



City of Plymouth Planning Commission

Regular Meeting Agenda

Wednesday, June 9, 2021 – 7:00 p.m.
ONLINE Zoom Webinar

City of Plymouth
201 S. Main
Plymouth, Michigan 48170

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Join the Webinar: <https://us02web.zoom.us/j/81510335579>

Webinar ID: 815 1033 5579

Passcode: 005108

Statement of explanation of the reason why the public body is meeting electronically: On March 10, 2020, the Governor of the State of Michigan declared a State of Emergency across the State of Michigan under section 1 of Article 5 of the Michigan Constitution of 1963, the Emergency Management Act, 1976 PA 390, as amended, MCL 30.401 – 421, and the Emergency Powers of the Governor Act of 1945, 1945 PA 302, as amended, MCL 10.31 – 33. These sections provide the governor with broad powers and duties to cope with dangers to this state or to the people of the state.

As a part of the response to the emergency, the Governor has deemed it reasonable and necessary to temporarily suspend rules and procedures relating to physical presence at meetings and hearings of public bodies and other governmental entities in Michigan. These public bodies and entities must continue to conduct public business during this emergency. Due to the emergency situation and the request of the Governor to not gather in groups of 10 or more it is necessary for some public boards to meet electronically.

1. **CALL TO ORDER**
 - a) Roll Call
2. **CITIZENS COMMENTS**
3. **APPROVAL OF THE MINUTES**
 - a) Approval of the May 12, 2021, regular meeting minutes
4. **APPROVAL OF THE AGENDA**
5. **COMMISSION COMMENTS**
6. **PUBLIC HEARING**
7. **OLD BUSINESS**
 - a) Mixed-Use High Density Ordinance Discussion
8. **NEW BUSINESS**
 - a) **SP 21-03**: 690 Junction, site plan review for new building
9. **REPORTS AND CORRESPONDENCE**
10. **ADJOURNMENT**

Citizen Comments - This section of the agenda allows up to 3 minutes to present information or raise issues regarding items not on the agenda. Upon arising to address the Commission, speakers should first identify themselves by clearly stating their name and address. Comments must be limited to the subject of the item.

Persons with disabilities needing assistance with this should contact the City Clerk's office at 734-453-1234 Monday through Friday from 8:00 a.m. -4:30 p.m., at least 24 hours prior to the meeting. An attempt will be made to make reasonable accommodations.

GOAL I - QUALITY OF LIFE
<p>OBJECTIVES</p> <p>Support the neighborhoods with high-quality customer service Engage in collaboration with private entities and surrounding municipalities to implement the Joint Recreation Master Plan Improve communication with the public across multiple platforms Maintain a high level of cleanliness throughout the City Support and host a diverse variety of events that foster community and placemaking</p>

ONE-YEAR TASKS 2021

Restore sports and recreational programs that were halted by COVID-19 as soon as possible
 Review and evaluate the special event policy with safety considerations
 Address challenges with the Kellogg Park improvements with safety considerations
 Move Kellogg Park Fountain project forward
 Continue to re-engage service clubs to help enhance parks and public properties
 Increase followers by 2,000 on all our communications platforms
 Develop an internal and external communications plan
 Upgrade City Hall facilities to accommodate remote meetings and remote participation
 Continue investigating multi-modal transportation opportunities
 Revisit noise ordinance

GOAL II - FINANCIAL STABILITY
<p>OBJECTIVES</p> <p>Approve balanced budgets that maintain fiscal responsibility Advocate for increased revenue sharing with the State of Michigan Encourage and engage in partnerships, both public and private, to share costs of services and equipment Address the issue of legacy costs Seek out and implement efficient and effective inter-departmental collaboration Market our successes to attract new economic and investment opportunities</p>

ONE-YEAR TASKS 2021

Identify mechanisms for funding sources for capital improvement projects
 Increase funding to the Public Improvement Fund
 Create a potential package for financing emergency structural repairs
 Develop a comprehensive asset management plan that includes a review of the equipment fleet
 Search out other possible revenue streams through continued association with the CWW and the MML
 Develop a financial plan for public safety
 Continue to make extra payments towards legacy costs
 Monitor outside influences on our revenue sources, including unfunded mandates, the 35th District Court and the PCCS
 Negotiate three labor contracts

GOAL III - ECONOMIC VITALITY
<p>OBJECTIVES</p> <p>Continue to support and improve active, vibrant downtown branding Support community and economic development projects and initiatives Support a mix of industrial, commercial and residential development Reference the Master Plan in economic decision-making</p>

ONE-YEAR TASKS 2021

Complete Saxton's development
 Develop municipal parking lot at Saxton's site
 Support development of 23 parcels adjacent to the Starkweather School property
 Continue to administer the grant and the brownfield plan to support the Pulte project's completion
 Finish Redevelopment Ready Community (RRC) certification by the end of 2021
 Develop an annual training calendar for the Planning Commission, the Historic District Commission, the Zoning Board of Appeals and the DDA, and identify a funding source
 Implement temporary plans to assist businesses in recovery efforts

GOAL IV - SERVICE AND INFRASTRUCTURE
<p>OBJECTIVES</p> <p>Support administration and staff by providing professional development opportunities, supplying resources, and maintaining a commitment to recruitment, retention, succession planning Support and deliver safe and responsive emergency services Maintain a sophisticated and responsive technology to communicate and manage data Continually record, maintain, update, and improve City infrastructure</p>

ONE-YEAR TASKS 2021

Explore enhanced pedestrian safety opportunities into targeted intersections
 Research funding opportunities for ADA compliance at the PCC
 Implement 2021 infrastructure program
 Continue training for future career development and succession planning
 Conduct a traffic study to determine whether to make additional streets one way
 Update mapping resources including parcel data, completing 50% by the end of the year
 Update/replace current technology to ensure compliance with new regulations, rules, and operating systems
 Revisit paid parking

1. Focus on education by scheduling four educational, working sessions on the following dates: February 24, March 24, October 27, and November 17.
2. Draft a Form Based Code test case.
3. Approve a mixed use, high density zoning ordinance.
4. Review existing ordinances for amendments related to residential building heights and habitable space within accessory buildings.



Plymouth Planning Commission

Regular Meeting Minutes

Wednesday, May 12, 2021 - 7:00 p.m.

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Online Zoom Meeting

1. CALL TO ORDER

Chair Karen Sisolak called the meeting to order at 7:00 p.m.

Present: Chair Sisolak, Commissioners Shannon Adams, Joe Hawthorne, Tim Joy (arrived at 7:01), Adam Offerman, Hollie Saraswat and Scott Silvers

Excused: Vice Chair Jennifer Kehoe

Also present: Assistant Community Development Director Greta Bolhuis, Planning Consultant Sally Elmiger, and City Commission Liaison Kelly O'Donnell.

2. CITIZENS COMMENTS

There were no citizen comments.

3. APPROVAL OF THE MEETING MINUTES

Silvers offered a motion, seconded by Hawthorne, to approve the minutes of the April 14, 2021 regular meeting minutes.

There was a roll call vote.

Yes: Adams, Hawthorne, Offerman, Silvers, Sisolak

Abstain: Saraswat

MOTION PASSED 5-0

4. APPROVAL OF THE AGENDA

Offerman offered a motion, seconded by Saraswat, to approve the agenda for Wednesday, May 12, 2021.

There was a roll call vote.

Yes: Adams, Hawthorne, Offerman, Saraswat, Silvers, Sisolak

MOTION PASSED 6-0

5. COMMISSION COMMENTS

Sisolak announced that the City Commission plans to appoint a replacement for Charles Myslinski soon and that Bolhuis will provide updates and discussion points of the Mixed-Use High-Density discussions because the City's policy does not allow for specific comments to be entered into the minutes. She reminded the group of the board and commission training on Monday, May 17 at 4:00 p.m., and let them know they were invited to a ribbon cutting at Bubble Tea.

6. PUBLIC HEARING

a. PUD 21-01: 550 N. Holbrook, PUD Amendment

Elmiger provided the group with a list of questions she would like the developer to answer. Applicants Craig and Mark Menuck answered questions about grading, FAR, basement heights, and building height

calculations. Chuck Myslinski answered some questions as well.

The public hearing opened at 7:56 p.m.

Citizen Comments

Patrick O’Neill, 696 N. Mill, spoke in favor of the applicants’ request.

Ellen Elliott, 404 Irvin, also spoke in favor of the applicants’ request.

The public hearing closed at 8:00 p.m.

Commission Comments

Commission members had an extensive discussion about the land’s topography and how it relates to the building heights the applicants are requesting.

Silvers offered a motion, seconded by Adams, to recommend that the City Commission grant the amended building heights as designated on the matrix on the plans submitted by the applicant only for lots 1-3, 7-17, 21-23.

Conditions

Approval is limited to the provision of grading that allows the lowest level to qualify as a basement, that the first floor is no more than 9 feet in height, the second floor is no more than 8 feet in height, and that the structures adhere to the FAR ordinance, and elevations remain intact.

There was a roll call vote.

Yes: Adams, Hawthorne, Offerman, Saraswat, Silvers, Sisolak

No: Joy

MOTION PASSED 6-1

b. SP21-01: 296 S. Main, Special Use and Site Plan Review for additional outdoor dining area. Applicant Vice Spica provided information about his request to continue to the hours of operation, use of speakers and the arrangements for trash pickup in the alley next to the Penn Grill.

The public hearing opened at 8:40 p.m.

Citizen Comments

Ellen Elliott, 404 Irvin, said she thinks the special use is positive, but that parking should be considered.

John Townsend, 1312 Penniman, said he supports the project and that it’s beneficial to the downtown.

Patrick O’Neill, owner of several buildings in the City, said the DDA is working on improving alleys in the downtown and that this project would support that effort.

The public hearing closed at 8:46 p.m.

Commissioner Comments

The Commission discussed concerns and possible conditions on the seasonality, hours of operation and parking, however, it was noted that this is private property and that is regulated differently than public property sidewalk cafes.

Silvers offered a motion, seconded by Joy, to recommend approval of the special land use request and site plan for SP21-01 with operation limited to what is represented in the submitted plan.

There was a roll call vote.

Yes: Adams, Hawthorne, Joy, Offerman, Saraswat, Silvers, Sisolak

MOTION PASSED 7-0

7. OLD BUSINESS

There was no old business.

8. NEW BUSINESS

a. SP 21-02: 1250 S. Main, Site Plan Review for revised landscaping

Applicant Silvia Canzano said parking at the building is limited, and the original landscaping plan would exacerbate the problem.

After a discussion, it was decided that this request should be decided by the Zoning Board of Appeals.

Joy offered a motion, seconded by Offerman, to recommend the request to the ZBA for its consideration.

There was a roll call vote.

Yes: Adams, Hawthorne, Joy, Offerman, Saraswat, Silvers, Sisolak

MOTION PASSED 7-0

9. REPORTS AND CORRESPONDENCE

Bolhuis said she would let the group know whether it could continue to meet virtually.

10. ADJOURNMENT

Joy offered a motion, seconded by Adams, to adjourn the meeting at 9:48 p.m.

There was a roll call vote.

Yes: Adams, Hawthorne, Joy, Offerman, Saraswat, Silvers, Sisolak

MOTION PASSED 7-0

BACKGROUND INFORMATION

Zoning Districts and Overlay Districts

EUCLIDEAN ZONING

In a landmark decision, the U.S. Supreme Court ruled in favor of the local government, declaring that zoning codes are a valid extension of a city's right to regulate land uses in the name of protecting public health, safety, and welfare (Village of Euclid, Ohio v. Ambler Realty Co., 272 U.S. 365 (1926)). Because Euclid's code had segregated different land uses, with housing in one place, shops in another, and factories elsewhere, communities nationwide began following the Euclidean model, believing it to be the most effective way to meet the health, safety, and welfare clause. The Euclidean format soon became standard zoning practice. Euclidean codes tend to produce cities where most trips must be made in a private vehicle, and mixed-use neighborhoods that 21st century Americans have come to expect, are discouraged. The aim of Euclidean zoning is to isolate "incompatible" land uses. Land uses are sorted into broad categories usually agricultural, residential, commercial, industrial, institutional, or open space. Some uses are permitted 'by right,' meaning they require no special review from city staff, while others are designated 'conditional' uses that require a public hearing in which special conditions are created to address a project's unique impacts.

ZONING ORDINANCE

The division of the city into zoning districts via a zoning map. Each zoning district has its own distinct list of permitted uses, special uses, and regulations. The practice of designating permitted uses of land based on mapped zones which separate one set of land uses from another.

DISTRICT / BASE ZONING DISTRICT

Base zoning districts cover the entirety of a municipality without overlapping each other. Each has its own distinct list of permitted uses, special uses, and regulations. Our ordinance currently defines the term DISTRICT as:

District means a portion of the incorporated area of the city within which certain regulations and requirements or various combinations thereof apply under the provisions of this chapter. (Sec. 78-21. – Definitions)

OVERLAY ZONE / OVERLAY DISTRICT

An overlay zone would be an additional zoning district that is laid over the top of two or more zoning districts – usually to change or introduce an additional standard(s) or regulation(s) along some feature. It is a second layer of district(s) on top of the zoning district map. The overlay district text, in the zoning ordinance, might have additional, or different, regulations that apply within the district shown. Common standards or regulations in an overlay zone may include building setbacks, density standards, lot sizes, impervious surface reduction, vegetation requirements, building floor height minimums, and flood-proofing to high water levels. But modification of the list of permitted uses or possible special uses are normally not a part of an overlay zone.

OVERLAY CONCEPTS

- Overlay districts, as their name suggests, overlap base zoning districts (and sometimes each other) to add *further detail* to or change regulatory specifics of the underlying districts. Some overlay districts provide more *flexibility* in development or allow higher density; others *restrict* development in a particular area to protect valued environmental or cultural resources; and some are *narrowly targeted* districts for specific uses, such as telecommunications or adult uses. (From [Mass Zoning Atlas](#))
- Overlay district - areas overlapping base zoning districts that add further detail to or change regulatory specifics of the underlying districts; these districts may overlap each other and don't have to cover the entirety of a municipality; some municipalities don't have any overlay districts at all. (From [Mass Zoning Atlas](#))
- An Overlay District is intended to provide supplemental regulations or standards pertaining to land uses or specific geographic features, wherever these are located, *in addition* to "base" or underlying zoning district regulations applicable within a designated area. Example: *The purpose of the Overlay District is to preserve and improve the economic vitality of the corridor, preserve its commercial character, enhance its visual appeal, improve motorist and pedestrian safety, and encourage new investment and redevelopment with the Overlay District* (from [Bossier City Parish Louisiana](#))

TYPES OF OVERLAY DISTRICTS

- **Flexible Districts**, which generally relax the density and dimensional requirements of the underlying zone. Examples include overlay zones that allow multifamily housing or mixed-use development in places where it is not permitted, or that permit flexibility in site design.
- **Restrictive Districts**, which limit development potential so as to protect natural resources or other assets. Examples include historical preservation districts and floodplain overlay districts.
- **Special Districts**, which have targeted application to specific, *often legally mandated uses*. Examples include telecommunications, retail cannabis, or adult-use districts.

The philosophy behind better zoning is summed up by a quote from “smart growth” guru Fred Kent on the Design Lansing web page: “*If you plan for cars and traffic, you get cars and traffic. If you plan for people and places, you get people and places.*” [Emus are out as formed-based zoning takes shape](#)

ARTICLE XXXI (31). – MU-1 Mixed Use: High Density Districts (Old Village)

Section 78-440. - Intent

The Mixed Use High Density land use designation includes a mixture of retail, service, office, recreation, and residential uses. It is desirable in these areas to locate commercial uses on the ground floor of a building, with upper level office and/or residential uses. Ideally, properties within this land use category are compatible with abutting uses. The mixed use designation has been applied to larger tracts of land that can accommodate various uses in a harmonious design, offering unique benefits to the residents/tenants, such as live-work or home-based-business opportunities, and pedestrian access to work or commercial businesses. The Mixed Use designation has also been applied to single lots that could accommodate a single, mixed-use building. Generally, buildings in Mixed Use High Density have uniform setbacks which are zero-lot line, and match with the character of the buildings in Downtown. Parking should be located at the rear of the building or integrated and hidden with any new construction. Generally, this land use designation should not exceed 3 stories, with some locations along major streets potentially appropriate at 4 stories.

Section 78-441. – Land Uses

1. Any building shall include complementary uses within a single building, when possible.
2. This district shall have a development pattern where complementary uses of land are located within walking distance.
3. The following table indicates the permission of each general land use and any additional restrictions to be established (N=Not Permitted, R=Restricted, and P=Permitted):

MIXED USE: HIGH DENSITY DISTRICT USE TABLE		
Use	Permission	Restriction
Residential		
Single-family attached	N	
Duplex, triplex, quadplex	N	
Residential units	R	Only permitted when located on the second floor and above. Multi-family only with the approval of the Planning Commission.
Care facilities	N	
Accessory dwelling units	N	
Public/Quasi Public		
Institutional	P	
Recreational facilities	N	
Civic open space	N	
Playground	N	
Churches	N	
Private or parochial schools	N	
Utility and public service buildings	R	Public restrooms are permitted.
Commercial		
<i>Auto/Transportation</i>		
Auto or motorcycle sales	N	Electric bikes under 50ccs are not considered motorcycle sales.
Auto service	N	
Auto repair	N	

Gas service station	N	
Parking facilities except private lots	P	
<i>Food/Restaurants/Entertainment</i>		
Restaurant	P	
Bar/lounge	R	Only 10 seats are allowed at the bar.
Outdoor food service/dining	P	
Arcades	P	
Theaters	P	
<i>Office/Service</i>		
Hotel	R	Ingress and egress shall not conflict with adjacent business uses. Each unit shall be a minimum of 250 square feet in area.
Professional offices	P	
Showrooms for offices	P	
Medical or veterinary clinics	P	
Personal service establishments	P	
Business service establishments	P	
Banks or credit unions	R	No drive-through facilities allowed
Business schools or private schools	P	
<i>Retail</i>		
Local retail	P	
Online retail	P	
Industrial		
Research and development	R	Only permitted within a completely enclosed building.
Storage facilities	N	
Greenhouses	N	

Any use that is determined to be less intense or agreeable as determined by the Planning Commission.

Section 78-443. – Lots and Yards

1. Lot size
 - a. No minimum lot size is required.
 - b. Lots must not exceed 150 feet in width.
2. Front yard
 - a. A minimum 0-foot front yard setback is required.
 - b. A maximum 12-foot front yard setback is required.
 - c. The third floor shall be setback a minimum of 5-feet from the front setback.
 - d. The fourth floor, if approved by the Planning Commission, shall be setback a minimum of 10-feet from the front setback.
3. Side yard

- a. No side yards are required along the interior side lot lines, except as otherwise specified in the building code.
 - b. No side yards are required on a corner lot.
 - ~~c. If a side yard is directly abutting a residential district, a side yard setback of 5 feet is required.~~
 - d. If walls of structures facing interior lot lines contain windows or other openings, side yard of not less than ten feet shall be provided.
 - e. The setback shall be measured from the nearest side of the existing and/or proposed right-of-way lines, whichever is greater.
4. Rear yard
- a. No rear yard setback is required.
 - ~~b. One half the width of active, public alleys at the rear of the lot may be considered in computing rear yard setbacks.~~
 - c. One off-street loading space shall be provided in the rear yard for each retail or restaurant establishment. The loading space shall be provided in addition to any required parking spaces. In those instances where properties abut an alley such alley may be substituted for off-street loading requirements in business districts.
5. Lot coverage
- a. No minimum lot coverage is required.

Section 78-444. – Site Development

1. Signage
 - a. Signage shall meet the requirements of Article XIX. Where Article XIX and this section conflict, this section shall prevail.
 - b. Projecting signs may encroach into the right-of-way
 - i. Vertical clearance must be a minimum of 8 feet in height.
 - c. Sidewalk signs are permitted only during open hours of the tenant.
 - d. One ground sign shall be allowed per parcel. It shall be setback 5-feet from the front property line.
 - ~~e. The following signs are prohibited:
 - i. Off premise business signs.
 - ii. Ground signs.~~
 - f. Signs are limited to 25 square feet in area.
 - g. A maximum of 2 signs are permitted per tenant.
2. Building height
 - a. The maximum building height shall not exceed 40 feet or three stories.
 - b. A maximum building height of 50 feet or four stories may be approved by the planning commission, if one or more of the following criteria are met:
 - i. Two or more uses are presented within a single building. One use must be residential.
 - ii. A public sidewalk of at least 15 feet wide is provided. Public sidewalk may be accommodated partly on private property.
3. Building siting and entrances
 - a. A minimum of 90% of the length of the front lot line shall be occupied by building unless an existing historic structure is being preserved.
 - b. At least one main entrance shall open directly onto or connect to the public sidewalk.

- c. Primary building entrances shall be clearly defined. The building entrance shall be recessed or framed by a sheltering element like an awning, arcade, or portico.
 - d. Entrances to buildings shall match the grade of the public sidewalk.
 - e. The public sidewalk must be 8-feet wide unless otherwise approved by the planning commission. The public sidewalk may be accommodated partly on private property, if necessary.
4. Building façade regulations
- a. A minimum of 70% of the first-floor façade shall be transparent.
 - b. A minimum of 40% of each floor on the second floor and above shall be transparent.
 - c. The planning commission shall evaluate the architecture based upon its compatibility and relationship to the adjacent buildings and uses.
 - d. Flat roofs shall be enclosed by parapets to conceal mechanical equipment. Mechanical equipment shall not exceed a height of ten feet above the roof surface. Mechanical equipment shall occupy less than 15% of the total roof area.
5. Fences
- a. A maximum height of 6.5 feet is required for fences in a rear or interior lot side yard.
 - b. A maximum height of 2.5 feet is required for fences in a front yard.
 - c. On corner lots where a rear yard abuts a side yard a maximum fence height of 4.5 feet is required. A fence must be setback a minimum of 8 feet from the property line abutting the street.
 - d. On corner lots where a rear yard abuts a rear yard a maximum height of 6.5 feet is required.
 - ~~e. A maximum height of 8 feet is required for fences in a rear yard that abut a railroad or street that has a speed limit of 40 miles per hour or greater.~~
6. Density
- a. The maximum density shall be 20 units per 1 acre.
 - b. No more than ten percent of the units on any given parcel may be of an efficiency apartment type.
 - c. A density bonus allowing up to 27 units per 1 acre may be approved by the planning commission, if one or more of the following criteria are met:
 - i. Significant pedestrian amenities which may include streetscaping, street furniture, pedestrian oriented lighting, bike amenities, usable public space, etc.
 - ii. At least 10% of the residential units are rented at an affordable housing unit rate and that affordable rate is maintained through the duration of the existence of the unit. Affordable housing shall be determined by a rate that could be afforded by a household that makes 80% or less than the median household income for the City of Plymouth.
 - iii. At least 20% of the residential units are rented to households that are aged 60 year or older and the 60+ age of the household is maintained through the duration of the existence of the unit.
 - iv. Three or more uses are included within a single building. One of the uses must be residential.
 - v. Additional public realm or public common space which may include landscaping is provided.
 - vi. A public sidewalk of at least 15 feet wide is provided. Public sidewalk may be accommodated partly on private property.

1. Adequate off-street parking shall be provided at the time of erection or enlargement of any main building or structure. The number of off-street parking spaces shall be provided prior to the issuance of a certificate of occupancy.
2. The required number of off-street parking spaces shall be based upon a parking rate according to the following schedule:

One residential unit	Two spaces for each dwelling unit
Two or three units	One and a half spaces for each dwelling unit
Four units or greater	One space for each dwelling unit
Retail	One space for each 500 square feet of gross floor area
Office/Service	One space for each 500 square feet of gross floor area
Medical office	One space for each 250 square feet of gross floor area
Restaurant	One space for each 250 square feet of gross floor area
Industrial	One space for each 500 square feet of gross floor area
Public/Quasi-Public	One space for each 500 square feet of gross floor area

- a. Off-street parking must be located at the rear of buildings.
 - b. Off-street parking and loading access is limited as follows:
 - i. Parking and loading access must be from an alley where available.
 - ii. Parking and loading access may be from a side lot line.
 - iii. Where parking and loading access is not available from side lot line or alley, access may be provided by the front lot line. Driveway width is limited to 20 feet.
 - c. The provided number of off-street parking spaces may be modified by the planning commission or city commission, based on evidence provided by the applicant that indicates that another standard would be more reasonable.
 - d. If the required number of off-street parking spaces cannot be provided on the subject property, then the applicant may agree to share parking with an adjacent property owner within 300 feet. A shared parking agreement shall be recorded with the city.
 - e. If the required number of off-street parking spaces cannot be provided on the subject property, then the applicant can pay in-lieu of parking at a rate set by the city commission.
 - f. Required off-street parking may be achieved on-street with planning commission approval.
3. Off-street parking lots shall be configured according to the following standards:
 - a. When parking lots abut a side property line a landscaped area of at least 5 feet is required.
 - b. When parking lots abut a front property line a landscaped area of at least 10 feet is required.
 - c. Parking lots greater than 5,000 square feet be configured according to the following standards:
 - i. One square foot of landscaped area for each 15 square feet of parking lot shall be provided within the interior of the parking lot.
 - ii. Each interior landscaped area shall be at least 6 feet wide in any direction and 150 square feet.
 - iii. Each interior landscaped area shall include at least one tree.
 - iv. The interior landscaped area shall be located in a manner that breaks up the expanse of parking lot.
 - d. Parking lot light fixtures shall not exceed 25 feet in height.
 - e. Parking lots shall be illuminated at an average minimum light intensity of 0.5 foot-candles.
 - f. Parking lot lighting shall be directed away from neighboring properties.

- g. Parking lot lighting shall be downward facing. Parking lot lighting facing the interior of the property may be angled downward at an angle not more than 45-degrees.
 - h. Parking lots dimensions shall be based upon the following requirements: 78-272 (2).
4. When landscaping is required it shall be completed according to the following standards:
- a. One tree is required for every 30 linear feet or fraction thereof of parking lot.
 - b. Trees shall be planted in a manner that contributes to the city's tree canopy and meet Section 34-12 through 34-16.
 - c. Five shrubs are required for every 30 linear feet or fraction thereof.

Section 78-446. – Accessory structures

1. Setbacks

- a. A minimum 3-foot rear yard setback is required.
- b. A minimum 3-foot side yard setback is required.
- c. A minimum 10-foot distance from main buildings is required.
- d. A minimum 0-foot setback from dedicated easements is required.
- e. A minimum 1-foot setback from active, public alleys is required.
- f. On corner lots where a rear yard abuts a side yard a minimum side yard setback of 15 feet or 90% of the average existing front yard setbacks within 200 lateral feet, whichever is greater, is required.
- g. On corner lots where a rear yard abuts a rear yard a minimum side yard setback of 8 feet is required.

2. Height

- a. A maximum 15-foot height is required.
- b. A maximum one-and-one-half stories is required.
- c. When dormers occupy more than 50% of the total roof area, the roof height shall be measured by measuring the average height between the eaves and the ridge of the dormer(s).

3. Lot coverage

- a. No minimum rear yard lot coverage is required.

4. Use

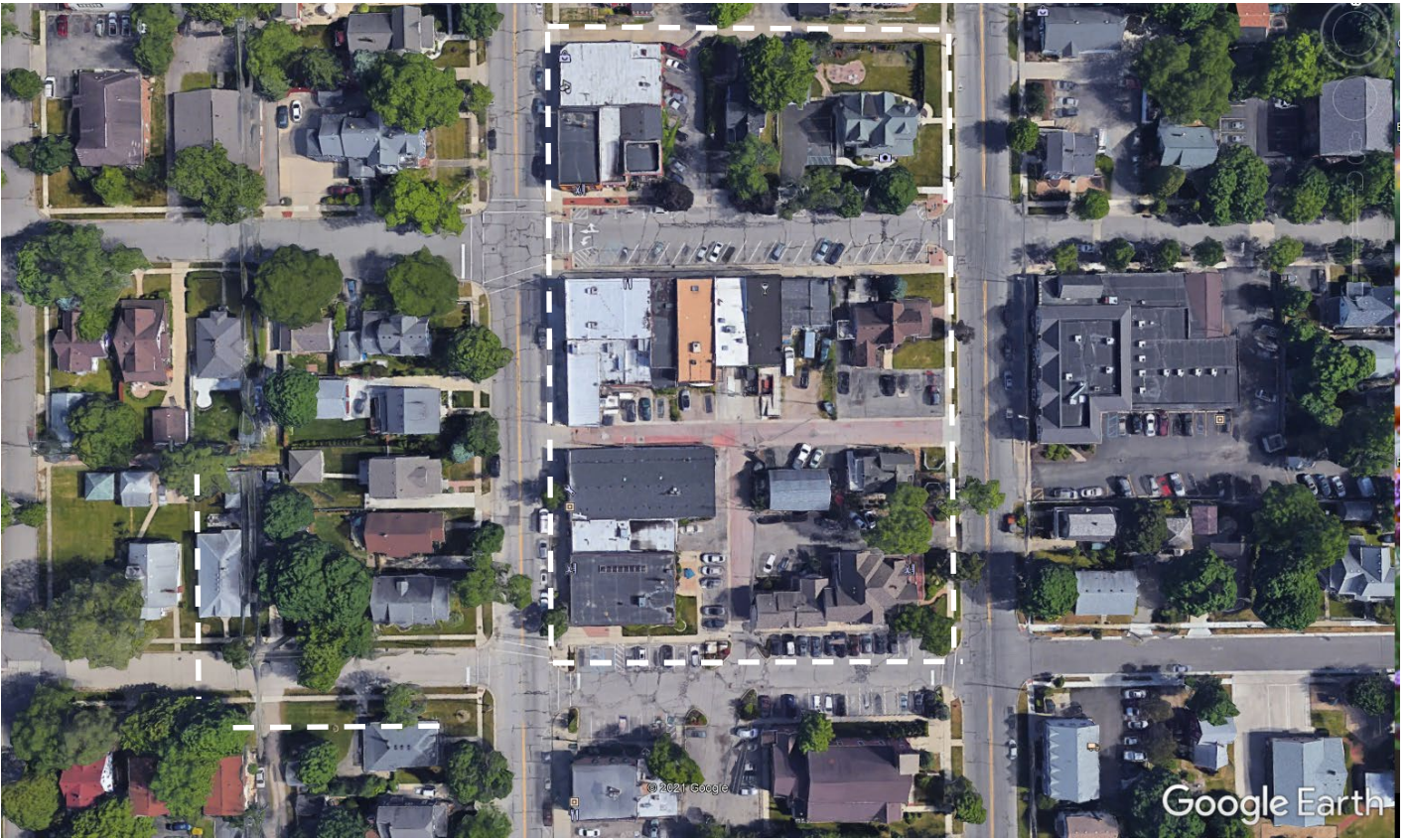
- a. Accessory structures shall only be used as occupiable space.

5. Other requirements

- a. Accessory structures shall not be placed in the front yard.
- b. Accessory structures may not be structurally attached to the main building unless the accessory structure meets all regulations applicable to the main building.
- c. Attached decks or balconies shall not exceed 32 square feet.

Section 78-447 through 78-449 – Reserved

Rev. Feb. 4, 2021
Rev. Mar. 2, 2021
Rev. Apr. 19, 2021
Rev. Jun. 3, 2021



DRAFT



**CITY OF PLYMOUTH
COMMUNITY DEVELOPMENT DEPARTMENT
SITE PLAN REVIEW APPLICATION**

201 South Main Street
Plymouth, Michigan 48170
(734) 453-1234 ext. 232
www.plymouthmi.gov

GENERAL INFORMATION:

Applicants seeking site plan approval are encouraged to familiarize themselves with the City of Plymouth Zoning Ordinance, Zoning Map, and Master Plan. Review these documents in order to assure that the land is properly zoned to permit the use proposed for development of the site and the building height, bulk, density, area, off-street parking, landscaping and screening requirements of the zoning ordinance are met. Copies of the Zoning Ordinance, Zoning Maps and Master Plans may be obtained online.

Site plans for all Multiple Family Residential, Condominium/Townhome Residential, and all Non-Residential developments must be reviewed and approved by the City of Plymouth Planning Commission before building permits may be issued.

Applicants must have a pre-application meeting prior to submittal unless waived by the Community Development Director. Pre-application meeting fee is \$325.

SITE PLAN REVIEW FEE(S):

Site Plan Review (initial review and one revision).....\$1,500 + \$50/acre or fraction thereof
Subsequent Site Plan Review (after the initial and one revision) \$750
Special Land Use Review \$600 in addition to Site Plan Review fee
Final Site Conformance Review (Multi-Family and Non-Residential) \$50/acre, \$200 Min.

REVIEW PROCESS:

Submit 15 copies of the Site Plan Review Application and 15 copies of the site plan drawings and any supplemental information (folded and stapled) to the Community Development Department before the review process can begin. Site plan drawings shall be on a sheet size that is legible to see details (suggested 24" by 36"), with graphics and scale. Submit one digital copy of the entire submission package (application, site plan drawings, supplemental information, etc.) via email, flash drive, or document sharing application. Site plans submitted for review must be in the hands of the City **by 12:00 PM on the third Monday of the month** in order to be on the following month's agenda. Specific deadlines and meeting dates can be found on the Planning Commission's page on the City's website. Fees shall be provided at the time of submittal.

This application will be initially reviewed for completeness by the Community Development Department. Incomplete applications will be returned for modification. Following determination of completeness, applications are distributed to the City's Planning Consultant, Fire Marshall, applicable department heads, and Planning Commissioners for review to ensure compliance with all applicable codes and ordinances.

The applicant will be provided with the Planning Consultant's comments and recommendations concerning the application in advance of the meeting.

The Planning Commission meets on the second Wednesday of the month in the City of Plymouth Commission Chambers (second floor), 201 S. Main Street, Plymouth, MI at 7:00 PM unless otherwise specified on the City's website.

CITY OF PLYMOUTH
SITE PLAN REVIEW APPLICATION

Community Development Department
 201 S. Main Street Plymouth, MI 48170
 Ph. 734-453-1234 ext. 232
www.plymouthmi.gov

I. Site/Project Information

Site Address 700 Junction Street, Plymouth MI 48170	Current Zoning Classification I-1; Light Industrial	Date of Application 5-10-2021
Name of Property Owner Consumers Energy; Joseph Lawson	Phone Number (517) 435- 5078	
Mailing Address One Energy Plaza	Email Address (Required) Joseph.LawsonIII@cmsenergy.com	
City Jackson	State MI	Zip Code 49201

II. Applicant and Contact Information

Indicate Who the Applicant Is. If Property Owner, Skip to Section III.	Architect	Developer	Engineer	Lessee
Applicant/Company Name Property Owner; Consumers Energy	Phone Number (517) 435- 5078			
Applicant/Company Address One Energy Plaza	City Jackson	State MI	Zip Code 49201	
Email Address (Required) Joseph.LawsonIII@cmsenergy.com				

III. Site Plan Designer and Contact Information

Site Plan Designer Company Name ROWE Professional Services Company	Phone Number (810) 869-5111			
Company Address 540 S. Saginaw Street, Suite 200	City Flint	State MI	Zip Code 48502	
Registration Number 6201042673	Expiration Date 10/31/2021	Email Address (Required) dscott@rowepsc.com		

IV. Type of Project (Please Select All that Apply)

<input type="checkbox"/> Commercial	<input type="checkbox"/> Multi-Family	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Remodel	<input type="checkbox"/> Change of Use
<input type="checkbox"/> Mixed Use	<input checked="" type="checkbox"/> Industrial	<input type="checkbox"/> Addition	<input type="checkbox"/> Interior Finish	<input type="checkbox"/> Special Land Use

V. Historic District

Is this project located in the Historic District?
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No


VI. Description of Work

Project includes the reconstruction of an existing natural gas regulator station. The existing building, fencing, and piping will be removed and a new 16'Lx12'Wx9'H steel building will be constructed on the site along with an exterior process heater, filter, and new fencing.

VII. Applicant Signature

Signature of Applicant 	Date 5.11.2021
---	-------------------

VIII. Property Owner Signature

Signature of Property Owner 	Date 5.11.2021
--	-------------------

Subscribed and sworn before me this 11 day of May, 2021.

Notary Public: Carrie J. Main
My Commission expires: 1-6-2022 Carrie S. Main

IX. Site Plan Review Checklist

Please include the following applicable information on the site plan.		YES	NO	N/A
1.	Correct scale	[X]	[]	[]
2.	Name of person preparing plan*	[X]	[]	[]
3.	Date, north point	[X]	[]	[]
4.	Property line dimension	[X]	[]	[]
5.	Street right-of-way widths	[X]	[]	[]
6.	Existing utilities (sewer, water, gas, etc.) and easements	[X]	[]	[]
7.	Show adjacent property and buildings, including zoning	[X]	[]	[]
8.	Existing topography, trees and other features	[X]	[]	[]
9.	Off-site ground, parking lot, roadway, driveway and/or structure elevations for minimum distance of 50 feet	[X]	[]	[]
10.	On-site grid of maximum 100 feet intervals each way (closer where rolling terrain warrants) and minimum 2.0 feet contours	[X]	[]	[]
11.	Location of new structures including side and front yard setbacks and building length and width (show a general floor plan)	[X]	[]	[]
12.	Number of dwelling units per building	[X]	[]	[]
13.	Height of structure	[X]	[]	[]
14.	Percent one room apartments (efficiencies)	[]	[]	[X]
15.	Total number of rooms if multiple-family	[]	[]	[X]
16.	Parking requirements met (See Section 78-720)	[]	[]	[X]
17.	Number of units and bedrooms each building	[]	[]	[X]
18.	Parking lot layout (showing paved area) including ingress and egress and service area	[]	[]	[X]
19.	Parking lot space dimensions	[]	[]	[X]
20.	Loading and unloading space	[]	[]	[X]
21.	Site grading and drainage plan (on-site elevations for pavements, drives, parking lots, curbs, sidewalks and finish grade at bldg.)	[X]	[]	[]
22.	Utility connections (sanitary sewer, water, storm sewers)	[]	[]	[X]

Please include the following applicable information on the site plan.		YES	NO	N/A
23.	On-site storm water retention	[]	[]	[X]
24.	Fire hydrants within 300 feet (on- and off-site)	[X]	[]	[]
25.	Sidewalks and elevations	[X]	[]	[]
26.	Sedimentation and erosion control plan	[X]	[]	[]
27.	Landscape plan showing plant materials to be used	[]	[]	[X]
28.	Sign requirements met	[]	[]	[X]
29.	Require walls and fences or greenbelts	[]	[]	[X]
30.	Corner clearance	[]	[]	[X]
31.	Service drive needed	[]	[]	[X]
32.	Acceleration lanes and traffic pattern	[]	[]	[X]
33.	Trash receptacle locations including screening type and height	[]	[]	[X]
34.	Mail box locations	[]	[]	[X]
35.	Air conditioner unit locations	[]	[]	[X]
36.	Special site features (play areas, pools, etc.)	[]	[]	[X]
37.	Handicapped facilities	[]	[]	[X]
38.	Building elevation drawings	[X]	[]	[]

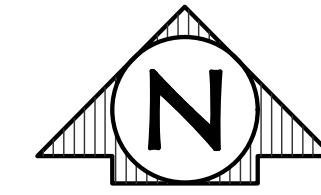
*Where property line surveys, topography, sewer, water or storm drains are shown, the name of the registered engineer or land surveyor preparing such elements of the plan shall be indicated on the plan.

For Office Use Only

		YES/DATE	NO	N/A
1.	Pre-Application Meeting			
2.	Digital Copy of Application Package			
3.	Public Hearing Notice			
4.	CWA Review			
5.	Municipal Services Review			
6.	Fire Department Review			
7.	Engineering Review			

PROJECT SCOPE

PREPARE A SITE PLAN AND OBTAIN ASSOCIATED PERMITS FOR CONSTRUCTION OF THE ADAMS AND JUNCTION REGULATOR STATION REBUILD IN THE CITY OF PLYMOUTH, MICHIGAN. THIS WILL INCLUDE THE CONSTRUCTION OF A NEW BUILDING, FENCING, AND ONE NEW HEATER. ALL CONSUMER'S OWNED PIPING ON SITE, ABOVE AND BELOW GRADE, WILL BE REPLACED.



SITE PLAN FOR CONSUMERS ENERGY ADAMS AND JUNCTION REGULATOR STATION REBUILD

SECTION 26 T1S-R8E
700 JUNCTION STREET
PLYMOUTH, MI 48170
WAYNE COUNTY, MI



LOCAL AGENCY AND UTILITY INFORMATION

AGENCY	UTILITY
CITY OF PLYMOUTH 201 S. MAIN PLYMOUTH, MI 48170 (734) 453-1234	SITE PLAN
CITY OF PLYMOUTH 201 S. MAIN PLYMOUTH, MI 48170 (734) 453-1234	ROW
WAYNE COUNTY DEPARTMENT OF PUBLIC SERVICES LAND RESOURCE MANAGEMENT DIVISION 3600 COMMERCE COURT WAYNE, MI 48184 (734) 326-3936	SESC

SHEET INDEX

- C-4175-PMT - 1 - COVER SHEET
- C-4175-PMT - 2 - GENERAL NOTE SHEET
- C-4175-PMT - 3 - EX SURVEY AND REMOVALS SHEET
- C-4175-PMT - 4 - SITE PLAN SHEET
- C-4175-SPL - 2 - GRADING AND SESC SHEET
- C-4175-SAD - 3 - SITE DETAIL SHEET
- C-4175-PMT - 5 - BUILDING - NOTES & FRAMING
- C-4175-PMT - 6 - BUILDING - ARCHITECTURAL & FOUNDATION
- C-4175-PMT - 7 - BUILDING - FOUNDATION DETAILS

LEGAL DESCRIPTION

PARCEL ID# 005-11-0041-002

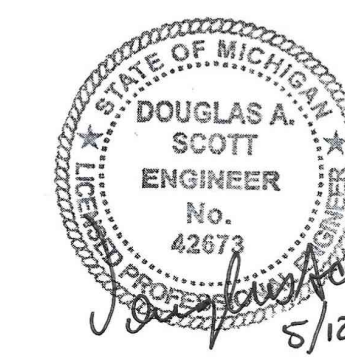
26R41B THAT PART OF LOT 41 AND ADJ VAC STREET DES AS BEG AT A POINT ON THE S LINE OF SAID LOT DISTANT N 86D 12M E 57.90 FT FROM THE SW COR OF LOT 41 AND PROC TH N 3D 48M W 50 FT TH N 86D 12M E 144.50 FT TH S 3D 48M E 50 FT TH S 86D 12M W ALONG THE N LINE OF JUNCTION AVE 144.50 FT TO TH POB CONTAINING 0.66 AC.

OWNER INFORMATION

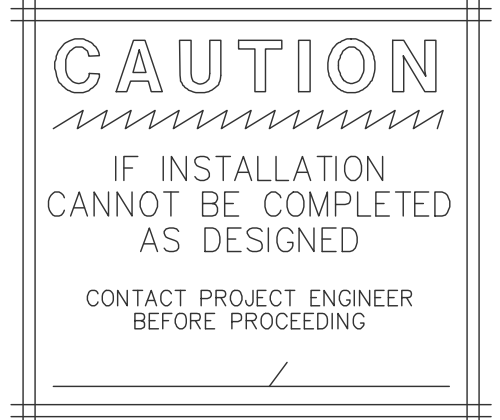
CONSUMERS ENERGY
1945 W. PARNALL RD
JACKSON, MI 49201
(248) 228-5559
JACOB KUEHNLEIN

ENGINEER INFORMATION

ROWE PROFESSIONAL SERVICES COMPANY
540 S. SAGINAW ST, SUITE 200
FLINT, MI 48502
(810) 341-7500
DOUGLAS SCOTT, P.E.



www.call811.com
or MISSDIG @ 1-800-482-7171

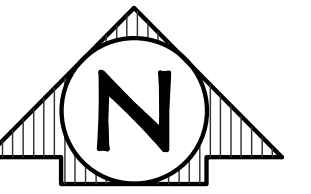


ORIGINAL DRAWING #

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	ENGINEER APPROVAL	DATE	

	ADAMS AND JUNCTION REG STATION 2021 CONSTRUCTION	
	COVER SHEET	
GEO-SPATIAL & GAS ASSET MANAGEMENT	FIELD AREA: PROJECT # 20C0300	DRAWING NO. C-4175-PMT
FILE: -- RASTER FILE:	SCALE N.T.S.	SHEET REV 1

DO NOT SCALE DRAWINGS USE DIMENSIONS ONLY



GENERAL CONSTRUCTION NOTES

EMERGENCY CONTACTS
 BEFORE BEGINNING WORK ON THE PROJECT, THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH THE NAMES AND TELEPHONE NUMBERS OF EMERGENCY CONTACTS. AT LEAST ONE PERSON REPRESENTING THE CONTRACTOR SHALL BE AVAILABLE TO RESPOND TO EMERGENCIES THROUGHOUT THE LIFE OF THE PROJECT, 24 HOURS A DAY, 7 DAYS A WEEK.

UNDERGROUND UTILITY IDENTIFICATION AND LOCATION
 THE CONTRACTOR SHALL CALL MISS DIG (811) A MINIMUM OF THREE WORK DAYS IN ADVANCE OF BEGINNING EXCAVATION. THE CONTRACTOR IS RESPONSIBLE TO IDENTIFY AND NOTIFY UTILITY AGENCIES WITHIN THE PROJECT AREA WHICH DO NOT PARTICIPATE IN THE MISS DIG NOTIFICATION PROGRAM.

PUBLIC UTILITIES
 EXISTING UTILITIES ARE SHOWN BASED UPON RECORDS AND LOCATIONS PROVIDED BY UTILITY AGENCIES. THE INFORMATION SHOWN IS CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. UNLESS THE PLANS SPECIFICALLY SHOW THAT EXISTING UTILITIES ARE TO BE MOVED, THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN EXISTING UTILITIES.

VERIFICATION OF UNDERGROUND UTILITIES
 THE CONTRACTOR SHALL EXCAVATE AND LOCATE ALL EXISTING UTILITIES IN THE PROJECT AREA IN ADVANCE OF CONSTRUCTION TO VERIFY THEIR ACTUAL LOCATION. POTENTIAL CONFLICTS SHALL BE REPORTED TO THE ENGINEER. THE CONTRACTOR SHALL MAKE SUCH CHANGES TO GRADE AND ALIGNMENT OF PROPOSED WORK AS DIRECTED BY THE ENGINEER TO AVOID CONFLICTS, AT NO INCREASE IN COST TO THE OWNER.

UTILITY SERVICE
 UNLESS SPECIFICALLY PROVIDED OTHERWISE IN THE CONTRACT DOCUMENTS, ALL EXISTING UTILITIES ARE TO REMAIN IN SERVICE DURING THE PROJECT.

SOIL BORINGS / PAVEMENT CORES
 IF PROVIDED ON THE PLANS OR IN THE CONTRACT DOCUMENTS, LOGS OF SOIL BORINGS OR PAVEMENT CORES REPRESENT THE SUBSURFACE CONDITIONS ENCOUNTERED AT SPECIFIC POINTS. THE INFORMATION IS PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY.

MAINTAINING TRAFFIC
 LOCAL AND EMERGENCY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES WITHIN THE PROJECT AREA.

WHEN EXCAVATION, FRESH CONCRETE, OR OTHER CONSTRUCTION WORK WILL RESULT IN THE CLOSURE OF A STREET OR DRIVEWAY FOR A PERIOD OF TIME, THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL AFFECTED RESIDENTS AND BUSINESSES IN ADVANCE.

THE CONTRACTOR SHALL NOTIFY EMERGENCY RESPONSE AGENCIES IN ADVANCE OF ROAD CLOSURES OR THE ESTABLISHMENT OF DETOURS.

TRAFFIC SIGNS
 TRAFFIC SIGNS WHICH INTERFERE WITH CONSTRUCTION SHALL BE REMOVED AND REPLACED BY THE AGENCY HAVING JURISDICTION OVER THE STREETS OR ROADS IN THE PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE AGENCY TO ARRANGE FOR REMOVAL OF THE SIGN AND IS RESPONSIBLE TO PAY ANY FEES ASSOCIATED WITH THE REMOVAL AND REPLACEMENT OF THE SIGNS.

SCHEDULE
 THE CONTRACTOR SHALL COMPLETE ALL WORK IN AN EXPEDITIOUS MANNER AND SHALL NOT STOP WORK ON THE PROJECT ONCE BEGUN.

ALIGNMENT
 ALIGNMENT AND GRADES FOR CURB AND GUTTER (INCLUDING THROUGH RAMPS AND DRIVEWAY OPENINGS) SHOWN ON THE PLANS ARE FOR THE TOP, BACK OF CURB, UNLESS SPECIFICALLY SHOWN OTHERWISE ON THE PLANS.

THE HORIZONTAL ALIGNMENT SHOWN ON THE DRAWINGS FOR DRAINAGE STRUCTURES LOCATED IN THE CURB LINE IS TO THE CENTER OF THE CASTING.

THE HORIZONTAL ALIGNMENT SHOWN ON THE DRAWINGS FOR DRAINAGE STRUCTURES WHICH ARE NOT IN THE CURB LINE AND FOR MANHOLES IS TO THE CENTER OF THE STRUCTURE.

WHERE RIM ELEVATIONS ARE PROVIDED ON THE PLANS FOR MANHOLE CASTINGS, THE ELEVATION PROVIDED IS FOR THE TOP OF THE CASTING.

WHERE RIM ELEVATIONS ARE PROVIDED FOR INLET TYPE CASTINGS, THE ELEVATIONS ARE PROVIDED AS FOLLOWS:
 • CURB INLETS - THE ELEVATION OF THE TOP OF CURB
 • ALL OTHER INLETS - THE ELEVATION OF THE FLOW LINE

WHERE RIM ELEVATIONS ARE PROVIDED ON THE PLANS FOR INLETS OR MANHOLE CASTINGS, THE ELEVATIONS PROVIDED ARE CONSIDERED PRELIMINARY. THE CONTRACTOR SHALL MAKE THE FINAL ADJUSTMENT FOLLOWING THE ESTABLISHMENT OF ACTUAL GRADING AND PAVEMENT ELEVATIONS.

SURVEY CORNERS, BENCHMARKS, AND CONTROL POINTS
 THE CONTRACTOR SHALL PRESERVE ALL GOVERNMENT CORNERS, PROPERTY CORNERS, BENCHMARKS, SURVEY CONTROL POINTS AND OTHER SURVEY POINTS WITHIN THE PROJECT AREA. WHERE CORNERS, BENCHMARKS, OR SURVEY POINTS ARE ENCOUNTERED WHICH WILL BE DISTURBED BY THE CONTRACTOR'S ACTIVITIES; A LICENSED SURVEYOR SHALL WITNESS THE POINT BEFORE DISTURBANCE AND SHALL RE-SET THE POINT FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL PAY THE SURVEYOR TO WITNESS AND TO RE-SET THE POINTS.

PROTECTION OF TREES, SHRUBS, AND LANDSCAPING
 ALL TREES, SHRUBS, AND LANDSCAPING WITHIN THE CONSTRUCTION AREA WHICH ARE NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED TREES, SHRUBS, AND LANDSCAPING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

CONSTRUCTION SIGNING AND BARRICADING
 THE CONTRACTOR SHALL PROTECT HAZARDOUS AREAS WITH BARRICADES. BARRICADES LEFT IN PLACE AFTER SUNSET SHALL BE LIGHTED.

THE CONTRACTOR SHALL PROVIDE SUITABLE SANDBAGS OR OTHER SUITABLE MEASURES FOR ANCHORING OF TEMPORARY SIGNS AND BARRICADES, TO PREVENT THEIR TIPPING OR DISPLACEMENT BY WIND OR AIR FLOW FROM VEHICLES.

THE CONTRACTOR SHALL PROVIDE SIGNING, BARRICADES, FLAGGERS, CONES, AND OTHER TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCY HAVING JURISDICTION OVER STREETS OR ROADS IN THE PROJECT AREA, THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE PLANS AND SPECIFICATIONS.

THE CONTRACTOR SHALL COVER OR REMOVE TEMPORARY SIGNS DURING PERIODS WHEN THEY ARE NOT APPROPRIATE.

TURF ESTABLISHMENT
 ALL DISTURBED AREAS WHICH ARE NOT TO BE SURFACED WITH PAVEMENT, AGGREGATE OR OTHER APPROVED SURFACES SHALL BE ESTABLISHED WITH TURF.

TURF AREAS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE.

DISTURBED AREAS SHALL BE SURFACED WITH THREE INCHES OF SCREENED TOPSOIL.

THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH TURF WHICH IS SUBSTANTIALLY FREE OF BARE SPOTS AND FREE OF WEEDS. THE GROUND SURFACE IN TURF AREAS SHALL BE SMOOTH AND PROVIDE A NATURAL TRANSITION TO ADJACENT, UNDISTURBED AREAS.

ADA COMPLIANCE
 ALL PROPOSED CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AND APPLICABLE GUIDELINES OR STANDARDS. WHERE EXISTING CONDITIONS AND/OR THE REQUIREMENTS OF THE PLANS WILL RESULT IN FINISHED CONDITIONS THAT DO NOT MEET THE ADA REQUIREMENTS, GUIDELINES, OR STANDARDS; THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND REPLACE WORK DETERMINED TO BE NOT IN ACCORDANCE WITH APPLICABLE REQUIREMENTS, GUIDELINES, OR STANDARDS.

EARTHWORK
 EARTHWORK QUANTITIES, IF PROVIDED, ARE PROVIDED FOR THE CONTRACTOR'S INFORMATION. THE QUANTITIES WERE DEVELOPED USING THE AVERAGE END AREA METHOD. ASSUMPTIONS REGARDING TOPSOIL AND SHRINKAGE ARE STATED WITH THE ESTIMATES OF EXCAVATION AND FILL.

THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF THE EARTHWORK QUANTITIES, AND BASE HIS BID ON HIS DETERMINATION OF THE QUANTITIES OF WORK REQUIRED.

IF ADDITIONAL FILL MATERIAL MUST BE PROVIDED TO ATTAIN THE FINISH GRADES SHOWN ON THE PLANS, THE CONTRACTOR SHALL PROVIDE THE REQUIRED FILL MATERIAL, UNLESS A SPECIFIC BORROW AREA IS IDENTIFIED ON THE PLANS.

EXCESS SOILS RESULTING FROM EXCAVATION AND EARTHWORK SHALL BECOME THE CONTRACTOR'S PROPERTY AND DISPOSED OF PROPERLY, UNLESS AN AREA(S) HAS BEEN DESIGNATED FOR STOCKPILING OR "BLENDING IN" THE EXCESS MATERIAL WITHIN THE PROJECT LIMITS.

BACKFILL AND EMBANKMENT
 BACKFILL OF AN EXCAVATION UNDER OR WITHIN THE ONE ON ONE INFLUENCE OF AN EXISTING OR PROPOSED ROAD, SIDEWALK, DRIVEWAY, PAVEMENT, OR AGGREGATE SURFACE, SHALL BE SAND, MEETING THE REQUIREMENTS OF GRANULAR MATERIAL CLASS III AS DESCRIBED IN THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE SAND BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

BACKFILL OF AN EXCAVATION WHICH IS NOT UNDER OR WITHIN THE ONE ON ONE INFLUENCE OF AN EXISTING OR PROPOSED ROAD, SIDEWALK, DRIVEWAY, PAVEMENT, OR AGGREGATE SURFACE MAY BE SUITABLE EXCAVATED MATERIAL OR OTHER SOIL, WHICH IS FREE OF ORGANIC MATTER, STONES AND ROCKS, ROOTS, BROKEN CONCRETE, FROZEN MATERIAL, OR DEBRIS. THE BACKFILL SHALL BE COMPACTED TO AT LEAST 90% OF ITS MAXIMUM UNIT WEIGHT.

THE CONTRACTOR SHALL INDICATE THE SOURCE OF SAND USED FOR BACKFILL TO THE ENGINEER, AND PROVIDE THE ENGINEER WITH THE RESULTS OF A GRADATION TEST PERFORMED ON A SAMPLE OF THE SAND. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ADVANCE OF USING SAND FROM OTHER SOURCES.

EMBANKMENT USED TO BUILD THE SUBGRADE TO REQUIRED ELEVATION SHALL BE SUITABLE SOIL EXCAVATED FROM THE PROJECT SITE, OR FURNISHED BY THE CONTRACTOR FROM OTHER SOURCES. SUITABLE SOIL IS FREE FROM ORGANIC MATTER, ROCKS AND STONES, FROZEN MATERIAL, BROKEN CONCRETE, AND DEBRIS.

EMBANKMENT CONSTRUCTED OF GRANULAR SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

EMBANKMENT CONSTRUCTED OF COHESIVE SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 6 INCHES TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

DENSITY TESTING
 THE MAXIMUM DRY DENSITY OF SAND AND OTHER GRANULAR SOILS WILL BE DEFINED BY THE MODIFIED PROCTOR ASTM D1557, AS DESCRIBED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S DENSITY TESTING AND INSPECTION MANUAL.

THE MAXIMUM DRY DENSITY OF COHESIVE SOILS WILL BE DEFINED BY THE MODIFIED PROCTOR ASTM D1557, AS DESCRIBED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S DENSITY TESTING AND INSPECTION MANUAL.

WORK HOURS
 UNLESS PROVIDED OTHERWISE IN THE CONTRACT DOCUMENTS OR LIMITED BY LOCAL ORDINANCE, THE CONTRACTOR SHALL WORK WITHIN OF THE FOLLOWING TIMES, UNLESS OTHERWISE APPROVED BY THE OWNER:
 MONDAY THROUGH FRIDAY 7 A.M. TO 8 P.M.
 SATURDAY 8 A.M. TO 6 P.M.

THE CONTRACTOR SHALL NOT WORK ON SUNDAYS OR HOLIDAYS, UNLESS OTHERWISE APPROVED BY THE OWNER.

DRAINAGE
 THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE EXISTING DRAINAGE FACILITIES ARE DISTURBED OR BLOCKED BY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROVISIONS FOR DRAINAGE.

WHERE CONSTRUCTION HAS DISTURBED EXISTING DITCHES, SWALES, OR OTHER DRAINAGE FACILITIES; THE CONTRACTOR SHALL RESTORE THEM TO THEIR GRADES AND DIMENSIONS WHICH EXISTED PRIOR TO THE BEGINNING OF CONSTRUCTION, UNLESS DIRECTED OTHERWISE.

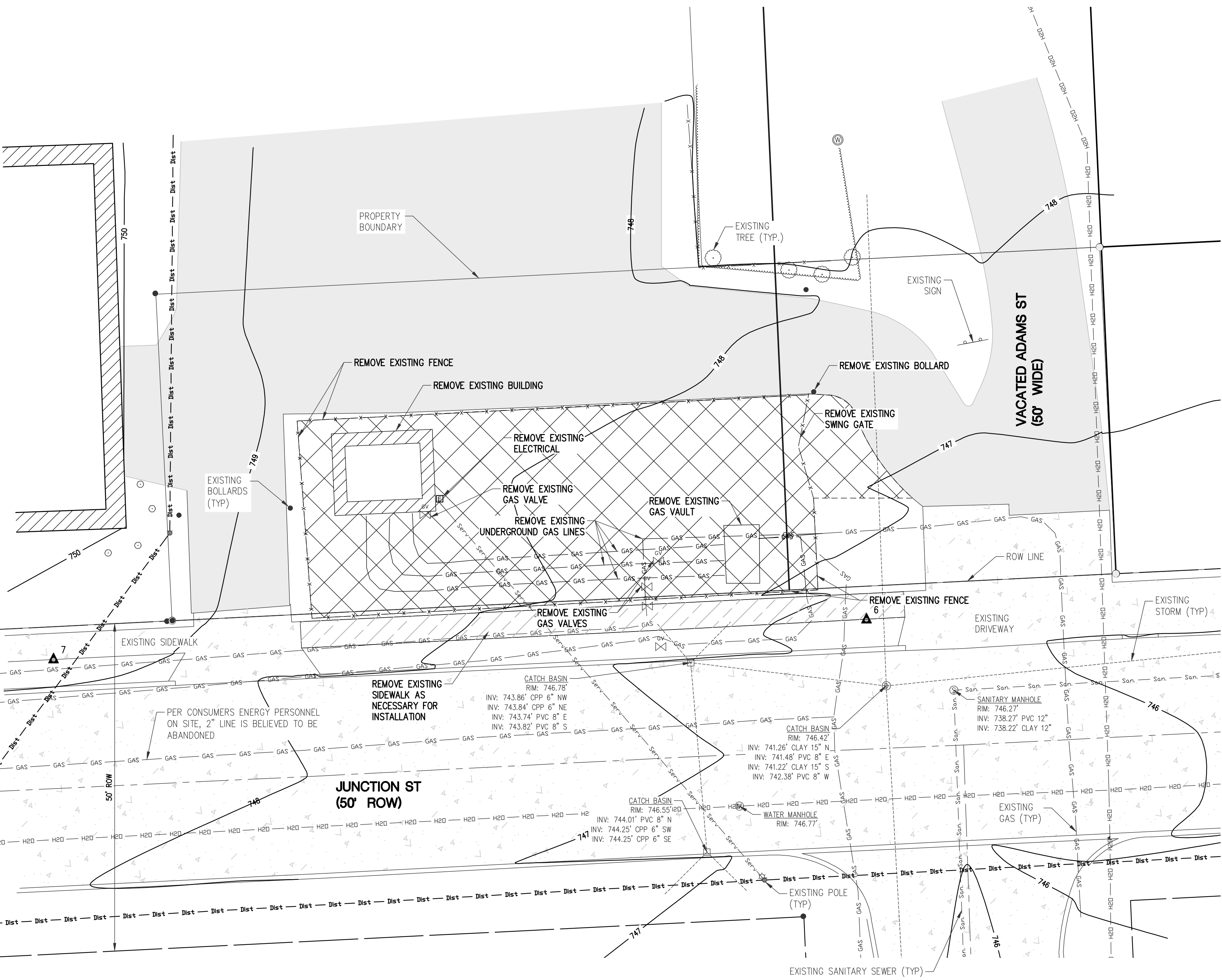
DRAINAGE SHALL NOT BE REROUTED ONTO ADJACENT PROPERTIES NOR ALLOWED TO DRAIN ONTO ADJACENT PROPERTIES AT AN INCREASED RATE, AS A RESULT OF THE CONTRACTOR'S WORK.



JUNCTION ROAD REGULATOR STATION REBUILD - ZONING INFORMATION MAP
 NOT TO SCALE

ORIGINAL DRAWING #										DRAWN _____ CJA _____ DATE MAR 2021												ADAMS AND JUNCTION REG STATION 2021 CONSTRUCTION											
										CHECKED _____ KEL _____ DATE MAR 2021																							
										DESIGNED _____ KEL _____ DATE MAR 2021										GENERAL NOTE SHEET													
										DESIGN APPROVAL _____ DAS _____ DATE MAR 2021														FIELD AREA: PROJECT # 20C0300 STA. NO. ---									
										ENGINEER APPROVAL _____ DAS _____ DATE MAR 2021										DRAWING NO. C-4175-PMT													
REFERENCE DRAWINGS NUMBERS										DESCRIPTION														SHEET 2 REV									
REV.	PROJECT #	DATE	DESCRIPTION							DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION							DR	CK	DES. APP.	ENG. APP.	CO	SCALE	SHEET		REV
																														N.T.S.			

DO NOT SCALE DRAWINGS USE DIMENSIONS ONLY



LOCATION MAP
NOT TO SCALE
SEC. 26 CITY OF PLYMOUTH, MI TO1S R08E WAYNE COUNTY

BASIS OF BEARING

NA83, MICHIGAN STATE PLANE COORDINATE SYSTEM
SOUTH ZONE (2113), INTERNATIONAL FEET
AVG. COMBINED SCALE FACTOR = 0.99991495
GROUND DISTANCES ARE SHOWN

BASIS OF ELEVATION

NAVD 88 DATUM
MICHIGAN STATE PLANE COORDINATE SYSTEM (CORS)
GEOID 1.28 (2011 ELLIPSOIDAL REFERENCE FRAME)
1 FOOT CONTOURS ARE SHOWN

CONTROL POINT INFORMATION

CONTROL POINT #6

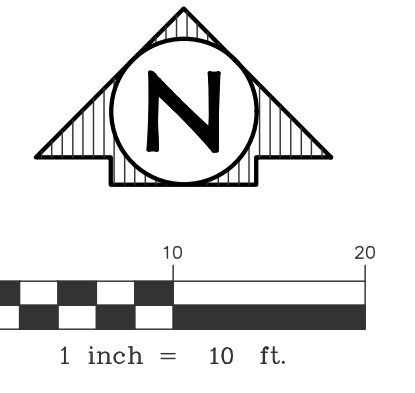
1/2" X 18" ROD WITH "CONTROL POINT" CAP
ON THE NORTH SIDE OF JUNCTION ST.
ABOUT 4.5 FEET SOUTH AND ABOUT 7.5 FEET EAST OF THE SOUTHEAST CORNER OF THE SUBSTATION FENCE.
NORTHING= 321928.51
EASTING= 1336597.58
ELEV=746.69

CONTROL POINT #101

1/2" X 18" ROD WITH "CONTROL POINT" CAP
ON THE NORTH SIDE OF JUNCTION ST.
ABOUT 6 FEET SOUTH AND ABOUT 39.5 FEET WEST OF THE SOUTHWEST CORNER OF THE SUBSTATION FENCE.
NORTHING= 321922.41
EASTING= 13365833.28
ELEVATION= 749.41

SITE BENCHMARK

SET RAILROAD SPIKE IN NORTH FACE OF UTILITY POLE IN THE SOUTHWEST CORNER OF JUNCTION ST. AND ADAMS ST.
ELEVATION= 747.85



LEGEND

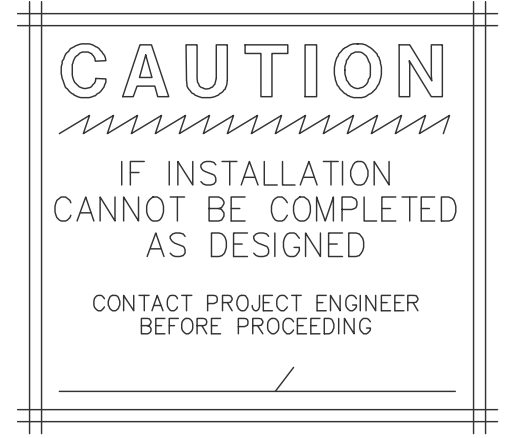
- ⊙ CARSONITE POST @ CORNER
- ⊙ UTILITY POLE
- ⊙ LIGHT POLE
- ⊙ GUY ANCHOR
- ⊙ TELEPHONE RISER
- ⊙ ELECTRIC RISER
- ⊙ SIGN
- ⊙ POST (WOOD/METAL)
- ⊙ ABOVE GRADE VERTICAL PIPE
- ⊙ CURB INLET
- ⊙ GASLINE MARKER
- ⊙ GAS VALVE
- ⊙ BLOWDOWN
- ⊙ ELECTRICAL BOX
- ⊙ SECTION CORNER
- ⊙ FOUND/SET SURVEY
- ▨ EXISTING CONCRETE
- ▨ EXISTING ASPHALT PAVEMENT
- ▨ REMOVE EXISTING GRAVEL SURFACE
- ▨ REMOVE EXISTING SIDEWALK
- X— EXISTING FENCE
- Dist- DISTRICTION OVERHEAD
- FD- FIBER OPTIC
- CATV- CATV
- SYP- STORM SEWER
- H2O- WATER MAIN
- TELEPHONE OVERHEAD
- GAS- UNDERGROUND GAS
- ~ TREE / BRUSH LINE
- ⊙ DECIDUOUS TREE
- ⊙ CONIFEROUS TREE

SITE PLAN NOTES:

1. ALL TOPSOIL, AGGREGATE, AND OTHER MATERIAL WILL REMAIN ON SITE. NO SOIL WILL BE LEAVING THE SITE DURING CONSTRUCTION UNLESS DIRECTED BY OWNER.
2. ALL SURVEY WAS PERFORMED BY SSI, SURVEYING SOLUTIONS. ROWE P.S.C. HAS NOT FIELD VERIFIED ANY OF THE INFORMATION.



Know what's below.
Call before you dig.
www.call811.com
or MISSDIG @ 1-800-482-7171



ORIGINAL DRAWING #

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO		

ROWE PROFESSIONAL SERVICES COMPANY

Consumers Energy
Count on Us®
GEO-SPATIAL & GAS ASSET MANAGEMENT

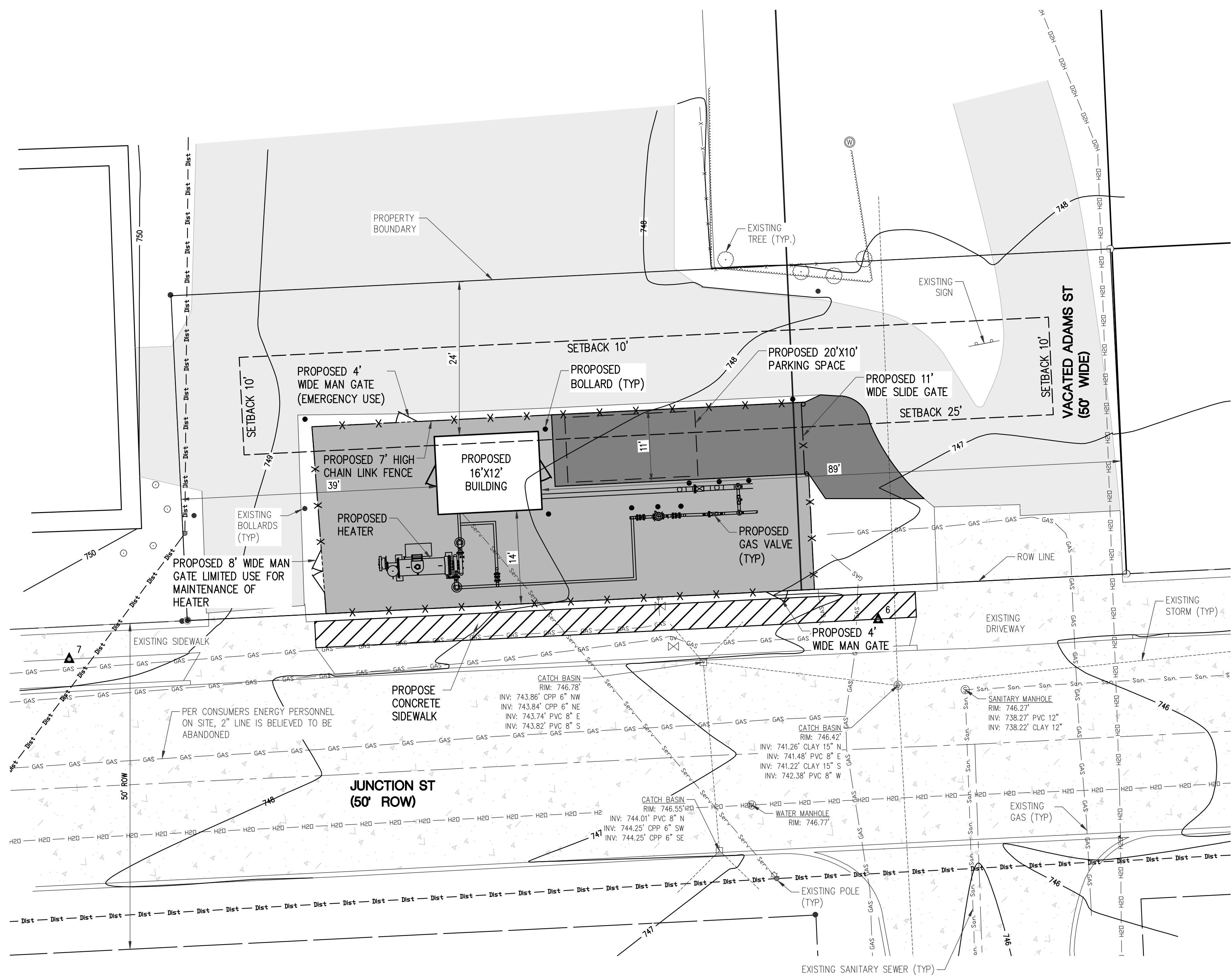
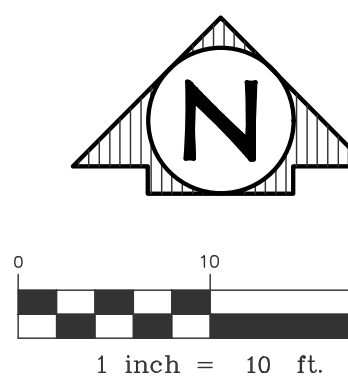
FILE: -- RASTER FILE: -- SCALE: 1" = 10'

ADAMS AND JUNCTION REG STATION 2021 CONSTRUCTION

EX SURVEY AND REMOVALS SHEET

FIELD AREA: PROJECT # 20C0300 DRAWING NO. SHEET REV
STA. NO. --- C-4175-PMT 3

DO NOT SCALE DRAWINGS USE DIMENSIONS ONLY



DISTRICT SETBACK TABLE								
REQUIRED	DISTRICT	DESCRIPTION	FLOOR AREA	MAX. HEIGHT	MINIMUM FRONT YARD	MINIMUM SIDE YARDS	MINIMUM REAR YARD	LOT COVERAGE (BUILDINGS)
	LIGHT INDUSTRIAL	PUBLIC UTILITY ESSENTIAL SERVICE	NONE	45'	25'	10'	10'	EXISTING 2.7%
PROVIDED	LIGHT INDUSTRIAL	PUBLIC UTILITY ESSENTIAL SERVICE	192 SFT	9' EAVE	14'-JUNCTION	89' 39'	24'	PROPOSED 2.7%

- NOTES:
- A VARIANCE HAS BEEN APPLIED FOR TO ALLOW A FRONT YARD SETBACK OF 14'.
 - A VARIANCE HAS BEEN APPLIED FOR TO ALLOW A 7' HIGH DECORATIVE FENCE IN THE FRONT YARD SETBACK.

SITE PLAN NOTES:

- PERMANENT TRASH RECEPTACLES / DUMPSTERS ARE NOT PROPOSED FOR THIS SITE. ANY WASTE GENERATED ONSITE WILL BE REMOVED THE SAME DAY. TEMPORARY DUMPSTERS MAY BE ON SITE DURING CONSTRUCTION BUT WILL BE REMOVED PRIOR TO CONSTRUCTION COMPLETION.
- THE SITE WILL NOT BE REGULARLY OCCUPIED. EMPLOYEES WILL ROUTINELY VISIT THE SITE TO PERFORM REGULAR INSPECTIONS AND ROUTINE MAINTENANCE. THERE IS SUFFICIENT SPACE FOR THE ANTICIPATED PARKING NEEDS. TYPICALLY, A SINGLE WORK TRUCK WILL BE ON SITE DURING MAINTENANCE VISITS. THESE SPACES WILL NOT BE DELINEATED IN THE FIELD.
- THE FACILITY WILL NOT UTILIZE PUBLIC WATER OR SANITARY SEWER, NOR WILL THE SITE MAKE USE OF A PRIVATE WELL OR SEPTIC SYSTEM.
- THE SITE WILL BE SERVED BY ELECTRICAL SERVICE.
- THE PROPOSED PROJECT WILL NOT IMPACT ANY WETLANDS OR FLOODPLAINS.
- A CRUSHED LIMESTONE SURFACE WILL BE PROVIDED WITHIN THE PROPOSED FENCE AREA.
- THE PROPOSED BUILDING WILL HAVE A LIGHT FIXTURE ABOVE EACH DOOR. THE LIGHT FIXTURES WILL BE SWITCH OPERATED AND WILL ONLY BE ON WHEN WORK IS BEING PERFORMED ONSITE. NO POLE MOUNTED LIGHT FIXTURES WILL BE CONSTRUCTED.
- SIGNAGE WILL CONSIST OF 24" X 12" CAUTION/NO TRESPASSING SIGNS ON EACH SIDE OF THE FENCE (4).
- NO LANDSCAPING IS PROPOSED DUE TO THE LOCATION OF THE EXISTING GAS LINES.
- THE PROPOSED EXTERIOR HEATER IS DESIGNED TO TEMPER THE NATURAL GAS AND WILL ONLY OPERATE DURING COLD PERIODS (BELOW 45 DEGREES).

- LEGEND**
- ⊙ CARSONITE POST @ CORNER
 - ⊙ UTILITY POLE
 - ☆ LIGHT POLE
 - ↓ GUY ANCHOR
 - TELEPHONE RISER
 - ELECTRIC RISER
 - SIGN
 - POST (WOOD/METAL)
 - ⊙ ABOVE GRADE VERTICAL PIPE
 - ⊙ CURB INLET
 - ⊙ GASLINE MARKER
 - ⊙ GAS VALVE
 - ⊙ BLOWDOWN
 - ⊙ ELECTRICAL BOX
 - ⊙ SECTION CORNER
 - FOUND/SET SURVEY
 - ▨ PROPOSED SIDEWALK
 - ▨ EXISTING ASPHALT PAVEMENT
 - ▨ EXISTING CONCRETE PAVEMENT
 - ▨ PROPOSED GRAVEL YARD
 - ▨ PROPOSED GRAVEL DRIVE
 - X— EXISTING FENCE
 - X— PROPOSED FENCE
 - Dist— DIST. DISTRIBUTION OVERHEAD
 - FD— FIBER OPTIC
 - CATV— CABLE
 - SS— STORM SEWER
 - CC— PROPOSED CULVERT
 - H2O— WATER MAIN
 - TEL— TELEPHONE OVERHEAD
 - GAS— UNDERGROUND GAS
 - ~ TREE / BRUSH LINE
 - ⊙ DECIDUOUS TREE
 - ⊙ CONIFEROUS TREE

ORIGINAL DRAWING #

REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO

ROWE PROFESSIONAL SERVICES COMPANY

Consumers Energy
Count on Us®
GEO-SPATIAL & GAS ASSET MANAGEMENT

FILE: --
RASTER FILE: --

SCALE: 1" = 10'

ADAMS AND JUNCTION REG STATION 2021 CONSTRUCTION

SITE PLAN SHEET

FIELD AREA: PROJECT # 20C0300 DRAWING NO. C-4175-PMT SHEET 4

STA. NO. ---

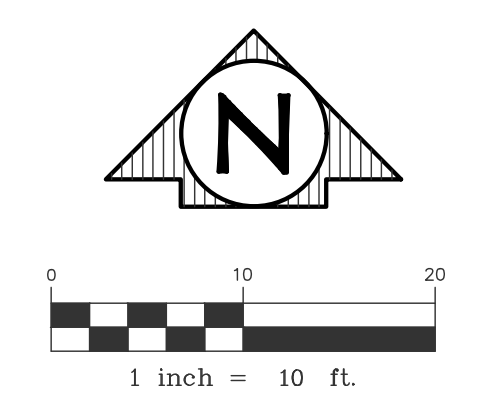
811
Know what's below.
Call before you dig.
www.call811.com
or MISSDIG @ 1-800-482-7171

CAUTION
IF INSTALLATION CANNOT BE COMPLETED AS DESIGNED CONTACT PROJECT ENGINEER BEFORE PROCEEDING

DO NOT SCALE DRAWINGS USE DIMENSIONS ONLY



ADAMS AND JUNCTION REGULATOR STATION REBUILD - LOCATION MAP
NOT TO SCALE



- LEGEND**
- PROPOSED SIDEWALK
 - EXISTING ASPHALT PAVEMENT
 - PROPOSED GRAVEL YARD
 - PROPOSED GRAVEL DRIVE
 - EXISTING CONCRETE PAVEMENT
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - SILT FENCE
 - PROPOSED SPOT ELEVATION
 - SURFACE DRAINAGE FLOW
 - MATCH EXISTING

SESC PLAN NOTES:

OWNER INFORMATION
 CONSUMERS ENERGY
 1945 W. PARNALL RD
 JACKSON, MI 49201
 (517) 788-0648
 LINDSEY JOHNSON

SITE ADDRESS
 700 JUNCTION ST
 PLYMOUTH, MI 48170
 WAYNE COUNTY

PROJECT NAME
 ADAMS & JUNCTION REGULATOR STATION REBUILD

PROXIMITY TO WATERS OF STATE
 WILCOX LAKE IS 2,400 FT NORTHEAST OF THE SITE

100 YEAR FLOODPLAIN
 PER FEMA COMMUNITY MAP PANEL NUMBER 26163C0038E, DATED FEBRUARY 2, 2012

AREA OF DISTURBANCE
 0.07 ACRES

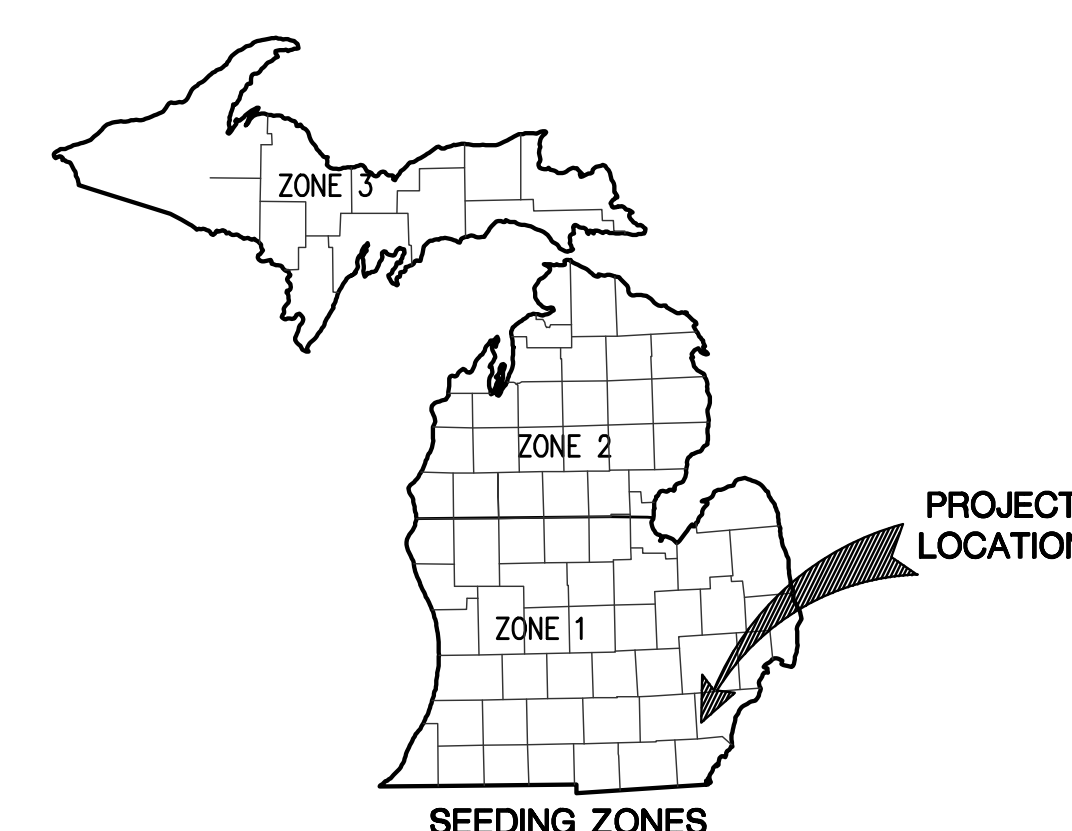
NOTE: NO WETLANDS OR FLOODPLAINS ARE LOCATED ON THIS SITE.

PROJECT COMPLETION SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT
STRIP & STOCKPILE TOPSOIL / GRAVEL										
DEMOLITION										
YARD PIPING REPLACEMENT										
BUILDING ERECTION										
ROUGH GRADING										
FINISH GRADING / RESTORATION										
FENCE / GATE REPLACEMENT										
FUNCH LIST COMPLETION										

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT
STRIP & STOCKPILE TOPSOIL										
ROUGH GRADE, SEDIMENT CONTROL										
TEMP. CONTROL MEASURES										
STORM FACILITIES										
TEMP. CONSTRUCTION ROADS										
SITE CONSTRUCTION										
PERM. CONTROL MEASURES										
FINISH GRADING										
REMOVE TEMP. CONTROL MEASURES										



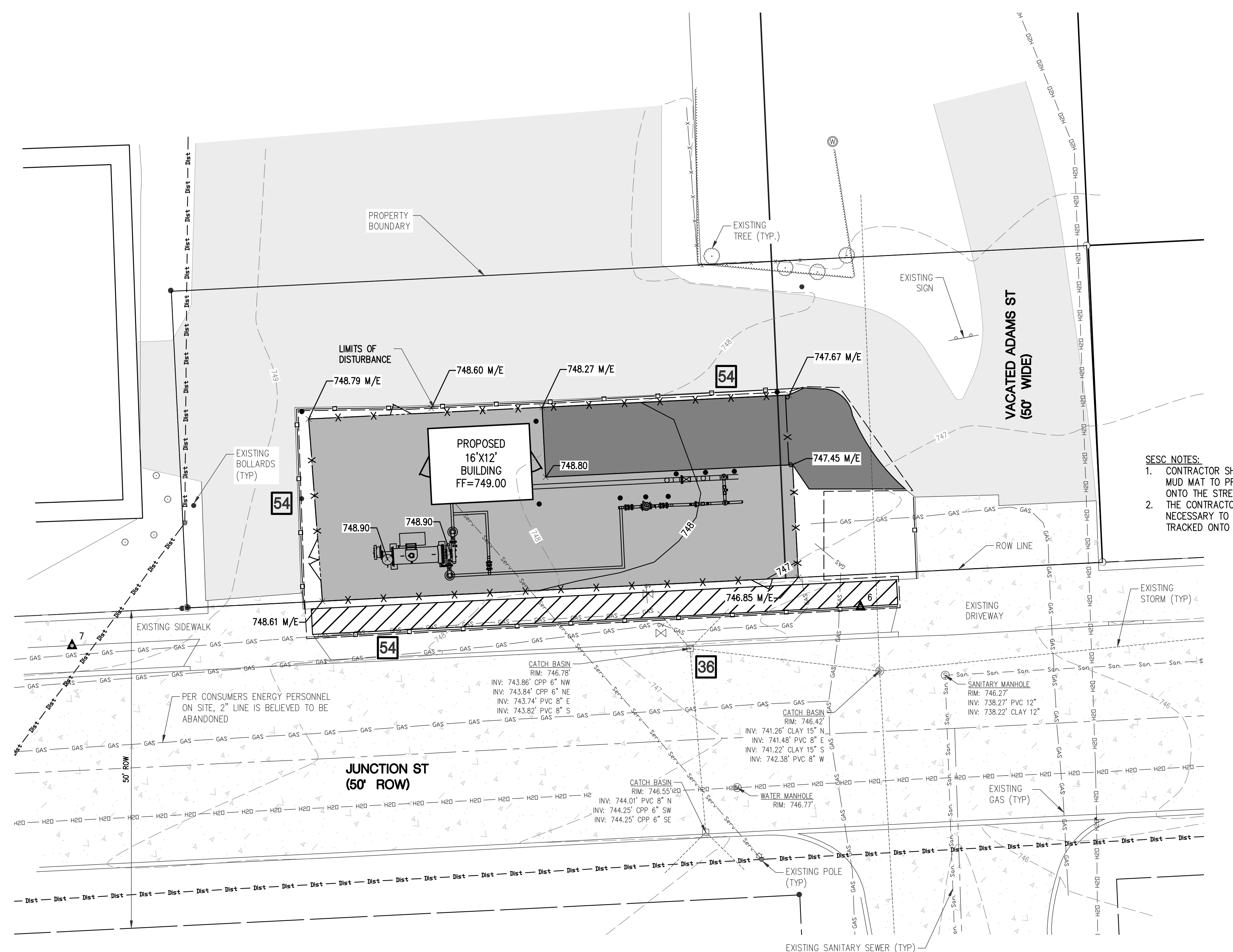
TEMPORARY SEEDING GUIDE

ZONE 1

TYPE OF SEED	APR	MAY	JUN	JUL	AUG	SEP	OCT
SPRING OATS/BARLEY OR DOMESTIC RYEGRASS							
SUDANGRASS							
RYE OR PERENNIAL RYE							
WHEAT							

PERMANENT SEEDING GUIDE

	APR	MAY	JUN	JUL	AUG	SEP	OCT
IRRIGATED AND/OR MULCH							
WITHOUT IRRIGATION OR MULCH							
IRRIGATED AND/OR MULCH							
WITHOUT IRRIGATION OR MULCH							
IRRIGATED AND/OR MULCH							
WITHOUT IRRIGATION OR MULCH							



- SESC NOTES:**
- CONTRACTOR SHALL PROVIDE A TEMPORARY STONE MUD MAT TO PREVENT SOIL FROM BEING TRACKED ONTO THE STREETS.
 - THE CONTRACTOR SHALL SWEEP STREETS AS NECESSARY TO REMOVE ANY SOIL THAT IS TRACKED ONTO THE STREETS.



SOILS INFORMATION

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
SpB	Spartan loamy sand, 0 to A	4	0.2	100.0%
Totals for Area of Interest			0.2	100.0%

MICHIGAN UNIFIED KEYING SYSTEM

- 14** AGGREGATE COVER: STABILIZES SOIL SURFACE, REDUCES WINDING EROSION. PERMITS CONSTRUCTION TRAFFIC IN AVOIDANCE AREAS. MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS.
- 54** SILT FENCE: REDuces sediment and debris on roads. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.
- 6** SEEDING WITH MULCH AND/OR MATTING: FACILITATES ESTABLISHMENT OF VEGETATIVE COVER. EFFECTIVE FOR DRIVeways WITH LOW VELOCITY. EARLY PLANTS IN SMALL QUANTITIES BY EXPERIENCED PERSONNEL. SHOULD INCLUDE PREPARED TOPSOIL BED.
- 36** CATCH BASIN, DRAIN INLET: COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF. MAY USE FILTER CLOTH OVER INLET.

ORIGINAL DRAWING #

REFERENCE DRAWINGS NUMBERS	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	

ROWE PROFESSIONAL SERVICES COMPANY

Consumers Energy
Count on Us®
GEO-SPATIAL & GAS ASSET MANAGEMENT

FILE: --
RASTER FILE: --

SCALE: 1" = 10'

ADAMS AND JUNCTION REG STATION 2021 CONSTRUCTION

GRADING AND SESC SHEET

FIELD AREA: PROJECT # 20C0300 DRAWING NO. C-4175-SPL SHEET 2

STA. NO. ---

DO NOT SCALE DRAWINGS USE DIMENSIONS ONLY

PL-Q
EXHIBIT "QA"

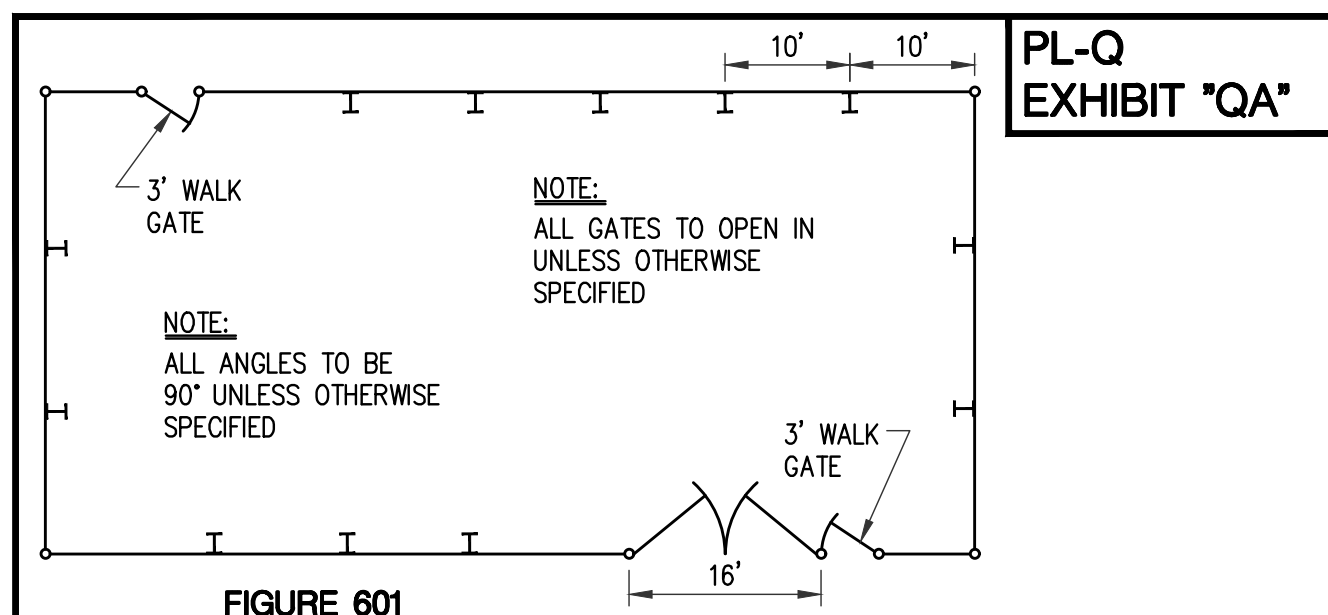


FIGURE 601

TYPICAL FENCE LAYOUT PLAN

A DRAWING SIMILAR TO FIGURE 601 SHALL ACCOMPANY ALL FENCE ORDERS. THE DRAWING SHALL INDICATE ALL FENCE ANGLES ALSO GATES AND REMOVABLE SECTIONS SIZES AND LOCATIONS. REFER TO EXHIBITS "QA" THROUGH "QE" FOR MATERIAL, FABRICATION AND ERECTION DETAILS.

NAME OF PART	NOMINAL PIPE SIZE	POST DEPTH IN FOOTING	MINIMUM FOOTING DIMENSIONS		
			TOP DIA	BOTTOM DIA	FOOTING DEPTH
LINE POST	SEE NOTE 2	1'-5"	1'-5"	1'-5"	4'-0"
CORNER POST	4	1'-5"	1'-5"	1'-5"	4'-0"
END AND ANGLE POST	4	1'-5"	1'-5"	1'-5"	4'-0"
SINGLE GATE POST, WIDTH 6' AND UNDER	3	1'-5"	1'-5"	1'-5"	4'-0"
SINGLE GATE POST, WIDTH OVER 6' TO 13'	4	1'-5"	1'-5"	1'-5"	4'-0"
DOUBLE GATE POST, WIDTH 12' AND UNDER	3	1'-5"	1'-5"	1'-5"	4'-0"
DOUBLE GATE POST, WIDTH OVER 12' TO 26'	4	1'-5"	1'-5"	1'-5"	4'-0"
SLIDE GATE POST WIDTH 24' AND UNDER	4	1'-5"	1'-5"	1'-5"	4'-0"
GATE AND REMOVABLE SECTION FRAME	2				
TOP RAIL	1 1/4				
BRACE	1 1/4				
REMOVABLE POST	2 1/2		1'-5"	1'-5"	3'-0"
GATE PLUNGER STOP (OR CATCH)			0'-10"	1'-2"	3'-0"
GATE KEEPER			0'-7"	0'-10"	3'-0"

FIGURE 602

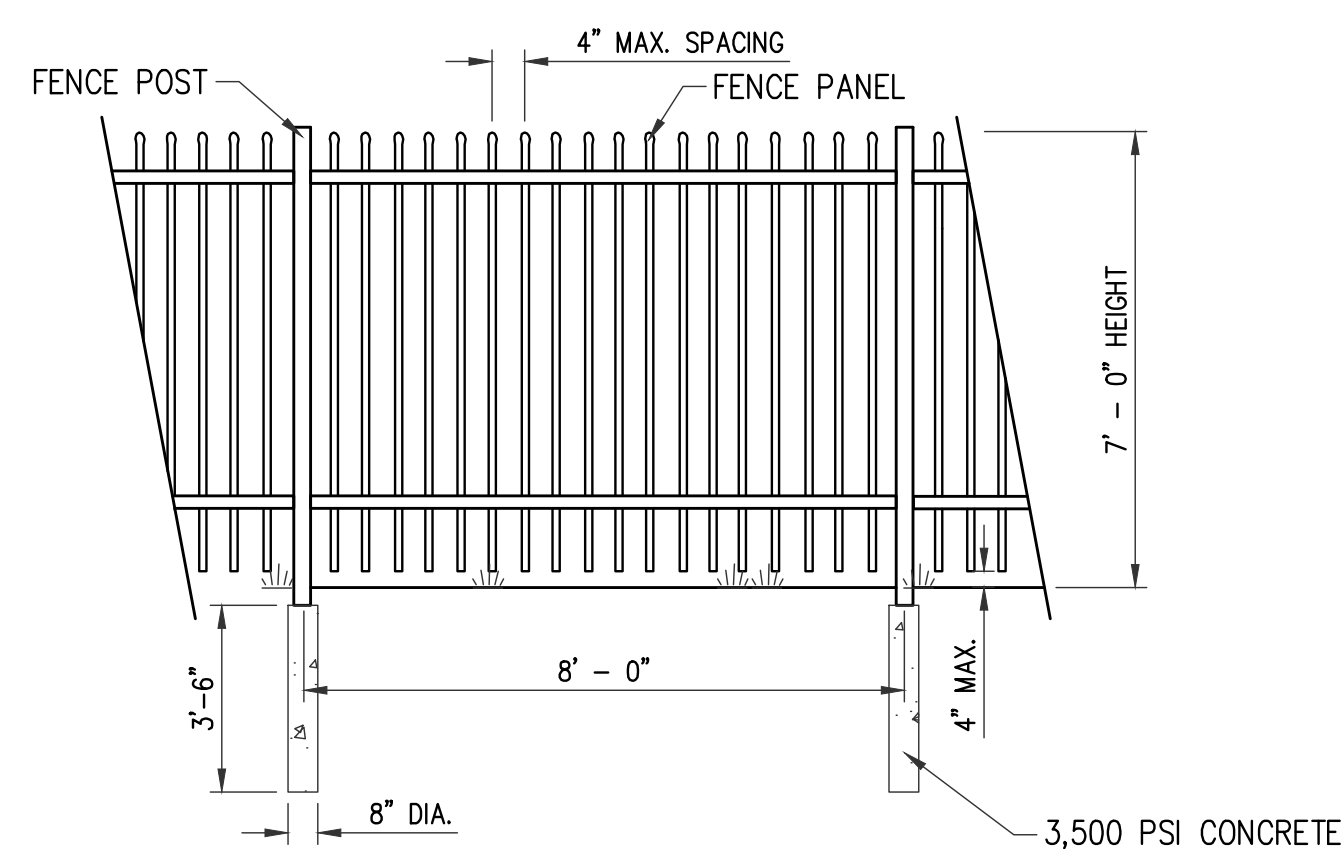
NOTES:

- ALL DIMENSIONS ARE IN INCHES EXCEPT AS NOTED.
- EITHER 2 1/2" X 3.26 LB/FT H BEAM OR 2 1/2" PIPE MAY BE USED.

REFERENCES: A-15083

FENCING DETAILS

PPFMB3081091
GAS19EC8071091001

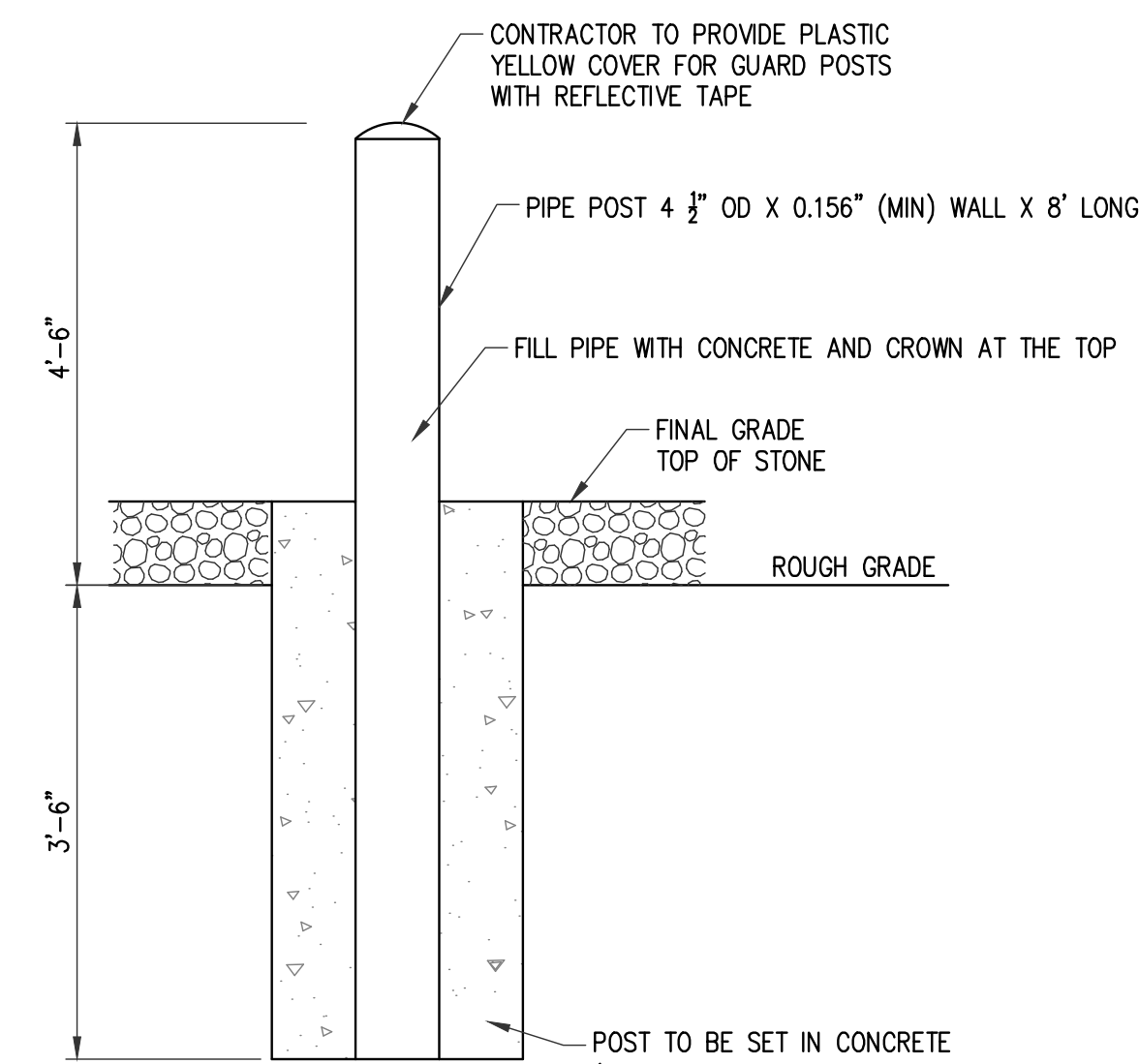


ORNAMENTAL FENCE DETAIL

NOT TO SCALE

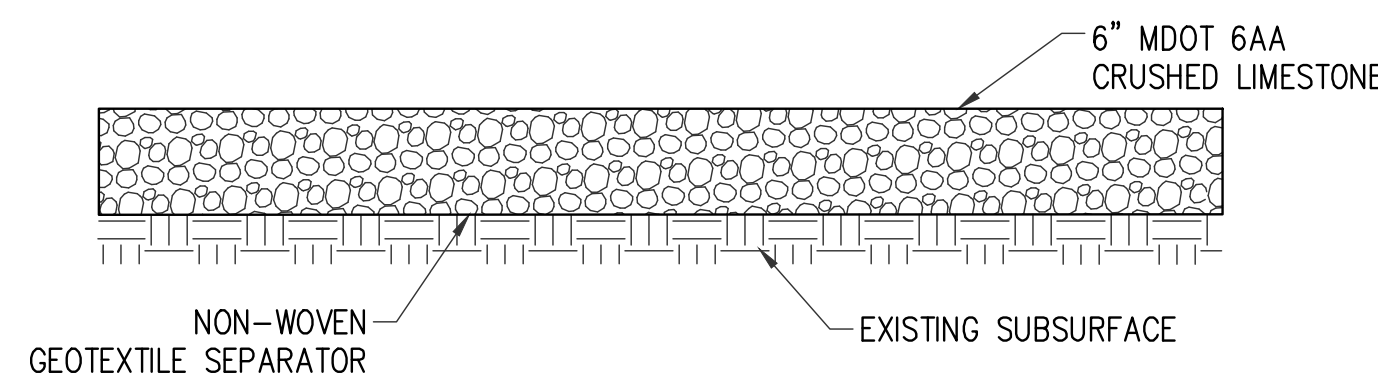
NOTES:

- SUBMIT SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS.
- ORNAMENTAL FENCE SHALL BE METAL FENCING, BLACK, LIGHT COMMERCIAL STEEL, VARIOUS HEIGHTS WITH VERTICAL PICKETS AND HORIZONTAL RAILS.
- GATES SHALL BE OF THE DIMENSION AND CONFIGURATION SHOWN ON THE PLANS. SUBMIT SHOP DRAWINGS FOR OWNER'S REVIEW AND APPROVAL PRIOR TO ORDERING MATERIALS.



BOLLARD DETAIL

NOT TO SCALE

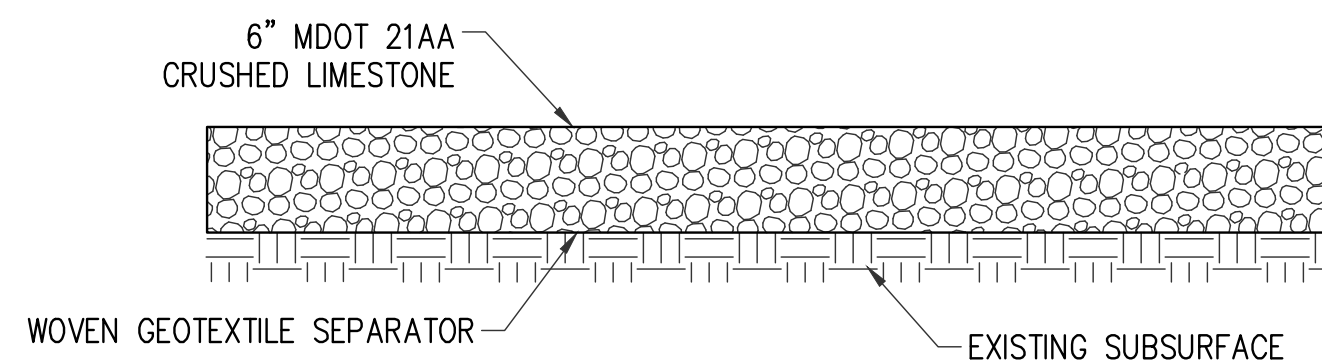


NOTES:

- NON-WOVEN GEOTEXTILE SEPARATOR SHALL BE MIRAFI 180N, SYNTHETIC INDUSTRIES 801 OR AN ENGINEER APPROVED EQUIVALENT PRODUCT.
- THIS CROSS SECTION WILL BE USED FOR THE ENTIRE YARD SURFACE, EXCEPT FOR AREAS DESCRIBED AS DRIVEWAYS, AS SHOWN ON THE SITE DRAWINGS.

AGGREGATE SURFACE CROSS SECTION (YARD)

NOT TO SCALE

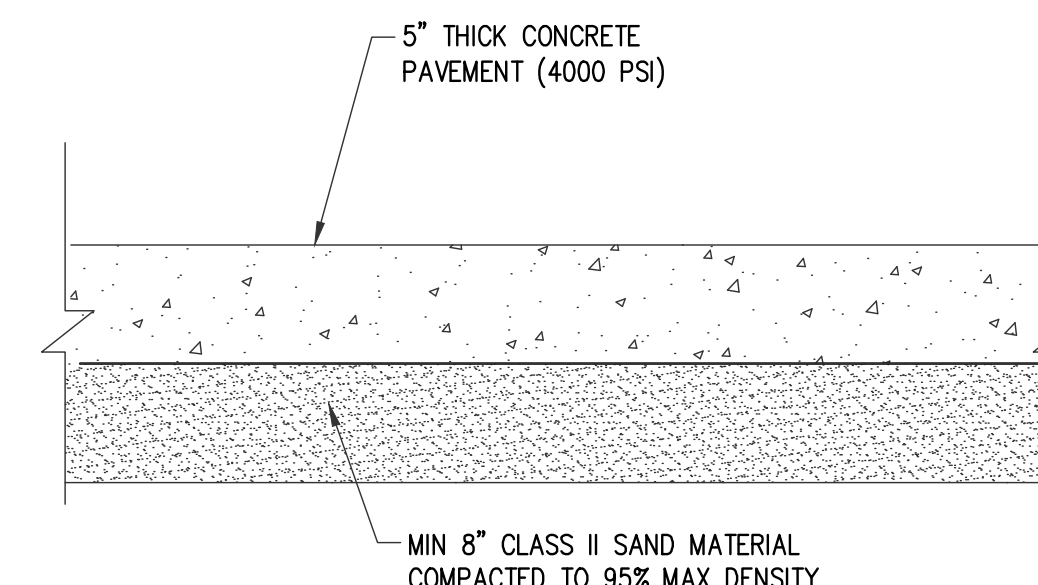


NOTES:

- WOVEN GEOTEXTILE SEPARATOR SHALL BE MIRAFI HP 370 OR AN ENGINEER APPROVED EQUIVALENT PRODUCT.
- THIS CROSS SECTION WILL BE USED FOR ALL DRIVEWAY SURFACES, AS SHOWN ON THE SITE DRAWINGS.

AGGREGATE SURFACE CROSS SECTION (DRIVEWAY)

NOT TO SCALE



NOTES:

- CONCRETE SIDEWALK THROUGH DRIVEWAY SHALL BE 8" THICK

CONCRETE SIDEWALK CROSS SECTION

NOT TO SCALE



Know what's below.
Call before you dig.
www.call811.com
or MISSDIG @ 1-800-482-7171

CAUTION
IF INSTALLATION
CANNOT BE COMPLETED
AS DESIGNED
CONTACT PROJECT ENGINEER
BEFORE PROCEEDING

ORIGINAL DRAWING #

REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO

ROWE PROFESSIONAL SERVICES COMPANY

Consumers Energy
Count on Us®
GEO-SPATIAL & GAS ASSET MANAGEMENT

FILE: --
RASTER FILE: --

SCALE: N.T.S.

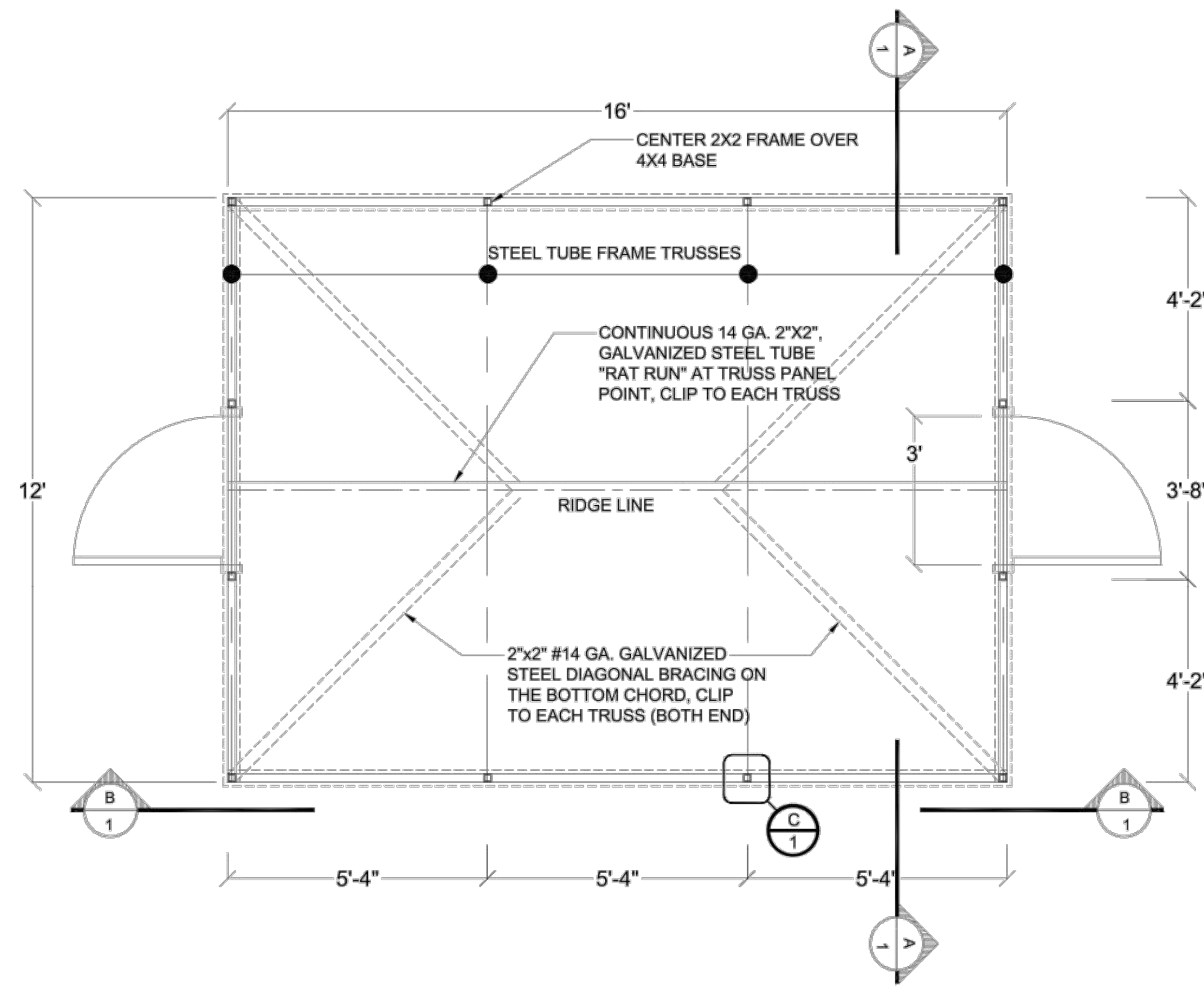
ADAMS AND JUNCTION REG STATION
2021 CONSTRUCTION

DETAIL SHEET

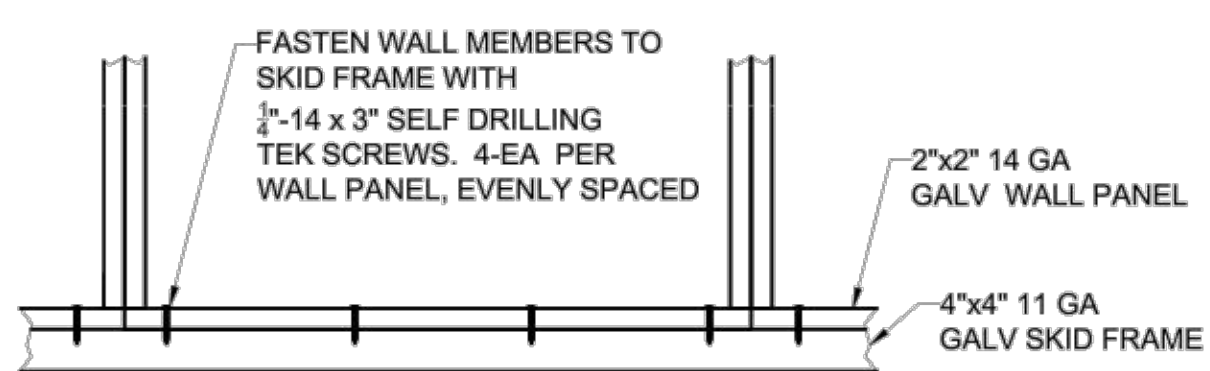
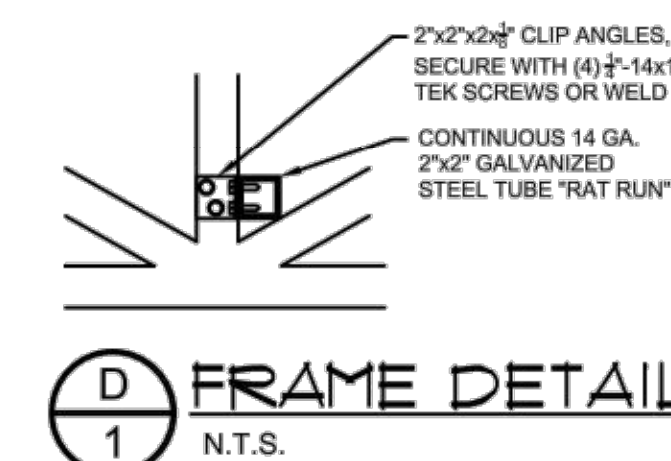
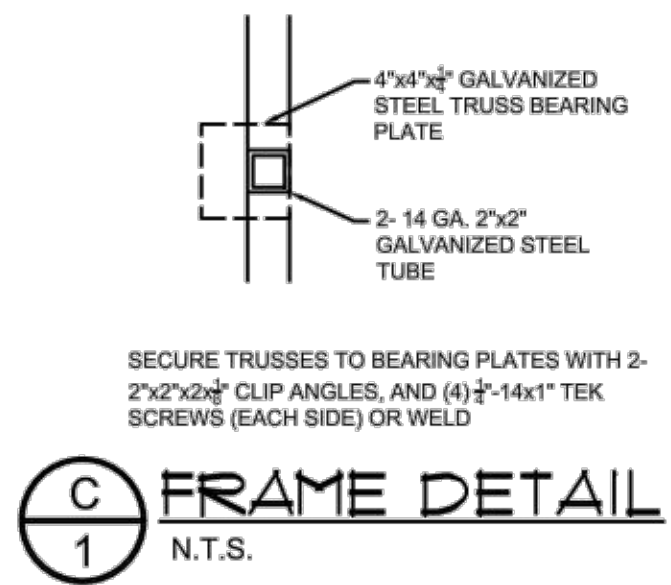
FIELD AREA: PROJECT # 20C0300
STA. NO. ---

DRAWING NO. SHEET REV
C-4175-SAD 3

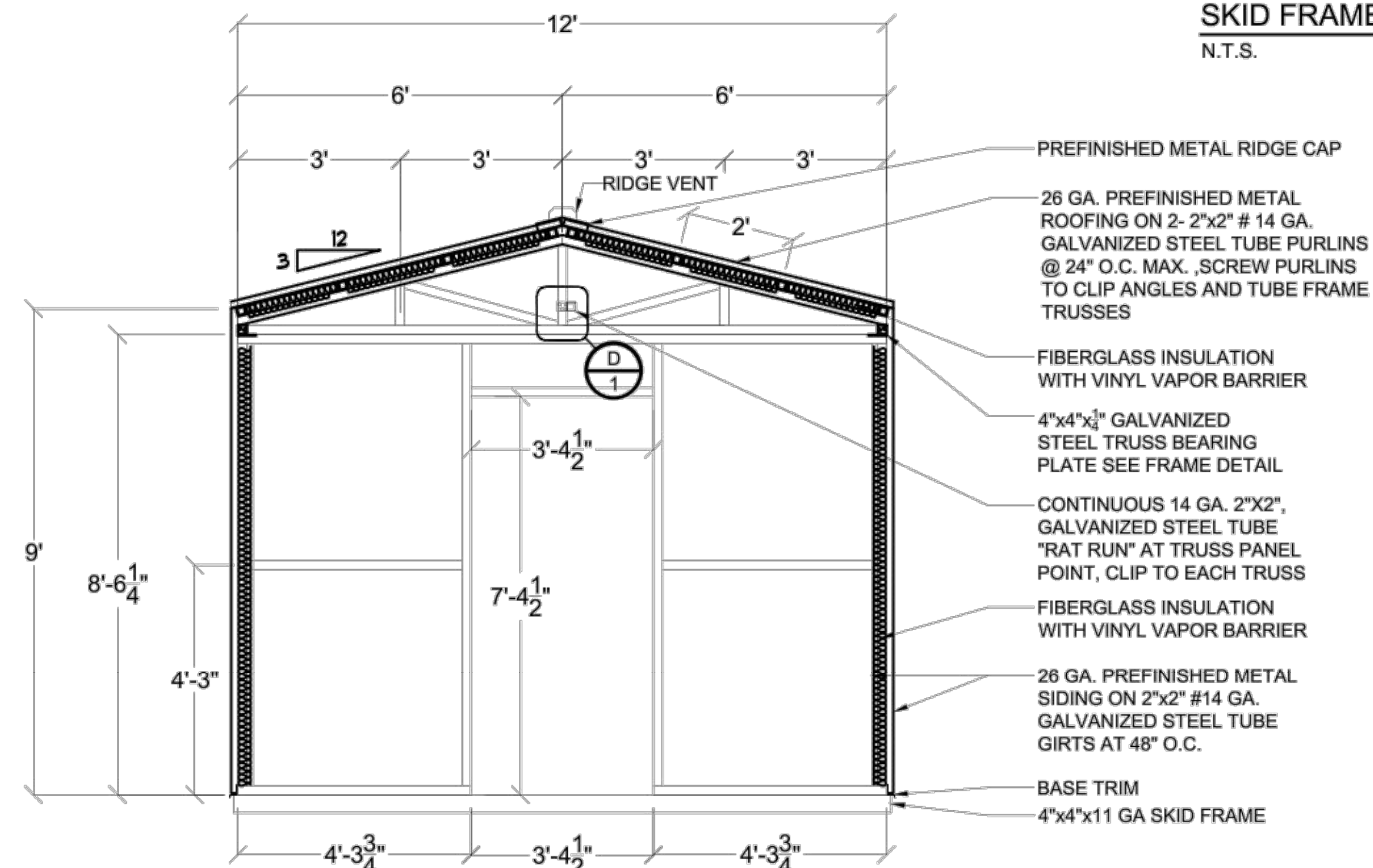
DO NOT SCALE DRAWINGS USE DIMENSIONS ONLY



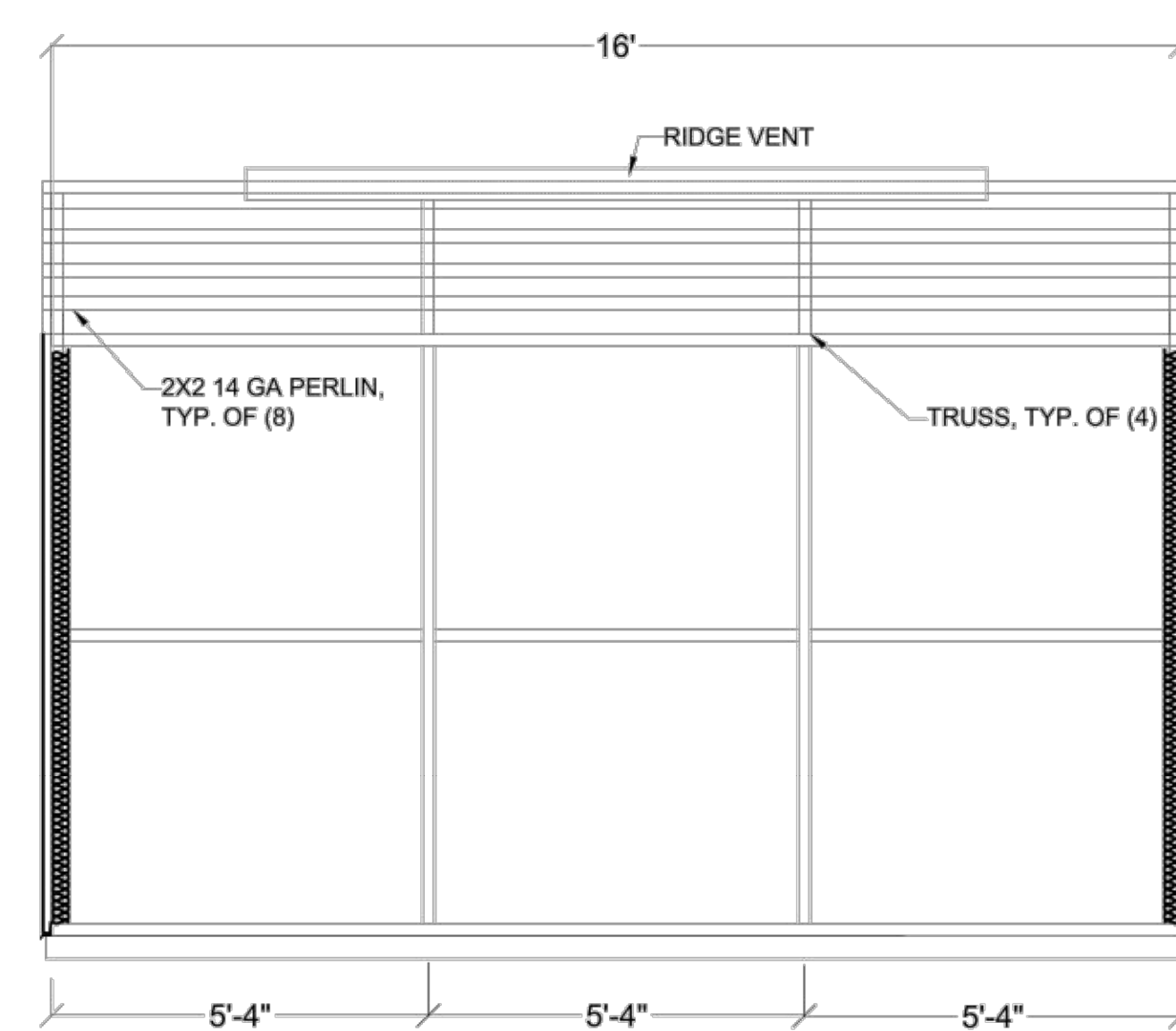
FLOOR / ROOF FRAMING PLAN
N.T.S.



SKID FRAME CONNECTION DETAIL
N.T.S.



A NORTH / SOUTH BUILDING SECTION
N.T.S.

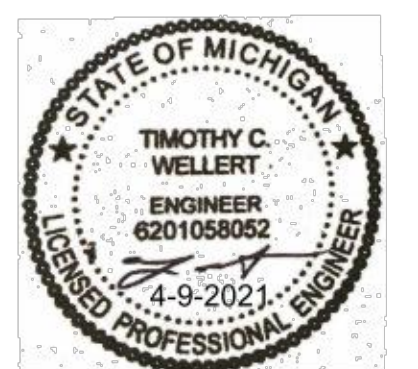


B EAST / WEST BUILDING SECTION
N.T.S.

GENERAL NOTES

- NOTIFY ENGINEER OF ANY MODIFICATIONS PRIOR TO FABRICATION AND ERECTION
 - STEEL DESIGN AND FABRICATION TO BE PERFORMED ACCORDING TO AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS, LATEST REVISION AND CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES, LATEST EDITION.
 - WELDING TO BE PERFORMED ACCORDING TO AWS D1.1
 - WELD INSPECTION: 100% VISUAL ONLY
 - STRUCTURAL TUBE MEMBERS SHALL CONFORM TO THE FOLLOWING
 - TUBE STEEL SHALL BE ASTM A-500 GRADE "C" GALVANIZED ZINC COATED. ALL OTHER STEEL SHALL BE SHOP PRIMED UNLESS OTHERWISE NOTED.
 - TRUSS MEMBERS AND PERLINS
 - ALL BOTTOM AND TOP CHORD MEMBERS: SINGLE 2"x 2" 14 GA
 - ALL INFILL MEMBERS AND PERLINS: SINGLE 2"x 2" 14 GA
 - WALL PANELS AND GIRTS
 - ALL MEMBERS SINGLE 2" x 2" 14 GA
 - COATINGS: STRUCTURAL MEMBERS ARE TO BE GALVANIZED ZINC COATED OR SHOP COATED WITH ONE COAT RUST INHIBITIVE PRIMER, 2 MIL THICKNESS MEETING FEDERAL SPECIFICATION TT-P-664.
 - METAL PANELS
 - ROOF PANELS ARE TO BE 26GA STEEL OR GREATER ZINC-ALUMINUM COATED OR GALVANIZED WITH 1 MIL BAKED VINYL OR ACRYLIC FACTORY PAINT COATING ON EXPOSED SURFACE, COLOR KYMAR 500 TUDOR BROWN SEMI-GLOSS ENAMEL EXPOSED FACE, WHITE INSIDE FACE. EXTERIOR ROOF PANELS ARE TO HAVE UL UPLIFT RATING NOT LESS THAN 90.
 - WALL PANELS ARE TO BE 26GA STEEL OR GREATER ZINC-ALUMINUM COATED OR GALVANIZED WITH 1 MIL BAKED VINYL OR ACRYLIC FACTORY PAINT COATING ON EXTERIOR SURFACE, COLOR KYMAR 500 LIGHT STONE SEMI-GLOSS ENAMEL EXPOSED FACE, INTERIOR LINER PANELS ARE TO BE PAINTED WHITE.
 - PANEL FASTENERS: ITW BUILDEX #12-14X1" SELF DRILLING SCREW WITH NEOPRENE WASHER AT 9" CENTERS AT EACH PERILN OR APPROVED EQUAL.
 - RIDGE VENT TO BE PLYCO CORP. MW-100 LOW PROFILE VENTILATOR, OR APPROVED EQUAL - RIDGE VENT TO MATCH ROOF COLOR
 - GUTTERS, DOWNSPOUTS, AND FLASHING
 - FURNISH AND INSTALL GUTTERS AND DOWNSPOUTS TO DRAIN WATER AWAY FROM BUILDING.
 - GUTTERS AND DOWNSPOUTS ARE TO BE 26 GA WITH COLOR MATCHING EXTERIOR ROOF PANEL
 - FLASHING IS TO BE 29 GA WITH COLOR MATCHING WALL AND ROOF PANELS, AS REQUIRED
 - DOORS, FRAMES, AND HARDWARE:
 - DOORS: 3'-0" X 7'-0" X 1 3/8" THICK OUTSWING W/ COLD ROLLED FACE SHEETS OF 18GA.
 - 36" NRP SWEEP
 - 4 1/2" X 4 1/2" US 32D NRP STAINLESS HINGES
 - DOOR CORE FILLED WITH RIGID URETHANE
 - NGP-AG26A POLYAMIDE WEATHER STRIPPING
 - PAINT EXTERIOR OF DOOR AND FRAMES WITH 2 MIL THICKNESS TO MATCH EXTERIOR SIDING, INTERIOR TO BE WHITE
 - FRAME
 - 16 GA. KD FRAME
 - HARDWARE
 - VON DUPRIN 22 RIM EXIT DEVICE EXCEPT ON PASSIVE DOUBLE DOOR WHERE NO EXIT DEVICE REQUIRED
 - 4111 LCN HEAVY DUTY- HOLD OPEN CLOSURE. FOR SINGLE AND BOTH DOUBLE DOORS.
 - 24"x24" FIXED LOUVER W/ INSECT SCREEN
 - FABRICATE DOORS TO RECEIVE OWNER SUPPLIED YALE MORTISE LOCK #1417 CYL
- FACED INSULATION SHALL MEET THE FOLLOWING CRITERIA:
 - R VALUE 10 OR GREATER
 - FLAME SPREAD NO GREATER THAN 25
 - SMOKE DEVELOPMENT INDEX NO GREATER THAN 50
 - FACING SHALL BE WHITE, STANDARD DUTY PSK TYPE
 - CONFORM TO ASTM E84
- CONTRACTOR RESPONSIBLE FOR TEMPORARY BRACING OF STRUCTURE DURING ERECTION AND ASSEMBLY.
- CONSTRUCTION IS TO COMPLY WITH 2015 MICHIGAN BUILDING CODE
 - GROUP: "U" UTILITY/REGULATOR BUILDING
 - CONSTRUCTION TYPE: 2-B NON-COMBUSTIBLE WITHOUT AUTOMATIC SPRINKLERS
 - OCCUPANT LOAD: 1 PERSON
 - THIS BUILDING IS NOT INTENDED FOR ADA ACCESSIBILITY PER MBC EXCEPTION 1103.2.5 "UTILITY BUILDINGS"
- DESIGN CRITERIA:
 - THE MINIMUM ROOF LIVE LOAD SHALL BE TWENTY (20) POUNDS PER SQUARE FOOT (PSF) OF HORIZONTAL PROJECTION IF THE DESIGN ROOF SNOW LOAD IS LESS THAN TWENTY (20) PSF.
 - THE BUILDINGS SHALL BE DESIGNED AND CONSTRUCTED TO MEET A MINIMUM GROUND SNOW LOAD OF THIRTY-FIVE (35) PSF. THE DESIGN ROOF SNOW LOAD SHALL BE IN ACCORDANCE WITH MBC/ASCE 7-10.
 - THE WIND LOAD SHALL BE DERIVED AND APPLIED NORMAL TO THE EXPOSED SURFACES AS PRESCRIBED IN MBC/ASCE 7-10 FOR THE MAIN WIND FORCE RESISTING SYSTEM (MWFRS), CLADDING AND COMPONENTS.
 - ALL DESIGN LOAD COMBINATIONS SHALL BE AS REQUIRED BY MBC 2012/ASCE 7-10. LOADS SHALL BE CALCULATED USING A RISK CATEGORY III AS DESCRIBED IN ASCE 7-10, TABLE 1.5-1.
 - THE ROOF FRAMING SHALL BE DESIGNED FOR AN ADDITIONAL LOAD OF TEN POUNDS PER SQUARE FOOT TO ACCOMMODATE CONDUIT AND LIGHTING.
 - THE ROOF FRAMING SHALL BE DESIGNED TO ACCOMMODATE A TWO INCH (2") STEEL PIPE VENT HEADER RUNNING EAST-WEST, 16'10" FROM SOUTH WALL.

CONNECTION TYPE	WELD TYPE	JOINT DETAIL
HSS TO HSS LONGITUDINAL	FLARE V STITCH 6-24	
HSS TO HSS PERPENDICULAR	FILLET WELD 2-SIDES	
HSS TO HSS DIAGONAL TRUSS LATTICE	FLARE BEVEL 2-SIDES	
ANGLE TO HSS	FILLET WELD 2-SIDES	
CONNECTION PLATE TRUSS	FILLET WELD ALL AROUND	
CONNECTION BEARING PLATE	FILLET WELD 2-SIDES	
HSS TO HSS BUTT JOINT	SQUARE GROOVE ROOT OPENING	



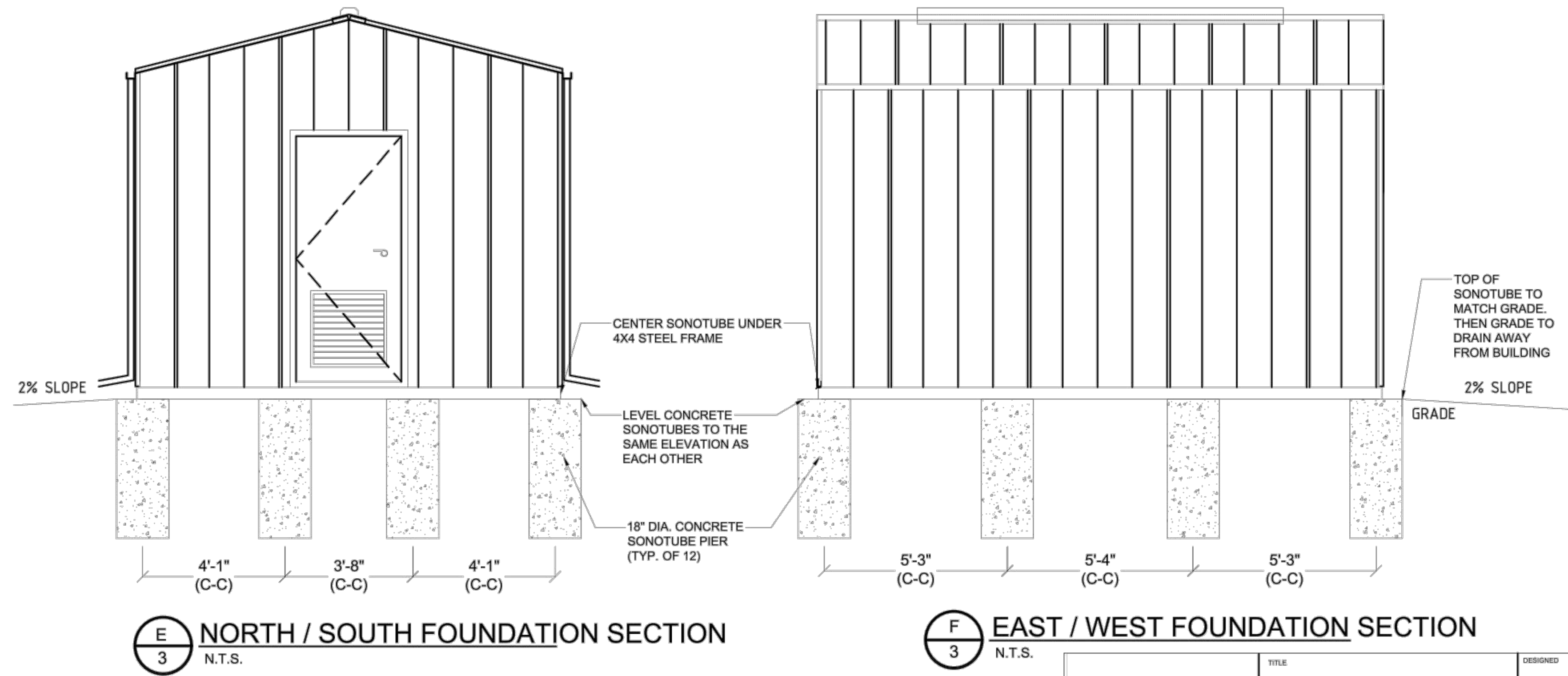
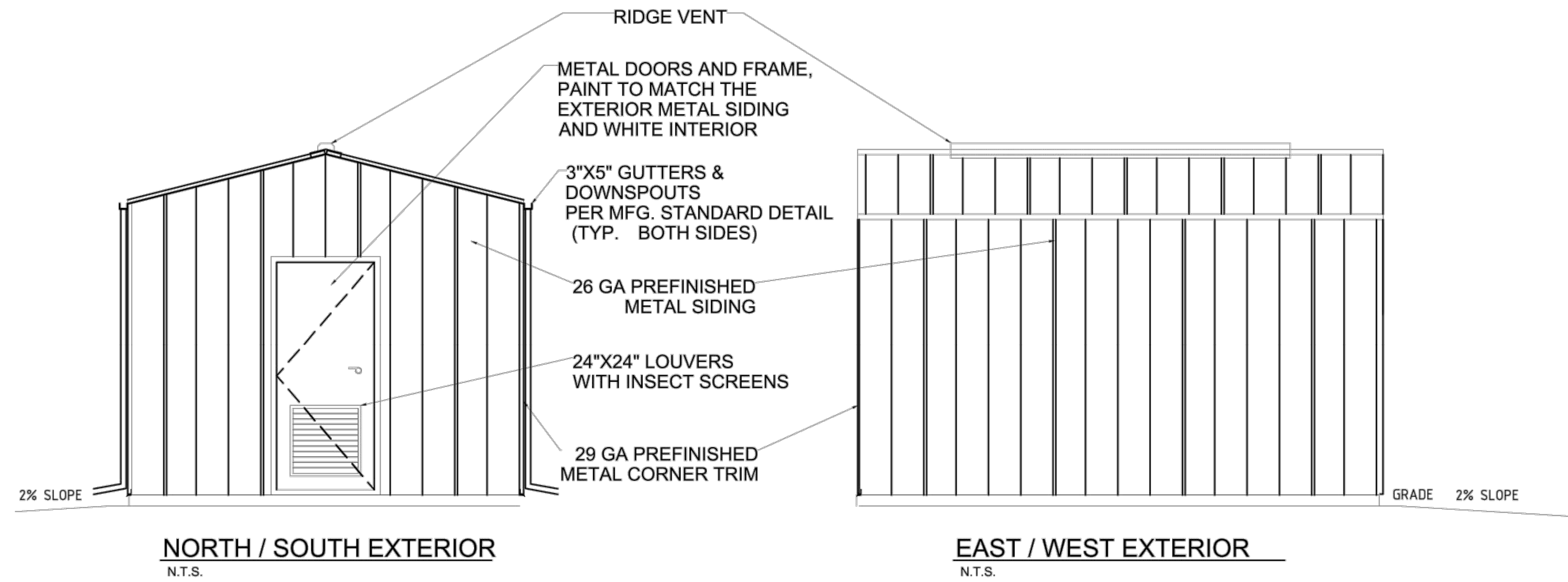
NORTHERN INDUSTRIAL CONSTRUCTION INC.	TITLE: ADAMS AND JUNCTION NOTES & FRAMING	DESIGNED: M.RUSTAN	DATE: []
	CLIENT DWG: C-###-VEN.001	APPROVED: T.WELLERT	DATE: []
		DWG: SHEET 1 OF 3	
		REV: []	DATE: []

ORIGINAL DRAWING #

REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO
------	-----------	------	-------------	----	----	-----------	-----------	----	------	-----------	------	-------------	----	----	-----------	-----------	----

DRAWN: CJA DATE: MAR 2021
 CHECKED: KEL DATE: MAR 2021
 DESIGNED: KEL DATE: MAR 2021
 DESIGN APPROVAL: DAS DATE: MAR 2021
 ENGINEER APPROVAL: DAS DATE: MAR 2021

FILE: --	SCALE: N.T.S.	FIELD AREA: ADAMS AND JUNCTION REG STATION 2021 CONSTRUCTION
RASTER FILE:		BUILDING - NOTES AND FRAMING
		PROJECT # 20C0300
		DRAWING NO. C-4175-PMT
		SHEET 5



NORTHERN INDUSTRIAL CONSTRUCTION INC.		TITLE: ADAMS AND JUNCTION ARCHITECTURAL & FOUNDATION	DESIGNED: M.RUSTAN	ISSUED FOR CONSTRUCTION	DATE	BY	APP.
		CLIENT DWG: C-###-VEN.002	APPROVED: T.WELLERT	DATE	BY	APP.	
			DWG: SHEET 2 OF 3	DATE	BY	APP.	

ORIGINAL DRAWING #										DRAWN: CJA DATE: MAR 2021		ROWE PROFESSIONAL SERVICES COMPANY		ADAMS AND JUNCTION REG STATION 2021 CONSTRUCTION													
										CHECKED: KEL DATE: MAR 2021		Consumers Energy		BUILDING - ARCHITECTURAL & FOUNDATION													
										DESIGNED: KEL DATE: MAR 2021		Count on Us®		FIELD AREA:													
										DESIGN APPROVAL: DAS DATE: MAR 2021		GEO-SPATIAL & GAS ASSET MANAGEMENT		PROJECT # 20C0300													
										ENGINEER APPROVAL: DAS DATE: MAR 2021		FILE: -- RASTER FILE: --		DRAWING NO. C-4175-PMT													
REFERENCE DRAWINGS NUMBERS										SCALE: N.T.S.		STA. NO. ---		SHEET 6													
REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.	PROJECT #	DATE	DESCRIPTION	DR	CK	DES. APP.	ENG. APP.	CO	REV.

DO NOT SCALE DRAWINGS USE DIMENSIONS ONLY

Adams & Junction Regulator Station

Consumers Energy

5/13/21

Heater Narrative

Consumers Energy is preparing to refurbish their existing Adams and Junction regulator station that is located at 700 Junction Street in the City of Plymouth. The site is zoned light industrial but is adjacent to an existing residential area.

As part of the refurbishment, an exterior line heater will be installed. As part of the natural gas regulation process, it is necessary to heat the gas moving from high to low pressure to prevent frosting / freezing of the pipes. The proposed heater will be located adjacent (street side) to the proposed building.

The proposed heater will be equipped with sound attenuation features that limit the noise to less than 80 dB at three feet from the heater. The sound will continue to dissipate as you move away from the equipment. (The nearest residence is approximately 65 feet from the proposed heater.) On average, sound is reduced approximately 6 dB for the doubling of the distance away from the source. It is likely that the sound from the heater will be down to less than 40 dB at the nearest residence.

For comparison, a noise level of 80 dB is similar to a lawn mower, heavy traffic, or a blender. A noise level of 50 dB is similar to rainfall or an office setting. (See attached Common Environmental Noise Level chart.)

It should be noted that the heater only operates during the cooler months (late September to April) when people are typically indoors. The sound from the heater will not be noticeable indoors. The surrounding industrial area currently generates a significant amount of ambient noise. It is likely that the noise from this heater will go completely un-noticed.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: May 27, 2021

**Site Plan Review
For
Plymouth, Michigan**

Applicant: Consumers Energy, Joseph Lawson
One Energy Plaza
Jackson, MI 49201

Project Name: Consumers Energy Natural Gas Regulator Station

Plan Date: March, 2021

Location: 700 Junction Street (at Adams St. intersection)

Zoning: I-1 – Light Industrial District

Action Requested: Site Plan Approval

Required Information: Any deficiencies are noted in the report.

PROJECT AND SITE DESCRIPTION

The applicant is proposing to replace the existing building, fencing, and piping, and add an exterior process heater and filter at an existing natural gas regulator station.

Gas regulator stations and public utility buildings are permitted uses in this district. Per Sec. 78-331, installation of essential services requires site plan review, since this use is adjacent to single-family residential properties (Sec. 78-242).

An aerial of the subject site is shown in **Figure 1** on the next page.

Figure 1. Subject Site



REQUIRED INFORMATION

Per Section 78-247, the site plan shall show the information, as applicable, on the checklist. In our opinion, the relevant information has been provided.

Items to be Addressed: None.

SCHEDULE OF REGULATIONS

We have applied the schedule of regulations to the new building on this site in the table below.

Local Business Schedule of Regulations Requirements

I-1 Local Business		Required	Provided
Minimum lot size		N.A.	28,749 s.f. or .66 ac
Height of buildings		45 feet maximum	Approx. 11 feet
Minimum yard setback	Front	25 feet	14 feet
	Sides	10 feet / 20 feet total of two	39 feet (west) 89 feet (east)
	Rear	10 feet	24 feet

Front Setback: The existing building is slightly smaller than the proposed building. Also, the proposed building is being shifted to the east by approximately 13 feet. Because the building is being expanded in the front setback, the applicant will need to obtain a variance for the building in this location.

Items to be Addressed: *Applicant to obtain a variance to locate the new building in the front setback.*

PARKING, LOADING

Sec. 78-271 requires one space per employee at maximum work shift for public utility structures. The plans show one, 11 x 20 foot parking space within the fenced area. The plans also state that the site will be unoccupied, except for regular visits for maintenance and inspections. Consumers' staff will visit the site with one work truck. Note that parking is permitted in the required front yard in the I-1 District. Therefore, the number, size, and location of the parking space is compliant with the ordinance.

Per the Schedule of Regulations, the parking area shall be screened from view, as required in Sec. 78-206. For a public utility building that abuts or is adjacent to a single-family residential district, a 6.5 foot tall screening wall, fence, landscaped berm or landscape strip is required. We have the following comments:

- The plans show a 7-foot tall, black, ornamental fence proposed around the regulator station. While this fence will not completely block the view, it will provide for a more decorative fence along the street. Also, this fencing will allow a person to see into the fenced area, which would increase security of the equipment. We consider the proposed fence to provide an attractive partial screen of the equipment yard, while meeting the applicant's desire for security.
- The ordinance calls for placing the fence on the property line. The applicant stated that the open portion of this lot to the west and north has been leased to adjacent property owners for parking and vehicle ingress/egress. We consider the location of the fence acceptable given this existing impediment.
- The ordinance also specifies particular materials for a screening fence; however, we consider the proposed metal fencing to be durable, attractive, and consistent with the residential character on the south side of Junction St.
- Lastly, the ordinance also requires plant material along a proposed fence. This site has no planting area; all surfaces are paved in asphalt or gravel. Given that this is a re-development of an existing facility, and that the location of the piping is somewhat dictated by the existing location of the gas lines that extend from this station, we don't think it logical or reasonable to move any of this equipment back on the site to accommodate landscaping along the street.

The ordinance allows the Planning Commission to modify the screening requirements if no good purpose would be served by meeting the requirements, and that the waiver or modification would neither be injurious to the surrounding neighborhood nor contrary to the spirit and purpose of this chapter. In our opinion, the proposed fencing would meet the intent of this chapter, and provide a more attractive installation.

Items to be Addressed: *Planning Commission determine if the proposed screen fence meets the screening requirements of the ordinance.*

SITE ACCESS AND CIRCULATION

This site has access from two driveways off of Junction Street. Vehicles visiting the regulator station enter the fenced area via the easterly gate. The location and orientation of this parking space allows the driver to back out of the fenced area into the driveway (and not the street), meeting the ordinance requirements.

The proposal shows that the sidewalk along Junction St. will also be replaced as part of this project.

Items to be Addressed: *None.*

LIGHTING

The proposed building will have a light fixture above each door. The lights will only be used when the maintenance/inspection work is being conducted. No other lighting is proposed.

The ordinance requires that all lighting, including ornamental lighting, shall be shown on site plans in sufficient detail with appropriate photometric studies to allow determination of the effects of such lighting upon adjacent properties, traffic safety, and overhead sky glow. No lighting details have been provided. Given that this use will only have two building-mounted lights (one of which is on the north side of the building away from residences), we recommend that evaluation of the lighting be deferred to the Building Official as a condition of the Planning Commission's decision.

Items to be Addressed: *Recommend that Planning Commission condition any approval of the site plan on the Building Official confirming that the proposed lighting meets ordinance standards.*

DUMPSTER/REFUSE

The plans state that all trash generated will be removed the same day. No refuse facilities are proposed.

Items to be Addressed: *None.*

SIGNS

The plans state that signage will consist of 24 x 12 inch (or 2 square feet) signs that state CAUTION/NO TRESPASSING on each side of the fence. In our opinion, these signs are more like "directional" signs that advertising signs. The Building Official will confirm this when he reviews the project for Building Permit.

Items to be Addressed: *None.*

FLOOR PLAN AND ELEVATIONS

Floor plans and elevations of the proposed building have been provided. The new building will be a steel building (vs. existing brick building) for ease of installation and durability.

Items to be Addressed: *None.*

OTHER

The applicant has submitted information about the proposed heater that is being added to the above ground gas line. This narrative explains that the heater will cycle on and off as needed (during colder months – Late September to April) when people are typically indoors. The sound this heater generates is estimated to be approximately 40 decibels (dB) at the closest residence. The narrative includes a comparison of 50dB, which is rainfall or an office setting. Note that no “Common Environmental Noise Level Chart” was attached.

The City has a Noise Ordinance that could be used to address the sounds from the heater if they affect nearby residences.

Note that during the pre-application meeting with the applicant, they stated that the heater will have a noise muffler. This isn't indicated on the plans; the applicant may want to address this issue with the Planning Commission.

Items to be Addressed: *Applicant to further explain the likelihood that the heater noise will negatively impact the neighbors; and provide more information about the heater's noise muffler.*

RECOMMENDATIONS

The plans clearly describe the proposed renovations to the existing gas regulator station. In our opinion, the proposal meets ordinance requirements, or the intent of ordinance requirements where flexibility is allowed. We would recommend that the Planning Commission approve the site plan, conditioned upon the items listed below, and after the applicant has addressed the few remaining issues:

1. Planning Commission to condition any approval on:
 - a. The applicant obtaining a variance to locate the new building in the front setback.
 - b. The Building Official confirming that the proposed lighting meets ordinance standards.
2. Planning Commission determine if the proposed screen fence meets the screening requirements of the ordinance.
3. Applicant to further explain the likelihood that the heater noise will negatively impact the neighbors; and provide more information about the heater's noise muffler.



CARLISLE/WORTMAN ASSOC., INC.

Sally M. Elmiger, AICP, LEED AP
Principal

cc: John Buzuvis
Marleta Barr
Joseph Lawson, Consumers Energy (Joseph.LawsonIII@cmsenergy.com)