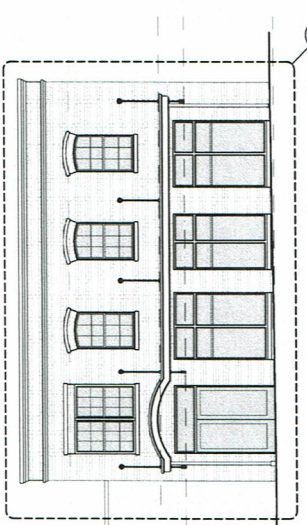
(E) EAST ELEVATION
 SCALE 3/8" = 1'-0"
 (PDI)



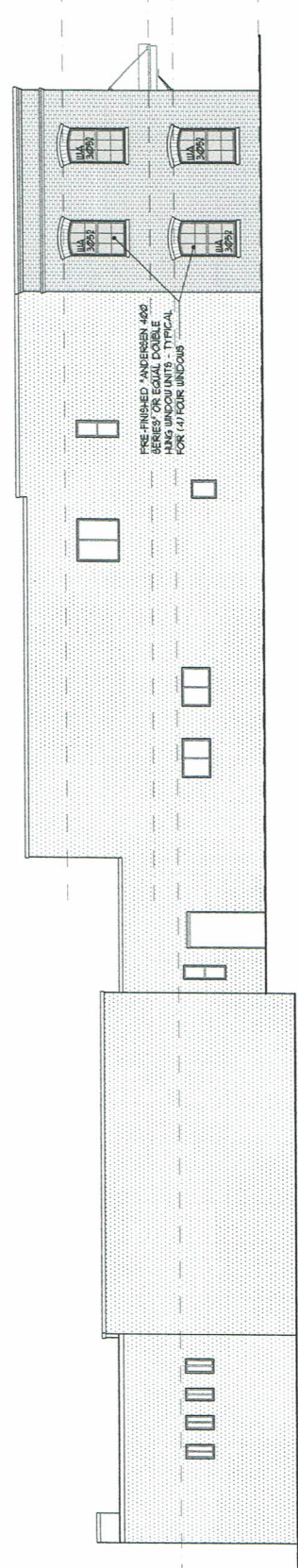
(S) SOUTH ELEVATION
 SCALE 3/8" = 1'-0"
 (PDI)



(W) WEST ELEVATION
 SCALE 3/8" = 1'-0"
 (PDI)



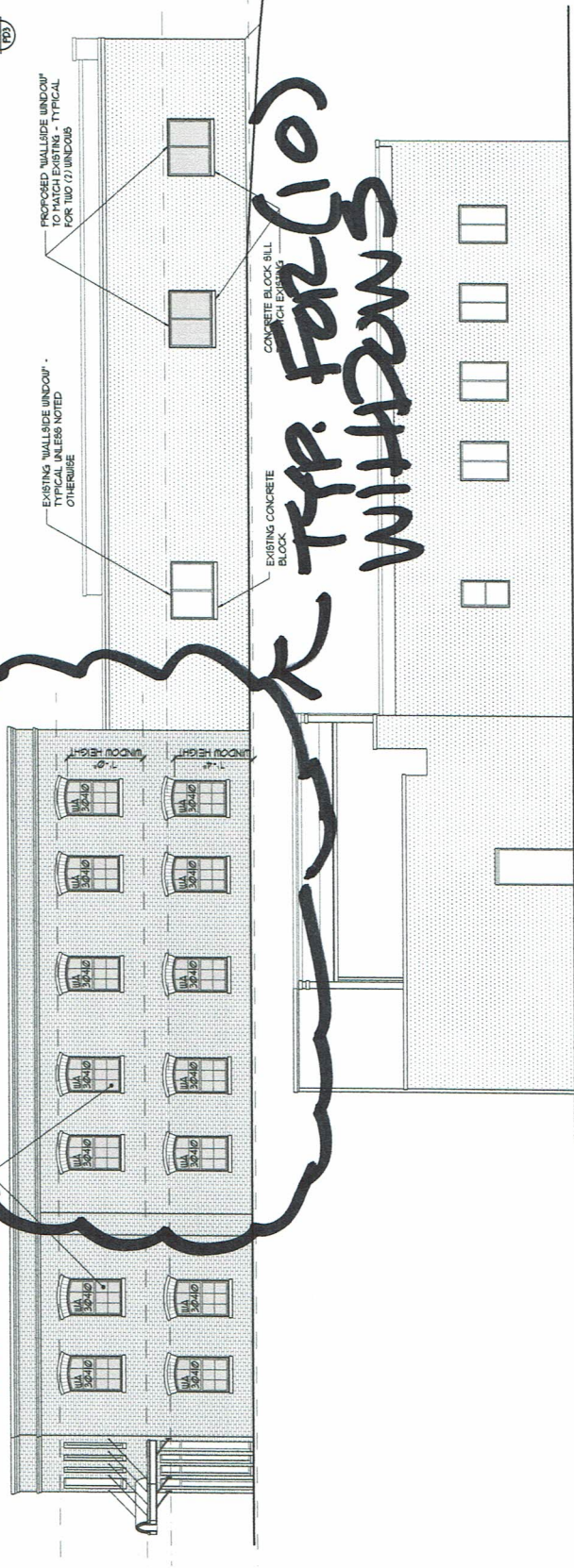
(P)1 NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



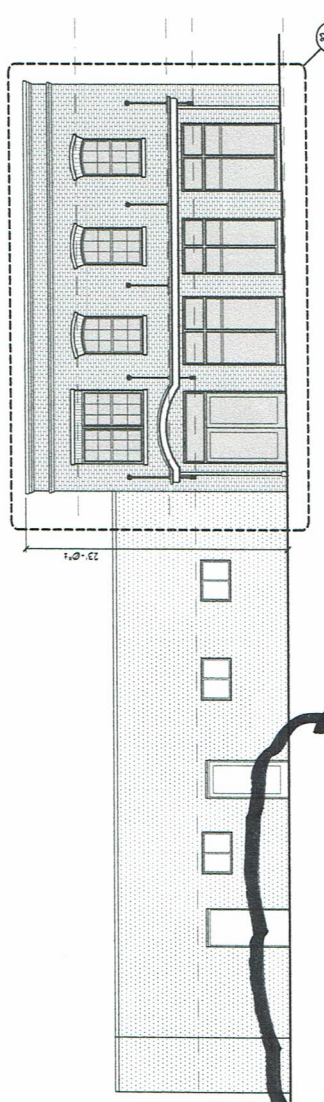
(P)1 EAST ELEVATION
 SCALE: 3/16" = 1'-0"



(P)1 SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



(P)1 WEST ELEVATION
 SCALE: 3/16" = 1'-0"



PROPOSED VIEW



**CITY OF PLYMOUTH
COMMUNITY DEVELOPMENT**
201 South Main Street Plymouth, MI 48170
Ph. 734-453-1234 ext. 232
Website: www.plymouthmi.gov

TO: Zoning Board of Appeals Commissioners
FROM: Greta Bolhuis, Assistant Community Development Director
DATE: February 25, 2021
RE: 921 Sutherland, Non-Use Variance

Craig Beck, applicant, is requesting a non-use variance to build a second story dormer addition on the existing garage. The property is 50 feet wide and 108 feet deep. The property is 5,400 square feet and is zoned R-1, Single Family Residential.

Section 78-260(8) states "No detached accessory building in any residential district shall exceed 1 ½ stories or 15 feet in height." A garage height of 16.25 feet is proposed. A variance of 1.25 feet is required.

Should you have any questions regarding this agenda item, please contact me directly.



Greta,

Please pass along our support to Brian and Kara at 921 Sutherland for their variance request. We support their request to increase the garage height. I'm sure their plans will look great and be well worth it for their family.

Thank you,

Carie & Adam Gilles

879 Forest Ave.



DIMENSIONAL (NON-USE) VARIANCE APPLICATION

Community Development Department

201 S. Main Street Plymouth, MI 48170 Ph. 734-453-1234 ext. 232

Website: www.plymouthmi.gov

Type of Variance Request: DIMENSIONAL – Common regulations subject to dimensional (non-use) variance requests: setbacks, signs, height, parking regulations, lot coverage, and bulk or landscaping restrictions. Uniqueness: odd shape, small size, wetland, creek, natural features, big trees or slopes.

921 SUTHERLAND, PLYMOUTH, MI, 48170 03-08-21
Address of Property Date of Application

CRAIG BECK / C3 RENOVATIONS, LLC BRIAN RAMBO
Applicant Name Property Owner

502 HILLDALE ROYAL OAK MI 48067
Address City State Zip

C3RENOVATIONS@GMAIL.COM 586-995-4211
Email Phone

Three Basic Functions of the ZBA:

1. Interpreting the zoning ordinance (text and map) and nonconforming situations.
2. Deciding appeals on administrative decisions, special land uses, or PUDs.
3. Granting variance requests.

Standards for Dimensional (Non-Use) Variance: [Click here to see full ordinance language.](#)

1. Ordinance unreasonably prevents the owner from using the property for what it is zoned
2. Variance will do substantial justice to the applicant, and the surrounding community
3. Problem is due to the unique circumstances of the property
4. Problem is not self-created

A quorum (3 members) is required for approval of all non-use variance requests.

The Zoning Board of Appeals meets the first Thursday of each month at 7:00PM. The completed application and necessary/applicable plans must be filed with a fee of \$250.00 for single family projects or \$500.00 for multi-family and non-residential. Visit the City's website for submittal deadlines and meeting dates: [Zoning Board of Appeals](#). Ten (10) copies of the application and plans including but not limited to survey, plot map, building plans, and photos are encouraged at submittal.

The Zoning Board of Appeals will not accept incomplete applications. Signature of property owner and applicant, as well as notarization is required for every application. There are notaries located in City Hall. The Community Development Department has the right to remove an item from the agenda due to incompleteness.

Article and Section of the Zoning Ordinance for which an appeal or variance is being requested:

I (We) hereby appeal to the Zoning Board of Appeals for a variance to: BUILD A
SECOND STORY DORMER ADDITION ON THE EXISTING
GARAGE TO ADD MORE STORAGE.

Description of Property

Current zoning classification: R-1 RESIDENTIAL

Current use of structure(s) on premises: GARAGE STORAGE

Is it a corner or interior lot? INTERIOR LOT

Size and area of lot: 50' x 108' 5400 SQ. FT.

Total square footage of existing main structure(s): APPROX. 2,100 SQ. FT.

Total square footage of accessory structure(s): 22' x 22' 484 SQ. FT.

Existing lot coverage (percentage) of all buildings and structures: APPROX. 32%

Height of existing main and/or accessory structures: 16' 3" @ PEAK

Description of Proposed Structures

Dimensions and area of structure or addition to be constructed: UPPER LEVEL GARAGE STORAGE
AVG. 14' 8" x 22' 305 SQ. FT.

Front yard setback after completion (measured from property line): 12' FROM REAR OF MAIN STRUCTURE
(NO CHANGE)

Rear yard setback after completion (measured from property line): 8' 6" (NO CHANGE)

Side yard setback after completion (measured from property line): 3' & 29' 7" (NO CHANGE)

Height of proposed structure: 16' 6" @ CENTER OF DORMER / 18' 7" @ PEAK

Lot coverage (percentage) after completion: APPROX. 32% (NO CHANGE)

Residential Only: Floor Area Ratio (FAR) after completion (shall not exceed 0.4): 0.39 (NO CHANGE)

$2,100 \text{ SQ. FT. (MAIN)} \div 5,400 \text{ SQ. FT. (LOT)} = 0.39$

A scaled drawing or boundary survey depicting the above information.

Please answer all of the following questions as they relate to the dimensional variance, use additional sheets as necessary:

1. What are the practical difficulties preventing compliance with the ordinance? Are these practical difficulties an exception or unique to the property compared to other properties in the City? (NOTE: The ZBA cannot grant a variance because it is inconvenient or more expensive to build to ordinance or solely to satisfy aesthetic concerns.) THE PROPOSED STORAGE USE WOULD NOT BE FUNCTIONALLY VIABLE WITHOUT THE MINOR INCREASE IN THE HEIGHT OF THE STRUCTURE.

2. What effect will the variance have on neighboring properties? THE SURROUNDING PROPERTIES WILL NOT SEE ANY SIGNIFICANT CHANGE OR EFFECT. ONLY A SLIGHTLY HIGHER (2'4") ROOFLINE ON THE EXISTING GARAGE.

3. Is the practical difficulty which prevents you from complying with the ordinance self-imposed? How did the practical difficulty come about? (NOTE: The ZBA has generally found that purely aesthetic consideration and self-created hardships are unacceptable grounds for a variance.) DURING PROJECT PLANNING IT WAS DETERMINED AN INCREASE IN HEIGHT WOULD BE REQUIRED TO ACCOMPLISH THE GOAL OF CREATING A FUNCTIONAL STORAGE SPACE ABOVE THE GARAGE.

4. Why do the ordinance restrictions unreasonably prevent the owner from using the property for a permitted purpose? NEIGHBORING PROPERTIES HAVE THE SAME OR SIMILAR CHANGES ON THEIR ACCESSORY STRUCTURES

I hereby depose and say that all the above statements and the statements contained in the papers submitted herewith are true and correct:

[Signature]
Signature of Property Owner

[Signature]
Signature of Applicant

Subscribed and sworn before me this 8th day of March, 2021

[Signature]
Notary Public

My Commission expires Feb 28, 2025

921 Sutherland, Plymouth, MI.

Project Info:

Project Address:

921 Sutherland
Plymouth, MI 48170

Designer:

Vanguard Design Group
25120 Culver
St. Clair Shores, MI 48081

Contact: Bryan Shishakly
Phone: 586.879.3223
Email: bryan@guardthevan.com

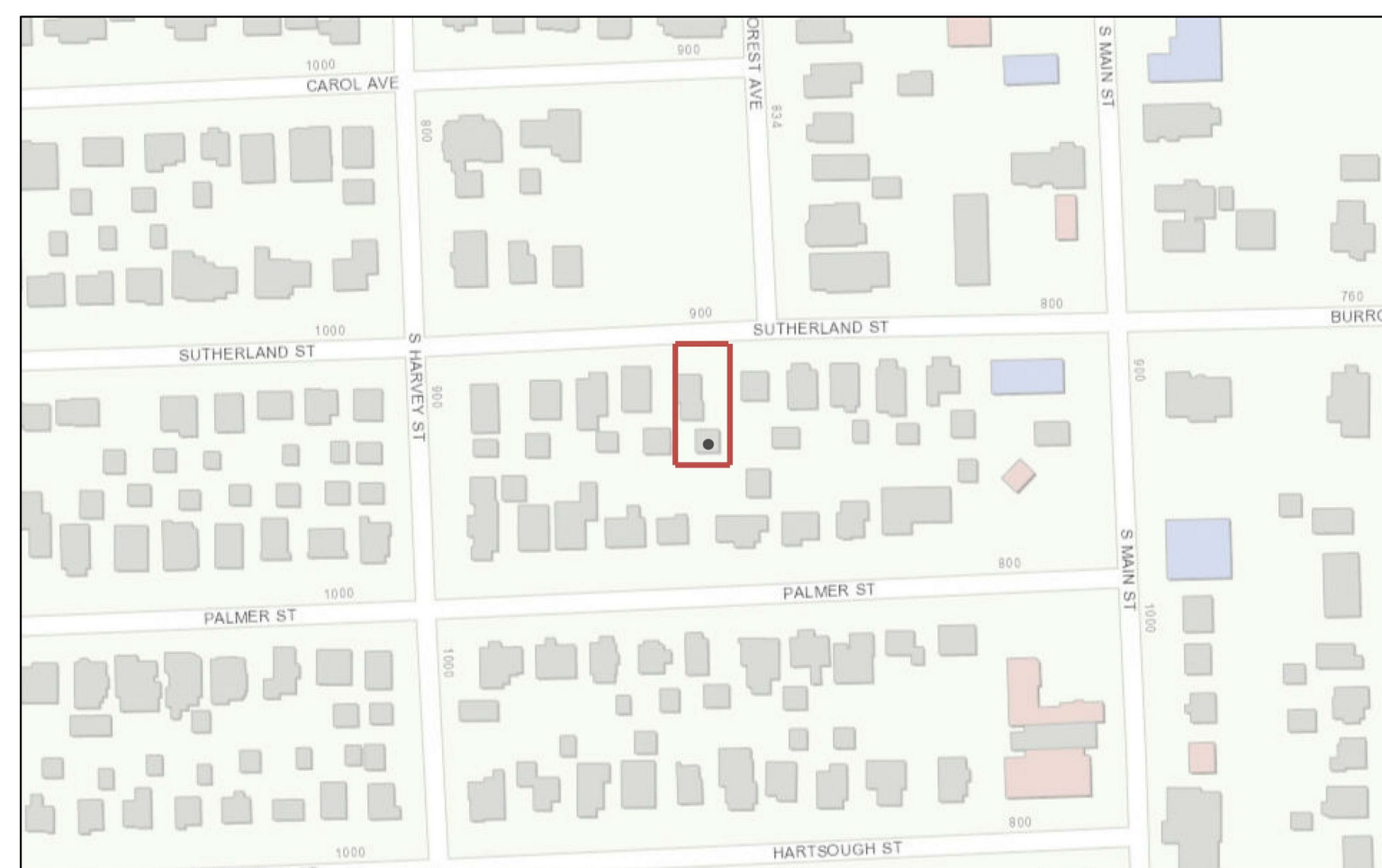
Scope of Work:

Approx. 305 sq. ft. half level addition
above existing garage for use as
heated storage.

Legal Description:

34C85 86 LOTS 85 AND 86 ALSO N 1/2
ADJ VAC ALLEY PURITAN HOLM
ADDITION TIS R8E L38 P33 WCR

Vicinity Map:



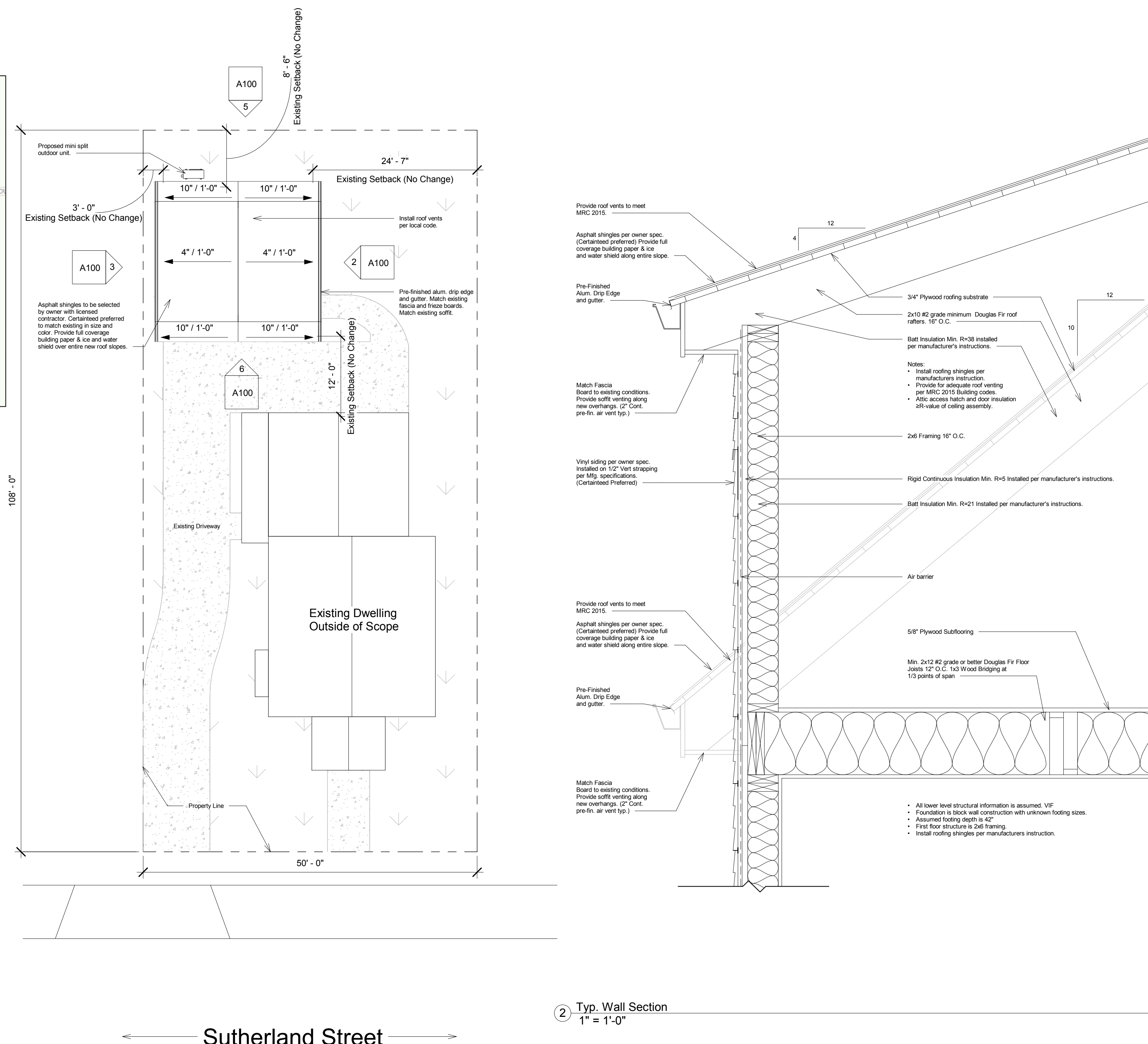
General Notes: Energy Plan Notes:

- This set of drawings is for design purposes only and is not a sealed architectural drawing set. Contractor to verify drawings against existing conditions prior to start of work.
- All constructed work is to comply with the 2015 Michigan Residential Code (MRC).
- Contractor to verify all dimensions, drawings, existing conditions and otherwise ensure that all (MRC) and other applicable codes are met.
- Structural analysis to be completed by contractor per (MRC) via a licensed structural engineer.
- Roof plans, design and structure to be verified and determined by contractor with owner approval.
- Final window and door selection to be completed by contractor with owner approval.
- All detailed electrical, plumbing and other non-design drawings to be completed by contractor and relevant sub-contractors, or to be provided by owner.
- Do not scale drawing. Use printed dimensions only. If any discrepancy occurs, notify the designer immediately for direction. Contractor to have reviewed all drawings and if additional clarification or information is needed, builder to contact designer.
- Contractor is responsible for all drawing submittals and permit applications that are applicable to this project.
- All codes shall comply with the international residential codes & 2015 Michigan Residential Code. They shall also comply with any jurisdiction codes in their respective county, city, village, or township and their provisions and ordinances.
- General Notes indicated on these drawings are just a small portion of our standard notes & the 2015 Michigan Residential Code, but the code is much broader & should be strictly followed by builders, trades, & craftsmen.
- Contractor responsible for any hazardous material remediation, including, but not limited to, asbestos, lead based paint, mold, etc.
- General contractor/builder, all trades, subcontractors, craftsmen, including mechanical and electrical contractors and any other persons involved in this project. It is the responsibility of the above mentioned people to verify with the owner's approval all materials and changes and just because it is not mentioned or specified for in this set of drawings doesn't mean it is not part of the general contract. After entering into a contract, the general contractor will be held responsible to have completed all job requirements without extra compensation.
- To builder & mech. contractors: Supply and rework supply air as required in new or existing openings. Verify in field.
- All bedroom windows to meet 2015 Michigan residential egress codes.
- Provide bath fan and vent fan to exterior as required.
- Typical all habitable rooms to have proper light and ventilation and comply with 2015 Michigan residential codes.
- Provide electrical smoke detectors in all sleeping areas, hallways, and mechanical rooms on all floor levels, including the basement. Smoke detectors shall be wired together so as when one sounds they all sound and have battery backup per Sec. R314 of 2015 Michigan Residential Code.
- Provide adequate roof ventilation and soft ventilation (MIN) as required. Verified by calculation 1/150 of area ventilation req'd per Sec. R808.2.
- Provide adequate metal flashing, counter flashing and stepped flashing as necessary.
- Provide approved sealant where required and as detailed by mfg.
- Verify electrical service in accommodating all new work. Verify all proposed electrical outlets, switches, dimmers, light locations, etc. including cable and phone pre-wiring security. Take into consideration all electrical installation with owner, and comply with current Michigan electrical code.
- Firestop all drops and chases, electrical, plumbing and H.V.A.C.
- Areas that require tempered glass:
 - Fixed and sliding panels of sliding type doors.
 - Shower and bathtub doors and enclosures (if applicable)
 - Parties with a glazed area in excess of 9 sq. ft.
 - All other areas as code requires per 2015 Michigan Residential Code.
- Contractor/owner to provide waterproofing to code.
- Verify all points of existing bearing and provide temporary support/shoring as req'd until existing new bearing conditions are installed to permanent support. Verify capacity of existing load carrying members w/structural engineer in field upon exposure of exact conditions.
- Contractor responsible to have reviewed all drawings and if additional information is needed, herein is to contact owner for clarification prior to bid & commencing work.
- Contractor to secure and pay for general building permits and all other permits (i.e. heating, plumbing, electrical, etc.)
- Sub-contractors to execute and perform their work in accordance with all applicable codes/ordinances and within building industry standard.
- Contractor to verify and coordinate construction schedule techniques, methods, and procedures with owner, especially with regard to demolition and work area that will affect security, dust, debris, potential damage to new home.
- Contractor to clean daily during construction and to legally dispose of construction debris.
- Respective trades to repair and restore already completed surfaces to a logical stopping point, i.e. Walls, corners, ceiling, etc. affected by new work so as to provide a finished and contiguous appearance.
- Contractor to verify all material, manufacturers, finishes, color, etc. with owner and determine what materials, finishes and applications will be furnished by owner.
- Report any discrepancies in structural framing design to designer upon discovery to allow for design revisions per a licensed structural engineers recommendations.
- HVAC plan to be completed by contractor or owner via mechanical engineer and provided to the municipality for review. Placement and location of furnace and hot water heater to be included in drawings provided by mech. eng.
- All windows will comply with section R312 of the M.R.C. 2015.
- Loading requirements for structural analysis: Live load - 40psf. Dead Load - 20psf. Deflection requirement L/600.

- All fenestration that is not site built must meet AAMA-WDMA/CSA 1011.5/2/4440 or have infiltration rates per NFRC 400 that do not exceed code limits.
- Blower door test @ 50 Pa, 53 ach.
- Any IC-rated recessed lighting fixtures must be sealed at housing/interior finish.
- All fenestration U-factors must be determined in accordance with the NFRC test procedure or taken from the default table. See plans for estimated U-factor notes.
- Contractor to post compliance certificate on or in electrical panel.
- Supply and return ducts in attics insulated 2-R-5 where duct is 2-3 inches in diameter and R-4 where < 3 inches. Supply and return ducts in other portions of the building insulated 2-R-4 for diameter < 3 inches and R-4 for > 3 inches in diameter.
- HVAC contractor to seal all joints and seams of air ducts, air handlers, filter boxes, and building cavities used as return ducts.
- Duct tightness test result of 54 cfm/100 ft2 across the system or 53 cfm/100 ft2 without air handler @ 25 Pa. For rough-in tests, verification may need to occur during framing inspection.
- Ducts are pressure tested to determine air leakage with either Rough-in test. Total leakage measured with a pressure differential of 1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Preconstruction test. Total leakage measured with a pressure differential of 1 inch w.g. across the entire system including the manufacturer's air handler enclosure.
- Building cavities are not to be used as ducts or plenums.
- Air handler leakage designated by manufacturer at 52% of design air flow.
- Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.
- All mechanical ventilation system fans not part of tested and listed HVAC equipment must meet efficiency and air flow limits.
- Minimum of 75% of lamps used in permanent fixtures are high efficiency lamps. (Does not apply to low-voltage lighting.)
- If not already in place - provide programmable thermostat installation for furnace.
- Circulating service hot water systems must have automatic or accessible manual controls.
- The manufacturer manual for any new HVAC equipment must be provided to the owner.
- The water heating systems manufacturer manual must be provided to the owner.
- Verify that all existing or new HVAC equipment is sized per ACCA Manual S based on loads per ACCA Manual J or other approved methods.
- Any HVAC piping conveying fluids above 105°F or chilled fluids below 55°F are insulated to R-3.
- Any hot water pipes are insulated to R-3.

DRAWING INDEX	
SHEET NUMBER	SHEET NAME
A000	Sheet List, Site Plan & Wall Section
A100	Floor Plans & Elevations

- Contractor/owner to provide waterproofing to code.
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DO NOT SCALE

THIS IS NOT A SEALED ARCHITECTURAL DRAWING SET

VANGUARD DESIGN GROUP

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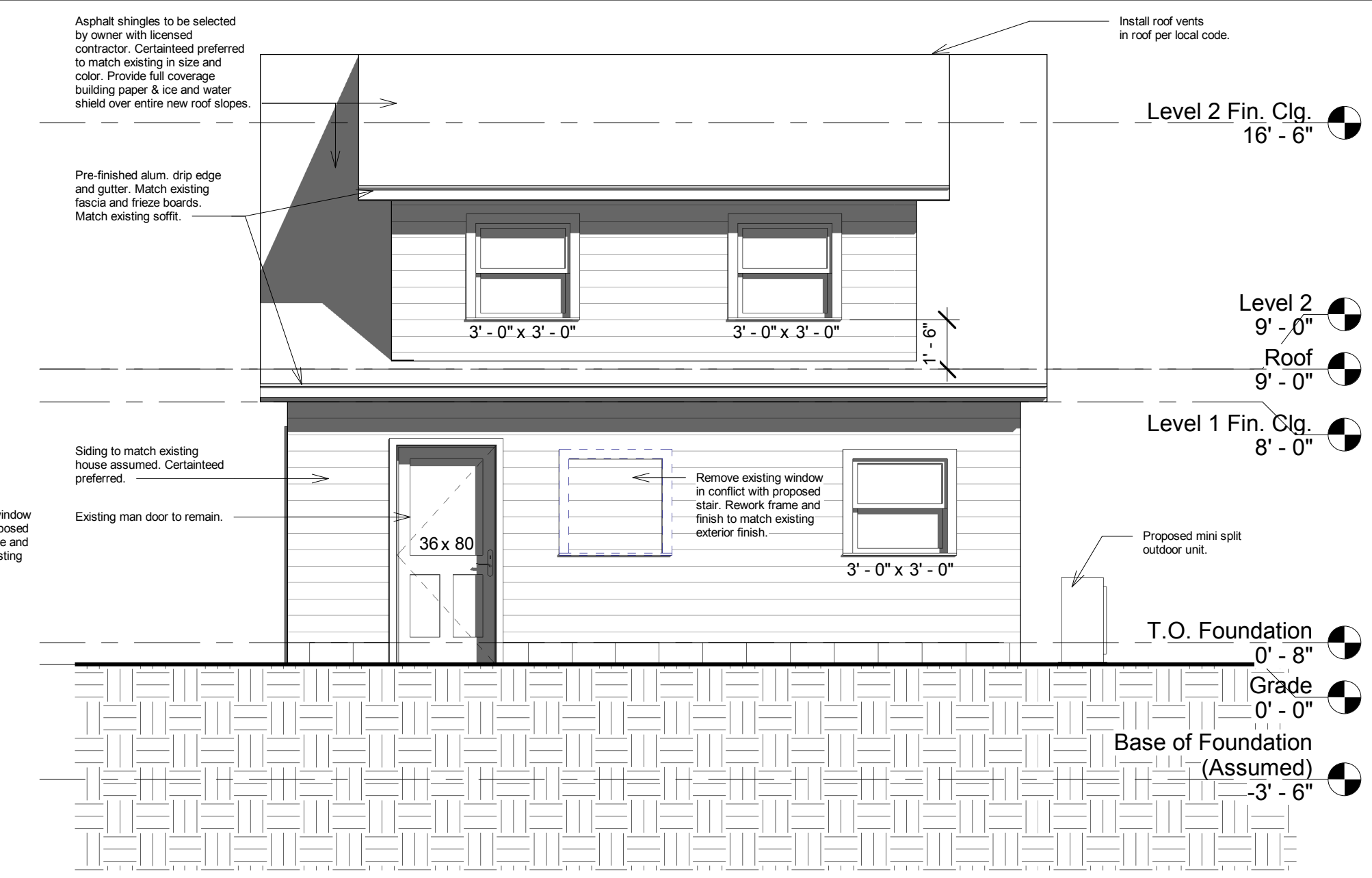
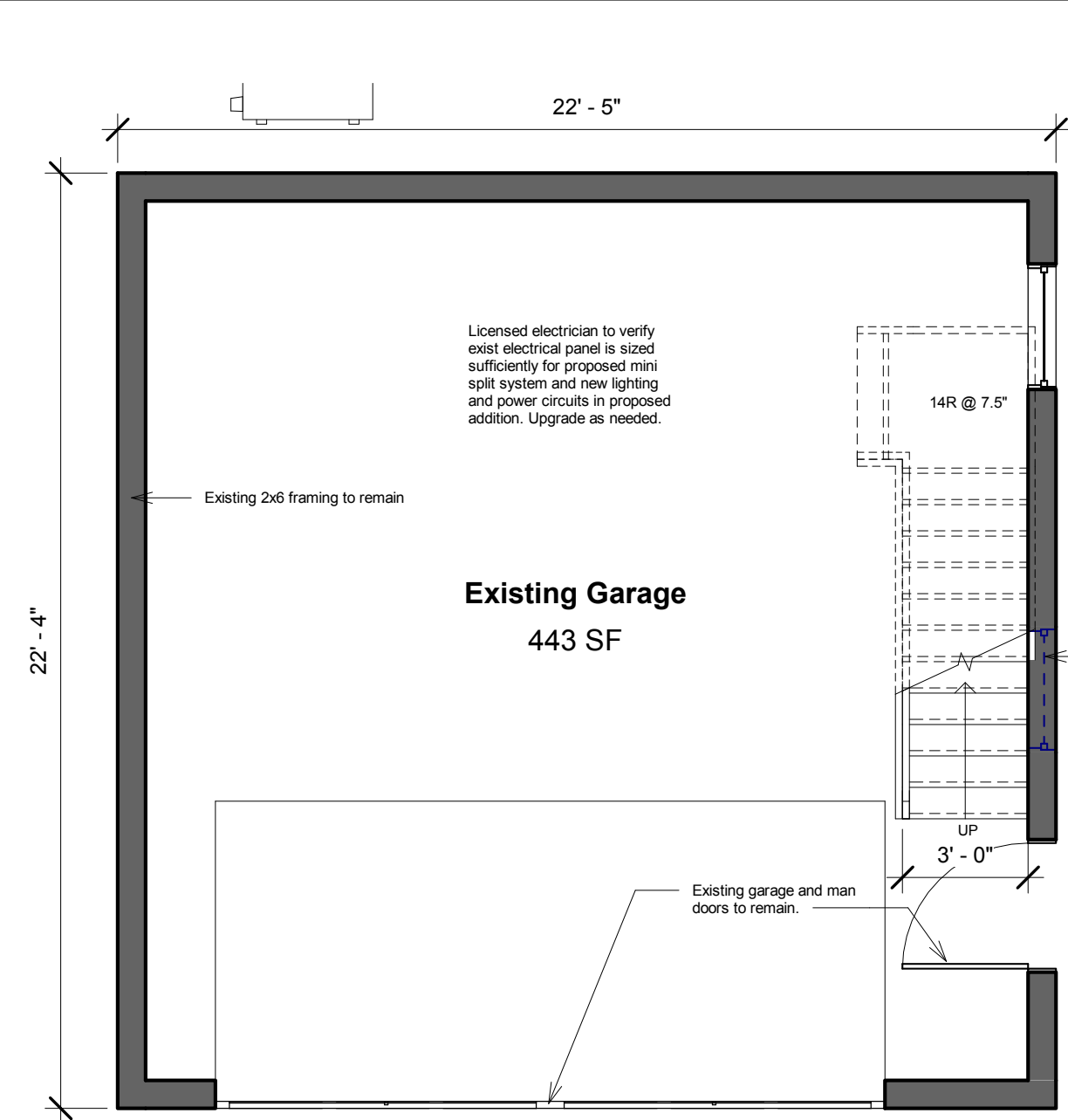
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Rambo Residence
Garage Addition
Sheet List, Site Plan & Wall Section

Project number 0138-001
Date 02/07/21
Drawn by B. Shishakly
Checked by R. Shishakly

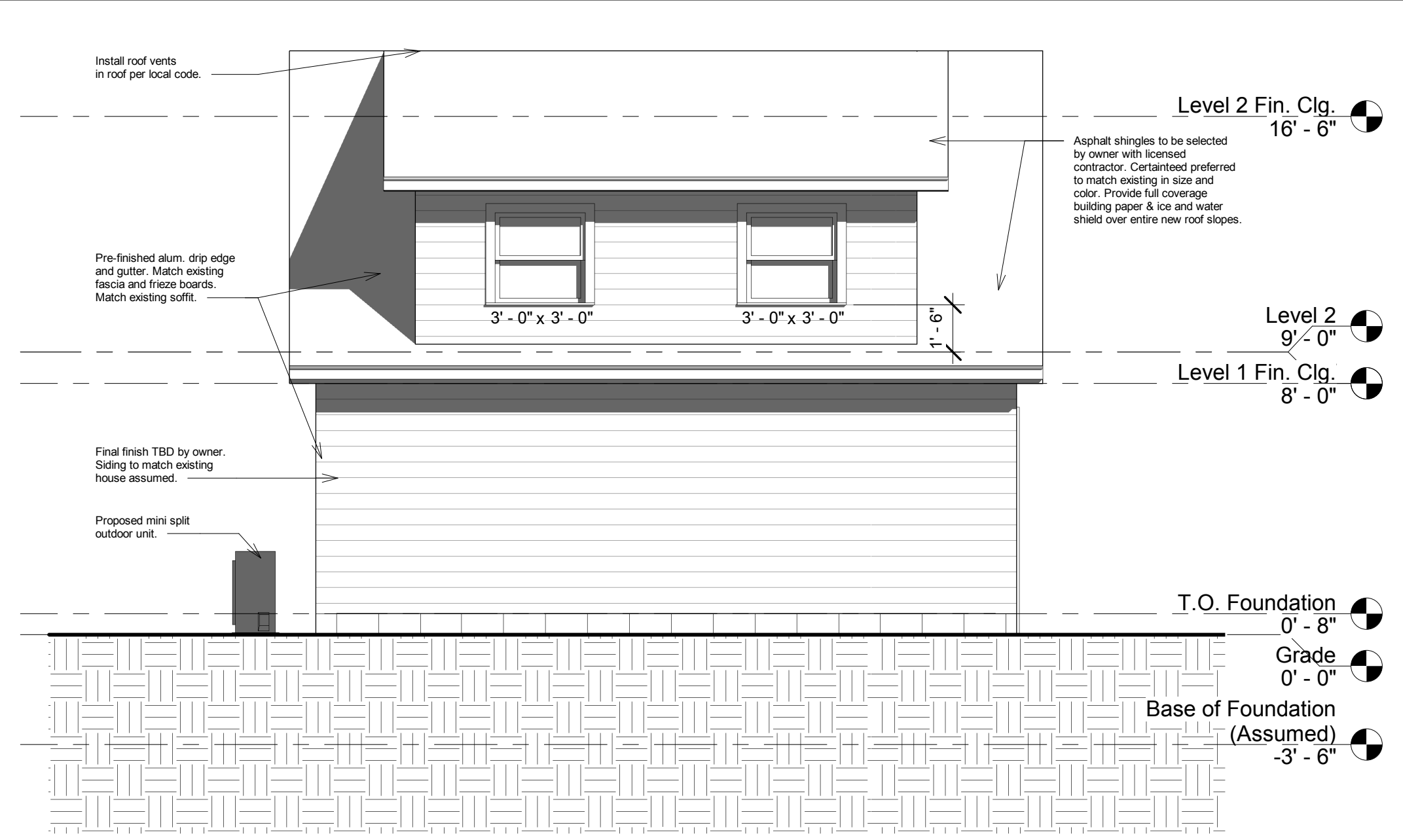
A000

Scale As indicated

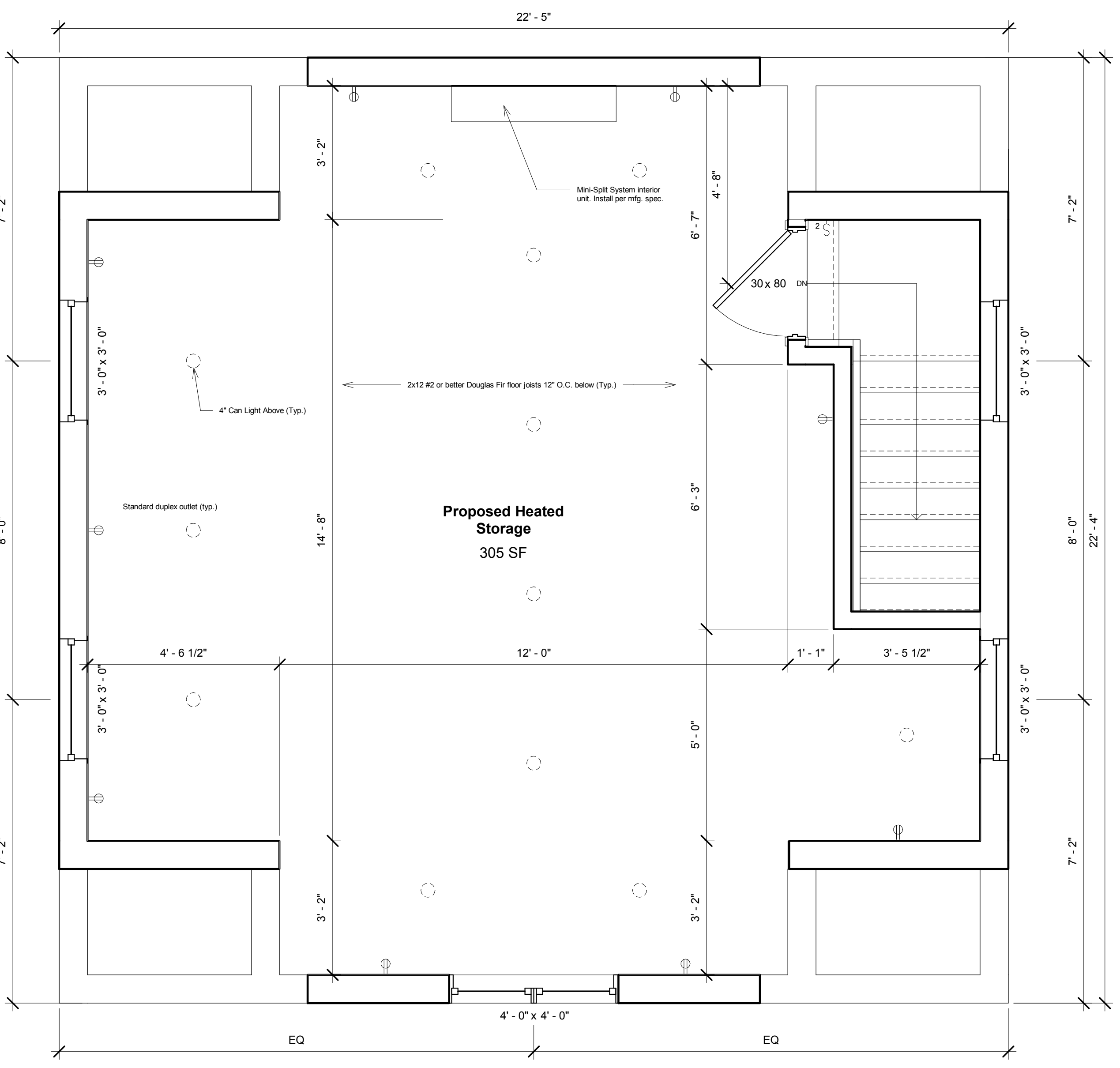


1 Grade
1/4" = 1'-0"

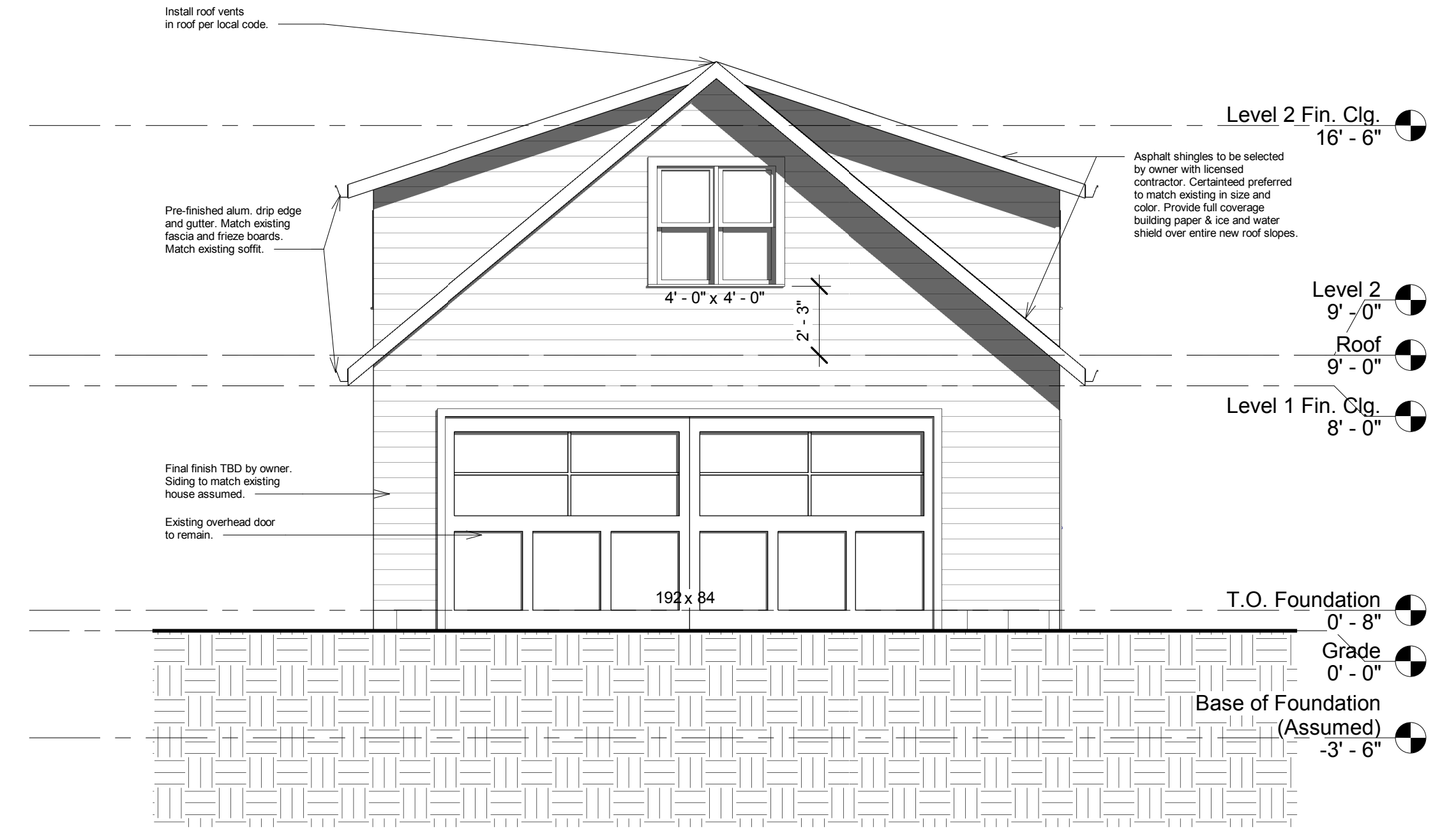
2 East
1/4" = 1'-0"



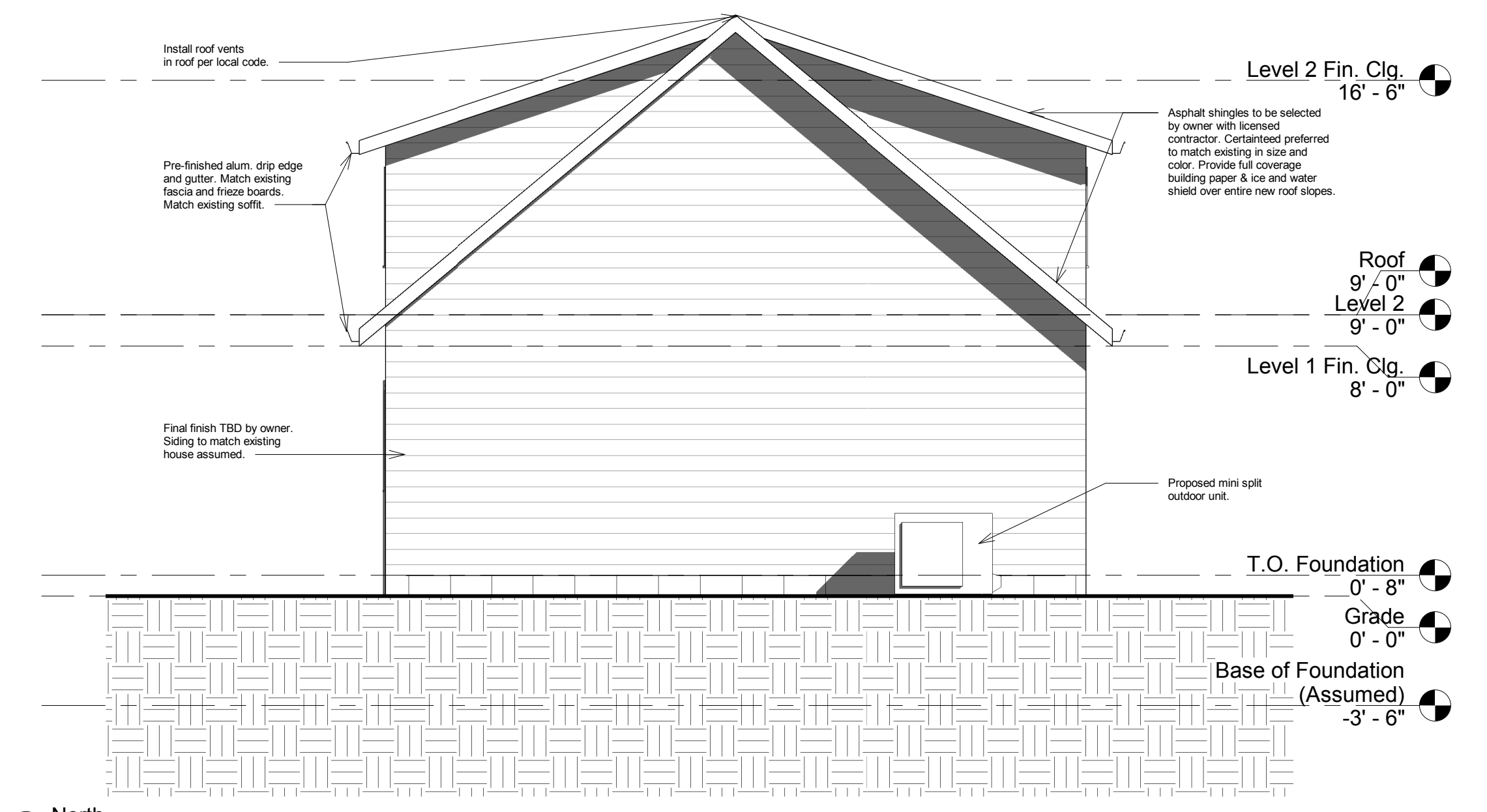
3 West
1/4" = 1'-0"



4 Level 2
1/2" = 1'-0"



6 South
1/4" = 1'-0"



5 North
1/4" = 1'-0"

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EST 2014

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Rambo Residence
Garage Addition
Floor Plans & Elevations

Project number 0138-001
Date 02/07/21
Drawn by B. Shishakly
Checked by R. Shishakly

A100

Scale As indicated