



City of Plymouth Zoning Board of Appeals Regular Meeting Agenda Thursday, July 1, 2021 – 7:00 p.m. ONLINE Zoom Webinar

City of Plymouth
201 South Main Street
Plymouth, Michigan 48170

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Join Zoom Webinar:

<https://us02web.zoom.us/j/82878634186?pwd=RmRUY3NsRUNtVGhJMWF1N1k5TEFQZz09>

Webinar ID: 828 7863 4186

Passcode: 175215

Statement of explanation of the reason why the public body is meeting electronically:

On March 10, 2020 the Governor of the State of Michigan declared a State of Emergency across the State of Michigan under section 1 of Article 5 of the Michigan Constitution of 1963, the Emergency Management Act, 1976 PA 390, as amended, MCL 30.401 – 421, and the Emergency Powers of the Governor Act of 1945, 1945 PA 302, as amended, MCL10.31 – 33. These sections provide the governor with broad powers and duties to cope with dangers to this state or to the people of the state.

As a part of the response to the emergency, the Governor has deemed it reasonable and necessary to temporarily suspend rules and procedures relating to physical presence at meetings and hearings of public bodies and other governmental entities in Michigan. These public bodies and entities must continue to conduct public business during this emergency.

- 1) **CALL TO ORDER**
 - a) Roll Call
- 2) **CITIZEN COMMENTS**
- 3) **APPROVAL OF THE MINUTES**
 - a) Approval of the June 3, 2021, meeting minutes
- 4) **APPROVAL OF THE AGENDA**
- 5) **OLD BUSINESS**
- 6) **NEW BUSINESS**
 - a) **Z 21-14:** 1112 Hartsough, non-use variance for distance between house & garage and Side yard setback for a detached garage.
- 7) **COMMISSIONER COMMENTS**
- 8) **REPORTS AND CORRESPONDENCE**
- 9) **ADJOURNMENT**

Citizen Comments - This section of the agenda allows up to 3 minutes to present information or raise issues regarding items not on the agenda. Upon arising to address the Commission, speakers should first identify themselves by clearly stating their name and address. Comments must be limited to the subject of the item.

Persons with disabilities needing assistance should contact the City Clerk's office at 734-453-1234 Monday through Friday from 8:00 a.m. -4:30 p.m., at least 24 hours prior to the meeting. An attempt will be made to make reasonable accommodations.

GOAL I - QUALITY OF LIFE

OBJECTIVES

Support the neighborhoods with high-quality customer service
 Engage in collaboration with private entities and surrounding municipalities to implement the [Joint Recreation Master Plan](#)
 Improve communication with the public across multiple platforms
 Maintain a high level of cleanliness throughout the City
 Support and host a diverse variety of events that foster community and placemaking

ONE-YEAR TASKS 2021

Restore sports and recreational programs that were halted by COVID-19 as soon as possible
 Review and evaluate the special event policy with safety considerations
 Address challenges with the Kellogg Park improvements with safety considerations
 Move Kellogg Park Fountain project forward
 Continue to re-engage service clubs to help enhance parks and public properties
 Increase followers by 2,000 on all our communications platforms
 Develop an internal and external communications plan
 Upgrade City Hall facilities to accommodate remote meetings and remote participation
 Continue investigating multi-modal transportation opportunities
 Revisit noise ordinance

GOAL II - FINANCIAL STABILITY

OBJECTIVES

Approve balanced budgets that maintain fiscal responsibility
 Advocate for increased revenue sharing with the State of Michigan
 Encourage and engage in partnerships, both public and private, to share costs of services and equipment
 Address the issue of legacy costs
 Seek out and implement efficient and effective inter-departmental collaboration
 Market our successes to attract new economic and investment opportunities

ONE-YEAR TASKS 2021

Identify mechanisms for funding sources for capital improvement projects
 Increase funding to the Public Improvement Fund
 Create a potential package for financing emergency structural repairs
 Develop a comprehensive asset management plan that includes a review of the equipment fleet
 Search out other possible revenue streams through continued association with the CWW and the MML
 Develop a financial plan for public safety
 Continue to make extra payments towards legacy costs
 Monitor outside influences on our revenue sources, including unfunded mandates, the 35th District Court and the PCCS
 Negotiate three labor contracts

GOAL III - ECONOMIC VITALITY

OBJECTIVES

Continue to support and improve active, vibrant downtown branding
 Support community and economic development projects and initiatives
 Support a mix of industrial, commercial and residential development
 Reference the [Master Plan](#) in economic decision-making

ONE-YEAR TASKS 2021

Complete Saxton's development
 Develop municipal parking lot at Saxton's site
 Support development of 23 parcels adjacent to the Starkweather School property
 Continue to administer the grant and the brownfield plan to support the Pulte project's completion
 Finish Redevelopment Ready Community (RRC) certification by the end of 2021
 Develop an annual training calendar for the Planning Commission, the Historic District Commission, the Zoning Board of Appeals and the DDA, and identify a funding source
 Implement temporary plans to assist businesses in recovery efforts

GOAL IV - SERVICE AND INFRASTRUCTURE

OBJECTIVES

Support administration and staff by providing professional development opportunities, supplying resources, and maintaining a commitment to recruitment, retention, succession planning
 Support and deliver safe and responsive emergency services
 Maintain a sophisticated and responsive technology to communicate and manage data
 Continually record, maintain, update, and improve City infrastructure

ONE-YEAR TASKS 2021

Explore enhanced pedestrian safety opportunities into targeted intersections
 Research funding opportunities for ADA compliance at the PCC
 Implement 2021 infrastructure program
 Continue training for future career development and succession planning
 Conduct a traffic study to determine whether to make additional streets one way
 Update mapping resources including parcel data, completing 50% by the end of the year
 Update/replace current technology to ensure compliance with new regulations, rules, and operating systems
 Revisit paid parking



City of Plymouth
Zoning Board of Appeals
Regular Meeting Minutes
Thursday, June 3, 2021 - 7:00 p.m.

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Online Zoom Meeting

1. CALL TO ORDER

Chair Joe Elliott called the meeting to order at 7:00 p.m.

Present: Chair Elliott, Members Jim Burrows, Mike Devine, Ed Krol, Scott Silvers (arrived at 8:14)

Also present: Assistant Community Development Director Greta Bolhuis

Elliott noted that Mike Gowen has moved from the City of Plymouth and has resigned from the Zoning Board of Appeals.

2. CITIZENS COMMENTS

There were no citizen comments.

3. APPROVAL OF THE MEETING MINUTES

Krol offered a motion, seconded by Burrows, to approve the amended minutes (correcting a misspelled name) of the May 6, 2021 meeting.

There was a roll call vote.

Yes: Burrows, Devine, Elliott, Krol

MOTION PASSED 4-0

4. APPROVAL OF THE AGENDA

Burrows offered a motion, seconded by Krol, to approve the agenda for June 3, 2021.

There was a roll call vote.

Yes: Burrows, Devine, Elliott, Krol

MOTION PASSED 4-0

5. OLD BUSINESS

There was no old business.

6. NEW BUSINESS

a. Z21-10: 1012 William – non-use variance for front yard fence height

Applicant Katie Cerne described the proposed project, which would replace a non-conforming fence with one of the same size, length, and approximate style.

Citizen Comments

There were no citizen comments.

Board Comments

A discussion about fence heights and the impact of a fence on this particular property ensued.

Devine offered a motion, seconded by Krol, to grant a variance for request Z21-10 to allow a 6-inch variance to the existing requirement for a maximum 30-inch fence to allow a 36-inch-high fence.

Findings of Fact

The home is located on a busy intersection.

There is negligible rear yard associated with the property.

The existing non-conforming fence could be repaired incrementally over time without the need for a variance.

Conditions

Variance is limited to the type of fence indicated in the application.

Homeowner must provide administration with documentation and dimensions for the existing fence.

The fence shall be at least 50% open and with pickets spaced no wider than 4 inches.

There was a roll call vote.

Yes: Burrows, Elliott, Krol, Silvers

MOTION PASSED 4-0

b. Z21-11: 290 E. Pearl – non-use variance for front yard setback for an attached front-facing garage.

Applicants Gloria and Steven Korpus presented the proposal and request.

Citizen Comments

There were no citizen comments.

Board Comments

Board members questioned the applicant about the decision to build an attached vs. unattached garage and the challenges the property presents.

Burrows offered a motion, seconded by Krol, to approve a five-foot setback variance to place the attached garage closer to the front property line.

Finding of Facts

The existing house is located close to the front property line and the resulting attached garage is as far back as possible while still attaching to the existing house.

The property is unique in that it is so close to the railroad tracks and commercial businesses.

The proposed garage will improve safety and walkability.

There was a roll call vote.

Yes: Burrows, Devine, Elliott, Krol

MOTION PASSED 4-0

c. Z21-12: 690 Junction, non-use variance for front yard setback for new building and front yard fence height

Consumer's Energy spokesperson Jacob Kuehnlein explained the request.

Citizen Comments

There were no citizen comments.

Board Comments

Board members asked Kuehnlein about federal regulations as they pertain to the project. They also discussed the location and the need for security at the facility.

Krol offered a motion to accept variance Z21-12 as submitted to allow a 7-foot fence and a new building with a 14-foot front yard setback as submitted in the application. Burrows seconded the motion.

Findings of Fact

There is a need for added security due to the unique mechanical restrictions associated with the property and its

relationship to surrounding parcels.

The building and fence are in compliance with the MPSC and federal regulations.

There was a roll call vote.

Yes: Burrows, Devine, Elliott, Krol

MOTION PASSED 4-0

d. Z21-13: 1250 S. Main, non-use variance for landscaping

Applicant Silvia Canzano reiterated her request for a landscaping variance in the parking lot of her building.

Citizen Comments

There were no citizen comments.

Board Comments

There was considerable discussion between the applicant and the board about the approved site plan and the size of the parking lot. It was mentioned that the applicant has an agreement with neighboring businesses to share parking.

Elliott offered a motion, seconded by Krol, to approve Z21-13 at 1250 Main to allow a 4-foot variance to the required landscape buffer between the parking lot and right of way, thereby allowing a six-foot buffer between the parking lot and right of way.

Condition

Applicant must provide the required number of trees and shrubs that are dictated in the ordinance, but that they may be placed elsewhere on the property if necessary.

The landscaping buffer must begin 24.3 feet south of the north property line and end 7.7 feet north of the south property line.

A minimum of four shrubs and one tree must be placed in the front buffer.

Finding of Fact

The existing building location limits the ability to have a 10-foot buffer.

There was a roll call vote.

Yes: Burrows, Devine, Elliott, Krol, Silvers

MOTION PASSED 5-0

7. COMMISSIONER COMMENTS

Krol asked that an extension number for the City Clerk be added to the agenda cover sheet section on persons needing accommodations.

Bolhuis said she would let board members know whether Zoom and/or hybrid meetings will continue.

8. REPORTS AND CORRESPONDENCE

Elliott said the Appointments Committee is working on appointing a new member and alternate for the ZBA.

10. ADJOURNMENT

A motion to adjourn was offered at 8:41 p.m. by Krol and seconded by Burrows.

There was a roll call vote.

Yes: Burrows, Devine, Elliott, Krol, Silvers

MOTION PASSED 5-0

City of Plymouth
Zoning Board of Appeals Notice
Thursday, July 1, 2021 – 7:00 p.m.
City Hall Commission Chamber/Cultural Center
201 S. Main Street Plymouth, Michigan 48170
Website: www.plymouthmi.gov Phone: (734) 453-1234 ext. 232

A regular meeting of the Zoning Board of Appeals will be held on Thursday, July 1, 2021 at 7:00 P.M. in the Commission Chambers of City Hall or at the Cultural Center to consider the following:

Z21-14 Non-Use Variance Request for 1112 Hartsough
Distance between the house and garage
Side yard setback for a detached garage
Zoned: R-1, Single Family Residential
Applicant: Jolynne Mercieca & Scott Lachowicz

*The finalized meeting location will be posted on the City's website

All interested persons are invited to attend.

In compliance with the Americans with Disabilities Act, the City of Plymouth will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting/hearing, to individuals with disabilities. Requests for auxiliary aids or services may be made by writing or calling the following:

Maureen Brodie, ADA Coordinator
201 S. Main Street
Plymouth, MI 48170, (734) 453-1234, Ext. 234

Publish: Thursday, June 17, 2021



**CITY OF PLYMOUTH
COMMUNITY DEVELOPMENT**
201 South Main Street Plymouth, MI 48170
Ph. 734-453-1234 ext. 232
Website: www.plymouthmi.gov

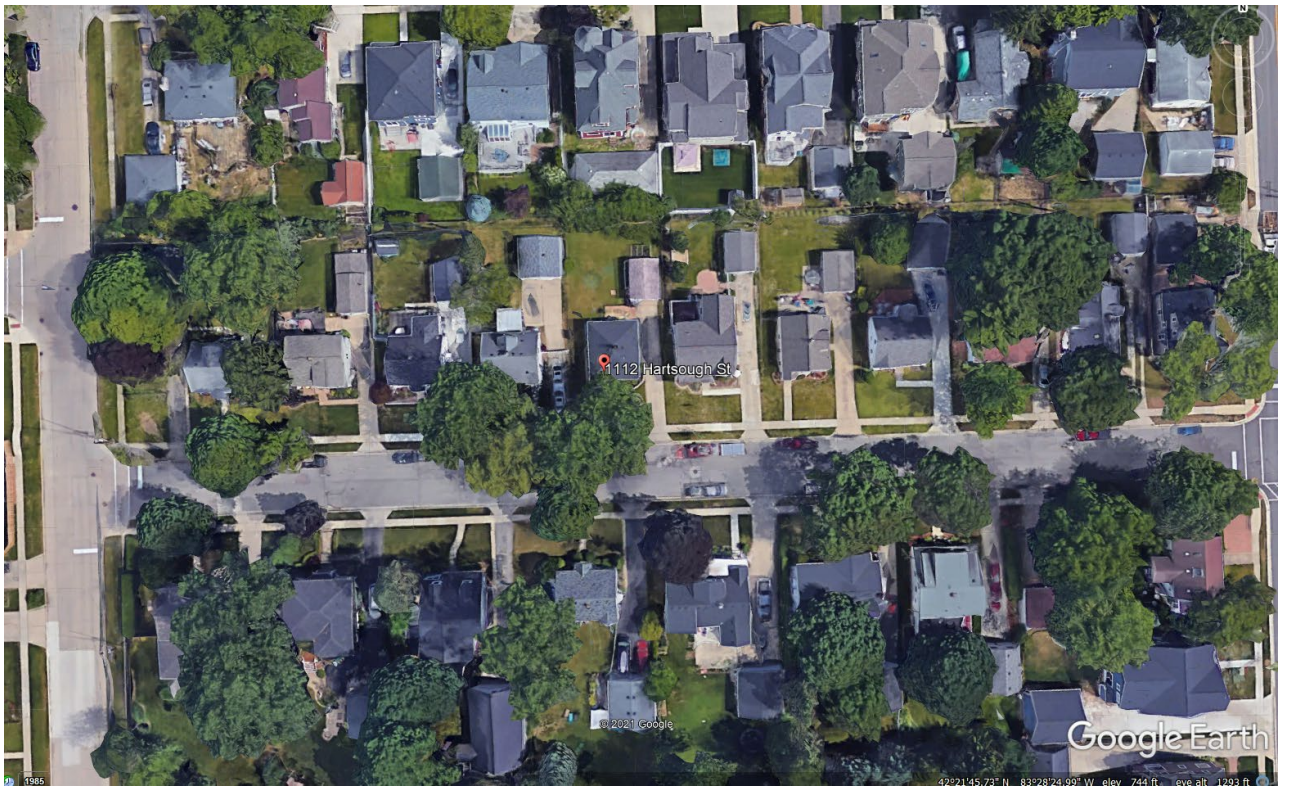
TO: Zoning Board of Appeals Commissioners
FROM: Greta Bolhuis, Assistant Community Development Director
DATE: June 25, 2021
RE: 1112 Hartsough, Non-Use Variance Request

Scott Lachowicz, applicant, is requesting a non-use variance to construct a detached garage. The property is 50 feet wide by 108 feet deep. The property is 5,400 square feet and is zoned R-1, Single Family Residential.

Section 78-260 (6) states “No detached accessory building in residential districts shall be located closer than three feet to any side or rear lot line. In those instances where the rear lot line is coterminous with an alley right-of-way, the accessory building shall be no closer than one foot to such rear lot line. In no instance shall an accessory structure be located within a dedicated easement right-of-way.” The proposed detached garage is 2.5 feet from the side property line. A variance of 0.5 feet is required.

Section 78-260 (13) states “Detached accessory structures must be located a minimum of ten feet from the principal structure on site.” The proposed detached garage is 5 feet from the rear of the principal structure. A variance of 5 feet is required.

Should you have any questions regarding this agenda item, please contact me directly.





DIMENSIONAL (NON-USE) VARIANCE APPLICATION

Community Development Department

201 S. Main Street Plymouth, MI 48170 Ph. 734-453-1234 ext. 232

Website: www.plymouthmi.gov

Type of Variance Request: DIMENSIONAL – Common regulations subject to dimensional (non-use) variance requests: setbacks, signs, height, parking regulations, lot coverage, and bulk or landscaping restrictions. Uniqueness: odd shape, small size, wetland, creek, natural features, big trees or slopes.

1112 Hartsough St, Plymouth MI, 48170

6/8/21

Address of Property

Date of Application

Scott Lachowicz

Jolynne Mercieca

Applicant Name

Property Owner

1112 Hartsough St

Plymouth

MI

48170

Address

City

State

Zip

Scottlacho@gmail.com

248.798.3736

Email

Phone

Three Basic Functions of the ZBA:

1. Interpreting the zoning ordinance (text and map) and nonconforming situations.
2. Deciding appeals on administrative decisions, special land uses, or PUDs.
3. Granting variance requests.

Standards for Dimensional (Non-Use) Variance: [Click here to see full ordinance language.](#)

1. Ordinance unreasonably prevents the owner from using the property for what it is zoned
2. Variance will do substantial justice to the applicant, and the surrounding community
3. Problem is due to the unique circumstances of the property
4. Problem is not self-created

A quorum (3 members) is required for approval of all non-use variance requests.

The Zoning Board of Appeals meets the first Thursday of each month at 7:00PM. The completed application and necessary/applicable plans must be filed with a fee of \$250.00 for single family projects or \$500.00 for multi-family and non-residential. Visit the City's website for submittal deadlines and meeting dates: [Zoning Board of Appeals](#). Submit ten (10) hardcopies of the application and plans including but not limited to survey, plot map, building plans, and photos. One complete digital set of application materials shall be submitted on a flashdrive or emailed to <mailto:plans@plymouthmi.gov> (maximum file size is 100 MB).

The Zoning Board of Appeals will not accept incomplete applications. Signature of property owner and applicant, as well as notarization is required for every application. There are notaries located in City Hall. The Community Development Department has the right to remove an item from the agenda due to incompleteness.

Article and Section of the Zoning Ordinance for which an appeal or variance is being requested:

ARTICLE XXI. - ACCESSORY BUILDINGS AND USES Sec. 78-260.(6) & (13)

I (We) hereby appeal to the Zoning Board of Appeals for a variance to: _____

Construct a 16' wide X 22' deep garage that is 5' to 6' off of

foundation of house (principal structure) and 2.5' off of the (East) side lot line

Description of Property

Current zoning classification: Residential

Current use of structure(s) on premises: Primary dwelling

Is it a corner or interior lot? Interior

Size and area of lot: 50' wide X 108' deep

Total square footage of existing main structure(s): 2047 SQFT

Total square footage of accessory structure(s): 352 SQFT

Existing lot coverage (percentage) of all buildings and structures: 20%

Height of existing main and/or accessory structures: 24' 10"

Description of Proposed Structures

Dimensions and area of structure or addition to be constructed: 16' wide X 22' Deep, 352 SQFT

Front yard setback after completion (measured from property line): roughly 70'

Rear yard setback after completion (measured from property line): roughly 16'

Side yard setback after completion (measured from property line): 2.5'

Height of proposed structure: 12' (measured the same way as the House)

Lot coverage (percentage) after completion: 26.5%

Residential Only: Floor Area Ratio (FAR) after completion (shall not exceed 0.4): 2047sqft (37.9% <40%)

A scaled drawing or boundary survey depicting the above information.

Please answer all the following questions as they relate to the dimensional variance, use additional sheets as necessary:

1. What are the practical difficulties preventing compliance with the ordinance? Are these practical difficulties an exception or unique to the property compared to other properties in the City? (NOTE: The ZBA cannot grant a variance because it is inconvenient or more expensive to build to ordinance or solely to satisfy aesthetic concerns.) We have DTE power lines running through our backyard and they have a 6' easement that we are not allowed to encroach on. Thus we are asking for a variance from the city to encroach on the 10' setback for accessory structures (garage).

2. What effect will the variance have on neighboring properties? zero

3. Is the practical difficulty which prevents you from complying with the ordinance self-imposed? How did the practical difficulty come about? (NOTE: The ZBA has generally found that purely aesthetic consideration and self-created hardships are unacceptable grounds for a variance.) we need to have a garage and cannot shift our proposed garage back (North) due to DTE's easement on the power lines. The garage is necessary to store a vehicle, yard equipment and additional storage.

4. Why do the ordinance restrictions unreasonably prevent the owner from using the property for a permitted purpose? due to the combination of the DTE easement and the 10' setback rule for accessory structures we would be unable to have a standard depth garage required for adequate storage.

DTE Rejection letter attached for reference

I hereby depose and say that all the above statements and the statements contained in the papers submitted herewith are true and correct:

Jolynn M. Brock
Signature of Property Owner

[Signature]
Signature of Applicant

Subscribed and sworn before me this _____ day of _____, 20_____

Notary Public
My Commission expires _____



DTE Energy
Right of Way Department – SW Region
Engineering, Planning & Design
Electric Distribution Operations
8001 Haggerty Road
Belleville, MI 48111

Date: May 24, 2021

Jolynne Mercieca
Scott Lachowicz
1112 Hartsough Street
Plymouth, Michigan 48170

Re: Encroachment Request – 1112 Hartsough Street, Plymouth, Michigan 48170, Lot 89, Sunshine Acres Subdivision.

Parcel Number: 49-010-04-0089-000

Dear Ms. Mercieca and Mr. Lachowicz,

Please be advised that the DTE Electric Company (DTEE) has reviewed your request for an encroachment on the existing utility easement at the above-captioned property.

Upon review of the documents you submitted and inspection of your property by a Service Planner, we are unable to grant your encroachment request. Proper clearances must be adhered to at all times for safety purposes and to allow for future DTEE repairs and maintenance within the easement. According to the site plan you submitted and the construction that was completed prior to us being contacted, proper clearances cannot be met. Therefore, we must deny your request.

Please feel free to contact me, if you have any questions or concerns.

Sincerely,

Kyra Froelich

Right of Way Facilitator
DTE Energy - Electric Distribution
Engineering, Planning & Design – SW Region
kyra.froelich@dteenergy.com | Cell: 734-308-3499

Design Name: Garage Design04

Design ID: 330858688679

Estimate ID: 9170

MENARDS
Design & Buy™ GARAGE

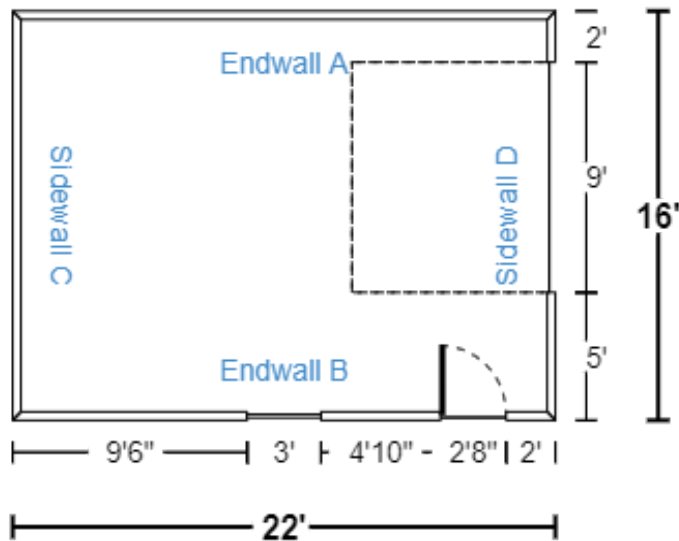
How to purchase at the store

1. Take this packet to any Menards store.
2. Have a building materials team member enter the design number into the Garage Estimator Search Saved Designs page.
3. Apply the design to System V to create the material list.
4. Take the purchase documents to the register and pay.

How to recall and purchase a saved design at home

1. Go to Menards.com.
2. Select the Garage Estimator from the Project Center.
3. Select Search Saved Design.
4. Log into your account.
5. Select the saved design to load back into the estimator.
6. Add your Garage to the cart and purchase.

Garage Image



Estimated Price: \$11,438.08

* Today's estimated price, future pricing may go up or down. Tax, labor, and delivery not included.

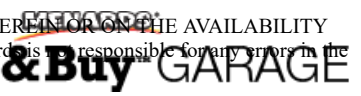
Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions.

Design Name: Garage Design04

MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS LISTED. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully.

Design ID: 330858688679
Estimate ID: 9170

MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.



Design Name: Garage Design04

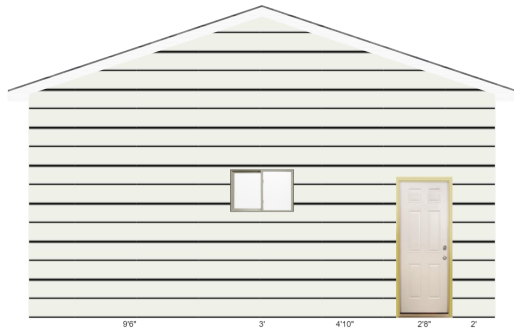
Design ID: 330858688679

Estimate ID: 9170

Dimensions

Wall Configurations

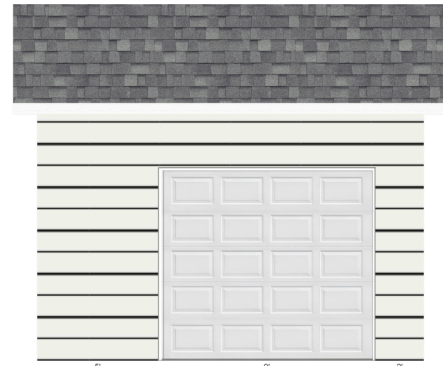
*Illustration may not depict all options selected.



ENDWALL B

Commander®; 32"W x 80"H Primed Steel 6-Panel Exterior Door

Northview Aspen 36"W x 24"H Vinyl Sliding Window with Built-in J-Channel

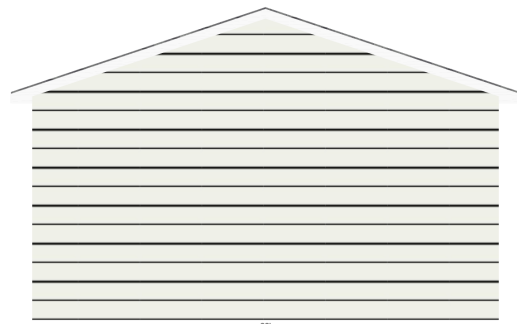


SIDEWALL D

Ideal Door®; 4-Star 9' x 8' White Select Value Insulated Garage Door



SIDEWALL C



ENDWALL A

Design Name: Garage Design04**Design ID: 330858688679****Estimate ID: 9170**

MENARDS'

Design & Buy™ GARAGE

Materials

Building Info

Building Width:	22'
Building Length:	16'
Building Height:	10'
Wall Framing Stud:	2" x 4"
Roof Framing:	Truss Construction
Truss Type:	Common
Roof Pitch:	4/12 Pitch
Eave Overhang:	1'
Gable Overhang:	1'
Concrete Block Option:	None
Anchor bolt:	Grip Fast 1/2" x 10" HDG Anchor Bolt w/ Nut & Washer
Custom Garage Plan:	No I do not need a custom building plan

Wall Info

Siding Material Types:	Fiber Cement Siding
Fiber Cement Siding:	Allura™ 5/16" x 12" x 12' Smooth Fiber Cement Lap Siding
Accent Material Type:	None
Wainscot Material Type:	None
Wall Sheathing:	7/16" OSB (Oriented Strand Board)
House Wrap:	Kimberly-Clark BLOCK-IT®9'x75'House Wrap
Gable Vents:	Novik® 12" x 12" Square Gable Vent

Design Name: Garage Design04**Design ID: 330858688679****Estimate ID: 9170**

Roof Info

Roof Sheathing:	1/2" OSB (Oriented Strand Board)
Roofing Material Type:	Architectural Shingle
Architectural Roofing:	Owens Corning® TruDefinition® Duration® Limited Lifetime Warranty Architectural Shingles (32.8 sq. ft.) - Estate Gray
Roof Underlayment:	Owens Corning® ProArmor® Synthetic Roofing Underlayment 42" x 286' (1,000 sq. ft.)
Ice and Water Barrier:	Owens Corning® WeatherLock® G Granulated Self-Sealing Ice and Water Barrier 3' x 66.7'(200sq.ft)
Fascia material Type:	Fiber Cement Fascia
Fascia:	1x6 Smooth Fiber Cement Fascia (15-yr Paint Warranty) - Snow White
Soffit material Type:	Fiber Cement Soffit
Soffit:	1/4X12' Fiber Cement Textured Vented Soffit (15 Yr Paint Warranty) - Snow White
Roof Edge:	12' Aluminum Style D Roof Edging - White
Gutter material Type:	Aluminum
Gutter:	Spectra Metals 5" x 10' K-Style Aluminum Gutter - White
Ridge Vent:	Owens Corning® VentSure® 11-1/4" x 20' Shingle Over Ridge Vent
Roof Vents:	None

Openings

Entry Door:	Commander® 32"W x 80"H Primed Steel 6-Panel Exterior Door
Overhead Door:	Ideal Door® 4-Star 9' x 8' White Select Value Insulated Garage Door
Windows:	Northview Aspen 36"W x 24"H Vinyl Sliding Window with Built-in J-Channel

Additional Options

Ceiling Insulation:	None
Wall Insulation:	None
Ceiling Finish:	None

6/4/2021

Garage

Design Name: Garage Design04

None

Design ID: 330858688679

Estimate ID: 9170

MENARDS
Design & Buy™ GARAGE

6/4/2021

Garage

Design Name: Garage Design04

Design ID: 330858688679

Estimate ID: 9170

MENARDS[®]
Design & Buy[™] GARAGE

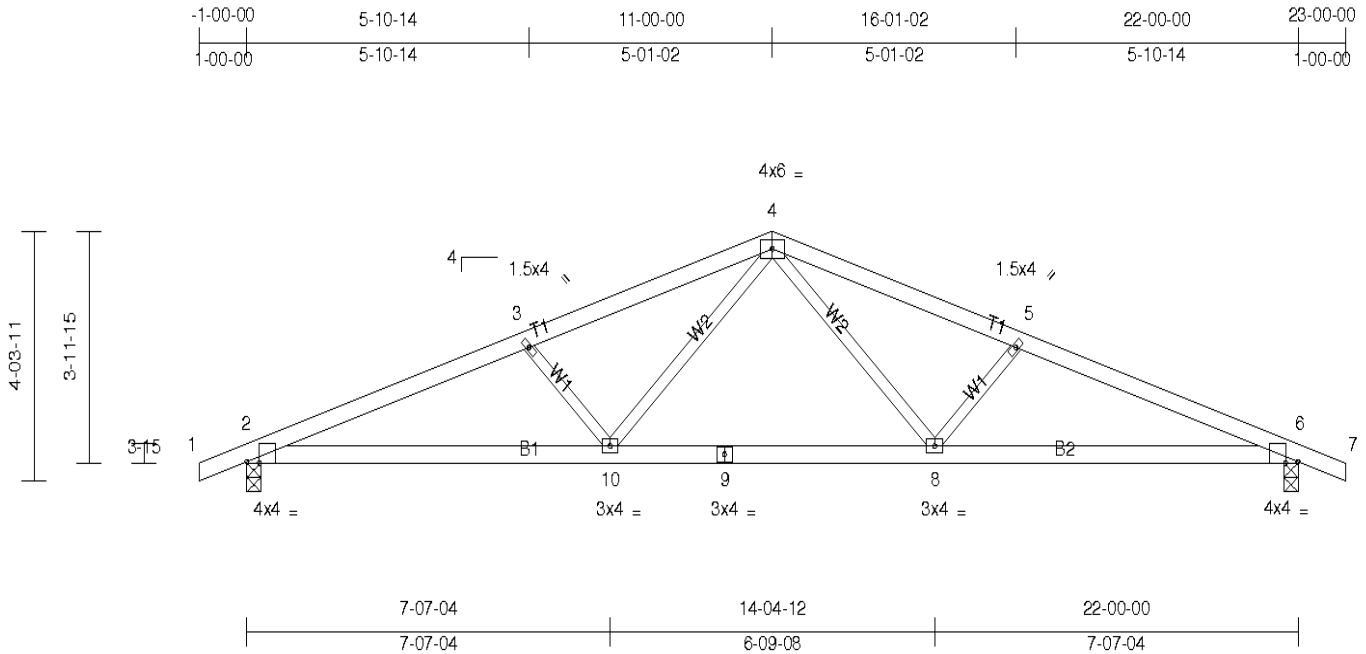
Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
QTRSU0000160	T1	COMMON	14	1	

Midwest Manufacturing, Eau Claire, WI

Run: 8.100 s Apr 21 2017 Print: 8.100 s Apr 21 2017 MiTek Industries, Inc. Mon May 15 15:10:19 2017

Page: 1

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Loading	(psf)	Spacing	2-00-00	CSI	DEFL	in	(loc)	l/defl	L/d	PLATES	GRIP
TCLL (roof)	30.0	Plate Grip DOL	1.15	TC	Vert(LL)	-0.15	8-10	>999	240	MT20	197/144
Snow (Ps/Pg)	27.7/40.0	Lumber DOL	1.15	BC	Vert(CT)	-0.26	6-8	>991	180		
TCDL	7.0	Rep Stress Incr	YES	WB	Horz(CT)	0.07	6	n/a	n/a		
BCLL	0.0*	Code	IRC2015/TPI2014	Matrix-R							
BCDL	10.0									Weight: 66 lb	FT = 0%

LUMBER

TOP CHORD 2x4 SPF No.2
 BOT CHORD 2x4 SPF No.2
 WEBS 2x3 SPF Stud

BRACING

TOP CHORD
 BOT CHORD

Structural wood sheathing directly applied or 3-0-15 oc purlins.
 Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 2=1050/3-08, (min. 1-12), 6=1050/3-08, (min. 1-12)
 Max Horiz 2=-52(LC 15)
 Max Uplift 2=-115(LC 10), 6=-115(LC 11)
 Max Grav 2=1105(LC 2), 6=1105(LC 2)

FORCES (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 TOP CHORD 2-3=-2411/348, 3-4=-2108/300, 4-5=-2108/300, 5-6=-2411/348
 BOT CHORD 2-10=-271/2219, 9-10=-143/1520, 8-9=-143/1520, 6-8=-271/2219
 WEBS 3-10=-473/153, 4-10=-37/881, 4-8=-37/881, 5-8=-473/153

NOTES

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasd=91mph; TC DL=4.2psf; BCDL=8.0psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (envelope) exterior(2) zone and C-C Exterior(2) zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- TCLL: ASCE 7-10; Pr=30.0 psf (roof live load; Lumber DOL=1.15 Plate DOL=1.15); Pg=40.0 psf (ground snow); Ps=27.7 psf (roof snow; Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Fully Exp.; Ct=1.1
- Roof design snow load has been reduced to account for slope.
- Unbalanced snow loads have been considered for this design.
- This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 27.7 psf on overhangs non-concurrent with other live loads.
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 115 lb uplift at joint 2 and 115 lb uplift at joint 6.
- This truss is designed in accordance with the 2015 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.

LOAD CASE(S) Standard

6/4/2021

Garage

Design Name: Garage Design04

Design ID: 330858688679

Estimate ID: 9170

MENARDS
Design & Buy™ GARAGE

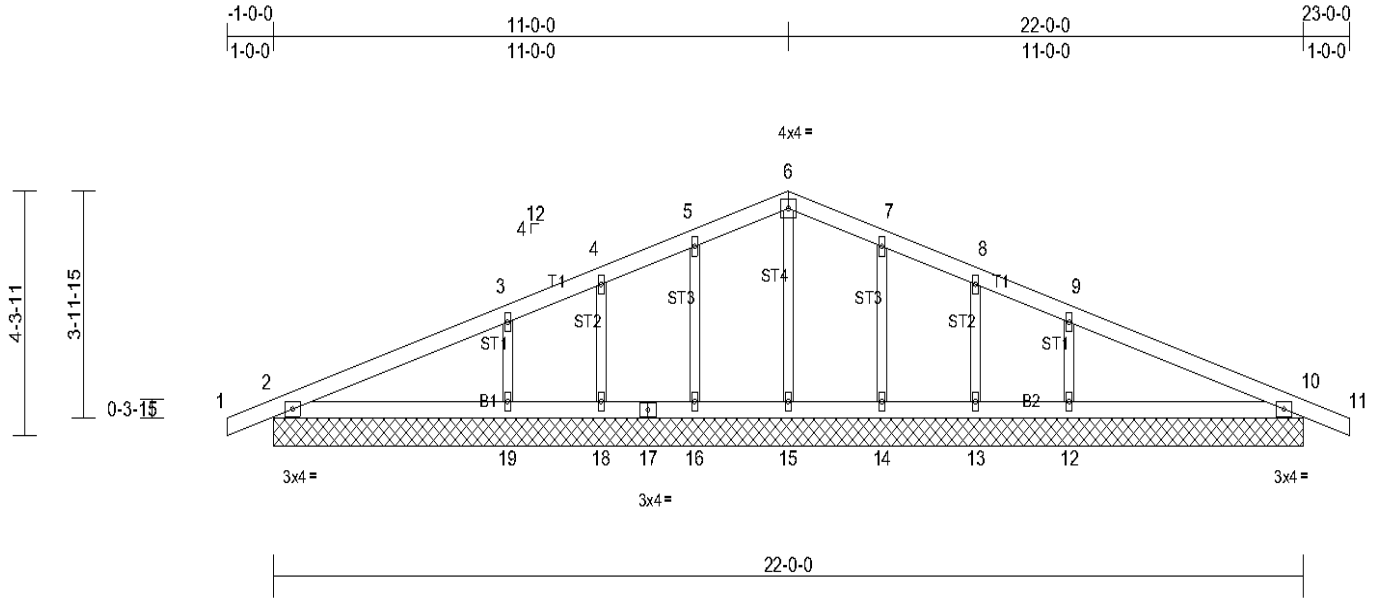
Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
QTREC0651618	T1E	Common Supported Gable	2	1	

Midwest Manufacturing, Eau Claire, WI

Run: 8.4 S 0 May 13 2020 Print: 8.400 S May 13 2020 MITek Industries, Inc. Wed Sep 30 16:56:37

Page: 1

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Scale = 1:44.7

Loading	(psf)	Spacing	2-0-0	CSI	DEFL	in	(loc)	l/defl	L/d	PLATES	GRIP	
TCLL (roof)	35.0	Plate Grip DOL	1.15	TC	0.30	Vert(LL)	n/a	-	n/a	999	MT20	197/144
Snow (Ps/Pg)	34.7/50.0	Lumber DOL	1.15	BC	0.17	Vert(CT)	n/a	-	n/a	999		
TCDL	7.0	Rep Stress Incr	YES	WB	0.13	Horz(CT)	0.00	10	n/a	n/a		
BCLL	0.0*	Code	IRC2015/TPI2014	Matrix-R								
BCDL	10.0											
											Weight: 67 lb	FT = 15%

LUMBER

TOP CHORD 2x4 SPF No.2
 BOT CHORD 2x4 SPF No.2
 OTHERS 2x3 SPF Stud

BRACING

TOP CHORD
 BOT CHORD

Structural wood sheathing directly applied or 6-0-0 oc purlins.
 Rigid ceiling directly applied or 10-0-0 oc bracing.

MITek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS All bearings 22-0-0.

(lb) - Max Horiz 2=52 (LC 14)
 Max Uplift All uplift 100 (lb) or less at joint(s) 2, 10, 12, 13, 14, 16, 18, 19
 Max Grav All reactions 250 (lb) or less at joint(s) 13, 15, 18 except 2=310 (LC 2), 10=310 (LC 2), 12=548 (LC 22), 14=311 (LC 22), 16=311 (LC 21), 19=548 (LC 21)

FORCES (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.

WEBS 5-16=-256/61, 3-19=-412/120, 7-14=-256/61, 9-12=-412/120

NOTES

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-10; Vult=115mph (3-second gust) Vasc=91mph; TCDL=4.2psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; Enclosed; MWFRS (envelope) exterior zone and C-C Exterior (2) zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- TCLL: ASCE 7-10; Pr=35.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15); Pg=50.0 psf (ground snow); Ps=34.6 psf (roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Fully Exp.; Ct=1.10
- Roof design snow load has been reduced to account for slope.
- Unbalanced snow loads have been considered for this design.
- This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 34.6 psf on overhangs non-concurrent with other live loads.
- All plates are 1.5x4 MT20 unless otherwise indicated.
- Gable requires continuous bottom chord bearing.
- Gable studs spaced at 2-0-0 oc.
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-06-00 tall by 2-00-00 wide will fit between the bottom chord and

6/4/2021

Garage

12) This truss has been designed for a live load of 20 psf on the bottom chord in all areas where a rectangular cutout is less than 2' 0" wide and is between the bottom chord and any other members.

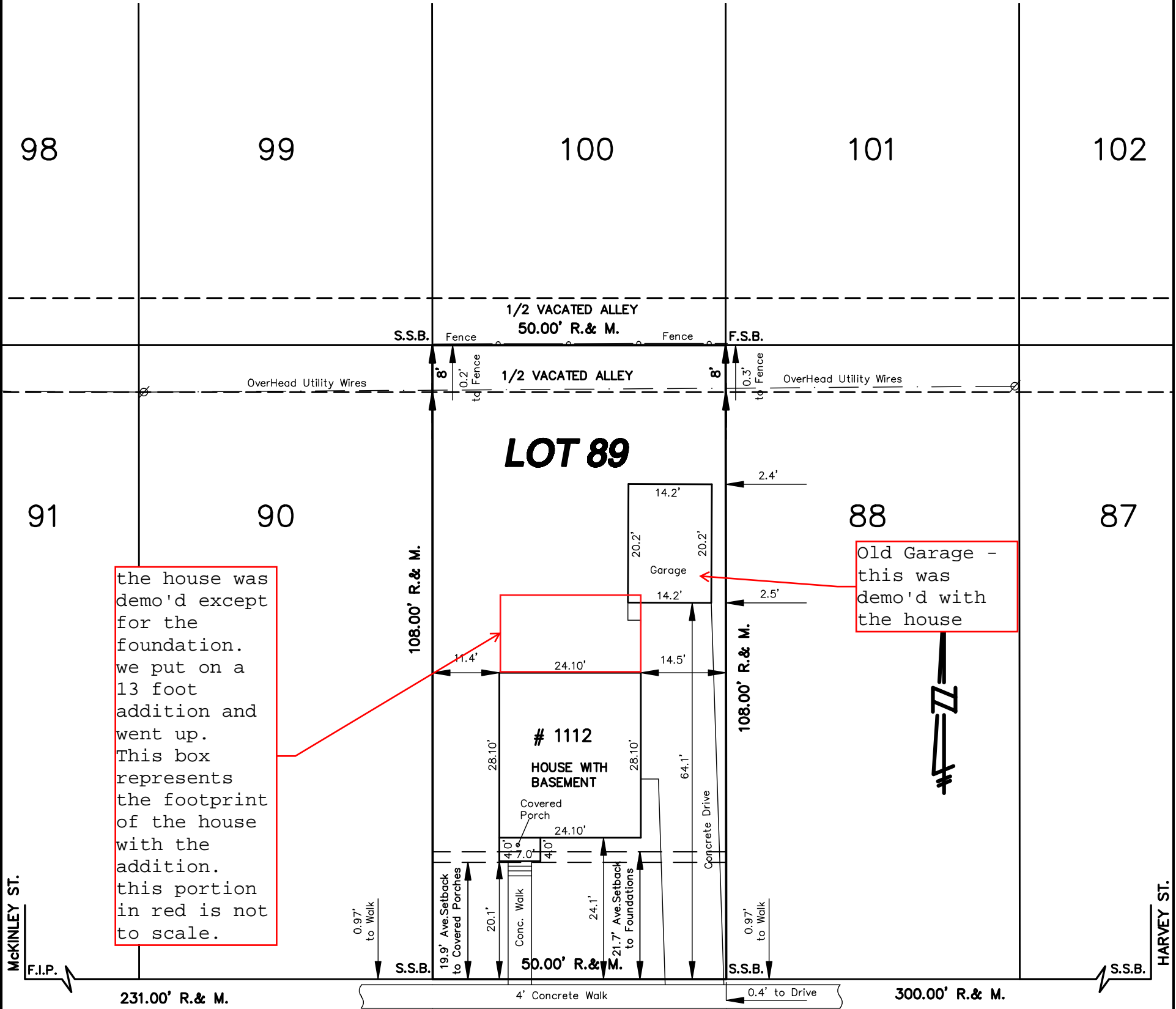
13) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 2, 16, 18, 19, 14, 13, 12, 10.

14) This truss is designed in accordance with the 2015 International Residential Code sections R502.11.1 and R602.10.2 and referenced standard ANSI/TPI 1.

LOAD CASE(S) Standard

LOT 89 AND 1/2 VACATED ALLEY "SUNSHINE ACRES SUBDIVISION"

OF PART OF THE NORTHEAST 1/4 OF SECTION 34, TOWN 1 SOUTH, RANGE 8 EAST, CITY OF PLYMOUTH, WAYNE COUNTY, MICHIGAN, AS RECORDED IN LIBER 40 OF PLATS, PAGE 3 OF WAYNE COUNTY RECORDS, SUBJECT TO EASEMENTS OF RECORD.



the house was demo'd except for the foundation. we put on a 13 foot addition and went up. This box represents the footprint of the house with the addition. this portion in red is not to scale.

Old Garage - this was demo'd with the house

1112 HARTSOUGH STREET
50' WIDE R.O.W.

LEGEND
R. RECORD DISTANCE
M. MEASURED DISTANCE
F.S.B. FOUND STEEL BAR
F.I.P. FOUND IRON PIPE
S.S.B. SET STEEL BAR

AVERAGE FRONT SETBACK: MEASURED TO HOUSE FOUNDATIONS	AVERAGE FRONT SETBACK: MEASURED TO COVERED PORCHES
ADDRESS #1180 = 23.7'	ADDRESS #1180 = 19.7' COVERED PORCH
ADDRESS #1144 = 24.9'	ADDRESS #1144 = 24.9' FOUNDATION
ADDRESS #1140 = 23.9'	ADDRESS #1140 = 19.9' COVERED PORCH
ADDRESS #1128 = 24.0'	ADDRESS #1128 = 24.0' FOUNDATION
ADDRESS #1112 HARTSOUGH = SITE	ADDRESS #1112 HARTSOUGH = SITE
ADDRESS #1096 = 24.0'	ADDRESS #1096 = 20.2' COVERED PORCH
ADDRESS #1076 = 23.8'	ADDRESS #1076 = 20.0' COVERED PORCH
ADDRESS #1062 = 24.0'	ADDRESS #1062 = 24.0' FOUNDATION
ADDRESS #1044 = 24.2'	ADDRESS #1044 = 24.2' FOUNDATION
TOTAL / 8 HOMES = 192.5 / 8 = 24.06	TOTAL / 8 HOMES = 176.9 / 8 = 22.11
X 0.9 = AVERAGE FRONT SETBACK 21.7'	X 0.9 = AVERAGE FRONT SETBACK 19.9'

LOT SURVEY

CLIENT: SCOTT LACHOWICZ
1112 HARTSOUGH
PLYMOUTH, MI. 48170

DATE: 8-4-20		691 WING STREET Plymouth, Mi. 48170 ph. 800.221.5263 ph. 734.455.5501 fax 877.837.5267 www.ambitsurveyors.com	DRAWN BY: GW
JOB NO.: 20-07-025			CHECK: PPP
SCALE: 1"=20'			SHEET: 1 OF 1

FOUNDATION NOTES

- NOTE:**
ALL FOOTINGS ARE DESIGNED FOR 3000 P.S.F. SOIL BRG. CAPACITY & 30 P.S.F. ROOF SNOW LOAD. FOR VARYING CONDITIONS REFER TO TABLE R403.1(1), R403.1(2), & R403.1(3) OF THE 2018 IRC.
- ALL COLUMNS SHOWN SHALL BE 3" DIA. SCHEDULE 40 STANDARD STEEL PIPE COLUMN ON 30" X 30" X 18" DEEP CONC. FTG. TOP OF CONCRETE FTG. TO BE 4" BELOW FINISH BASEMENT SLAB. (TYPICAL UNLESS NOTED OTHERWISE)
 - WHERE STEEL BEAMS REST ON FOUNDATION WALLS, SIZE BEAM POCKET APPROPRIATELY AND SHIM AS REQUIRED.
 - AS REQUIRED DROP Foyer FLOOR SHEATHING 3/4" FOR MUDSET TILE INSTALLATION
 - VERIFY ALL UTILITY LOCATIONS W/ BUILDER.
 - PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
 - PROVIDE LADDERING UNDER ANY WALL RUNNING PARALLEL W/ JOIST THAT DOES NOT LAND DIRECTLY ON A JOIST
 - PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS.
 - GROUT SOLID * BEARING CONDITIONS WHERE BLOCK IS USED.
 - PROVIDE 2" X 24" (MIN. R-10) RIGID PERIMETER INSULATION AT ALL BASEMENT SLABS THAT ARE LESS THAN 42" BELOW EXTERIOR FINISHED GRADE

- NOTE:**
INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:
- EXTERIOR WALL THICKNESS
 - EXISTING ROOF PITCH
 - EXISTING HEEL HEIGHT
 - OVERHANG DIMENSIONS
 - OVERALL DIMENSIONS ACROSS TOP PLATES
 - EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION
- PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF

NOTE:
PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

NOTE:
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

NOTE:
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS

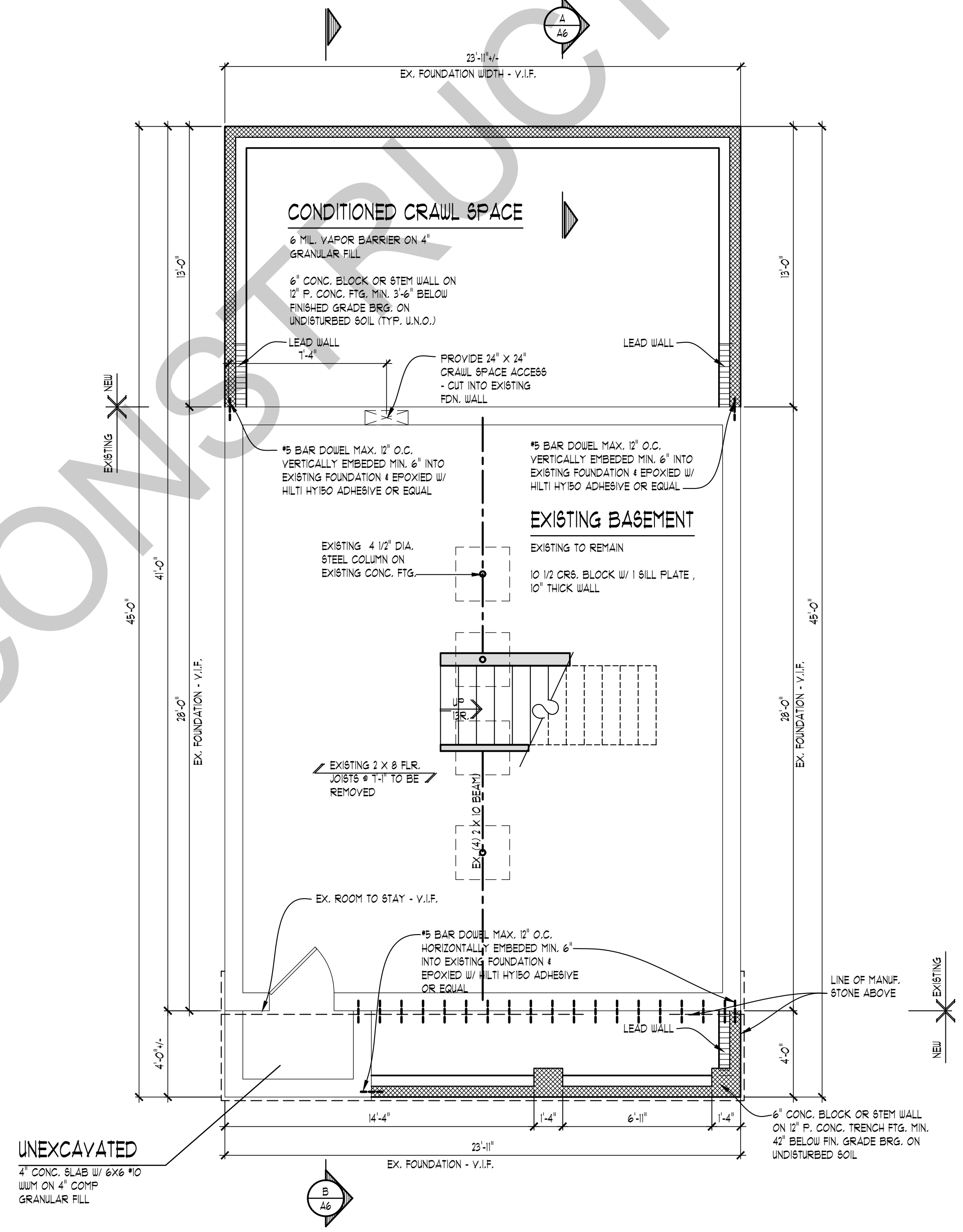
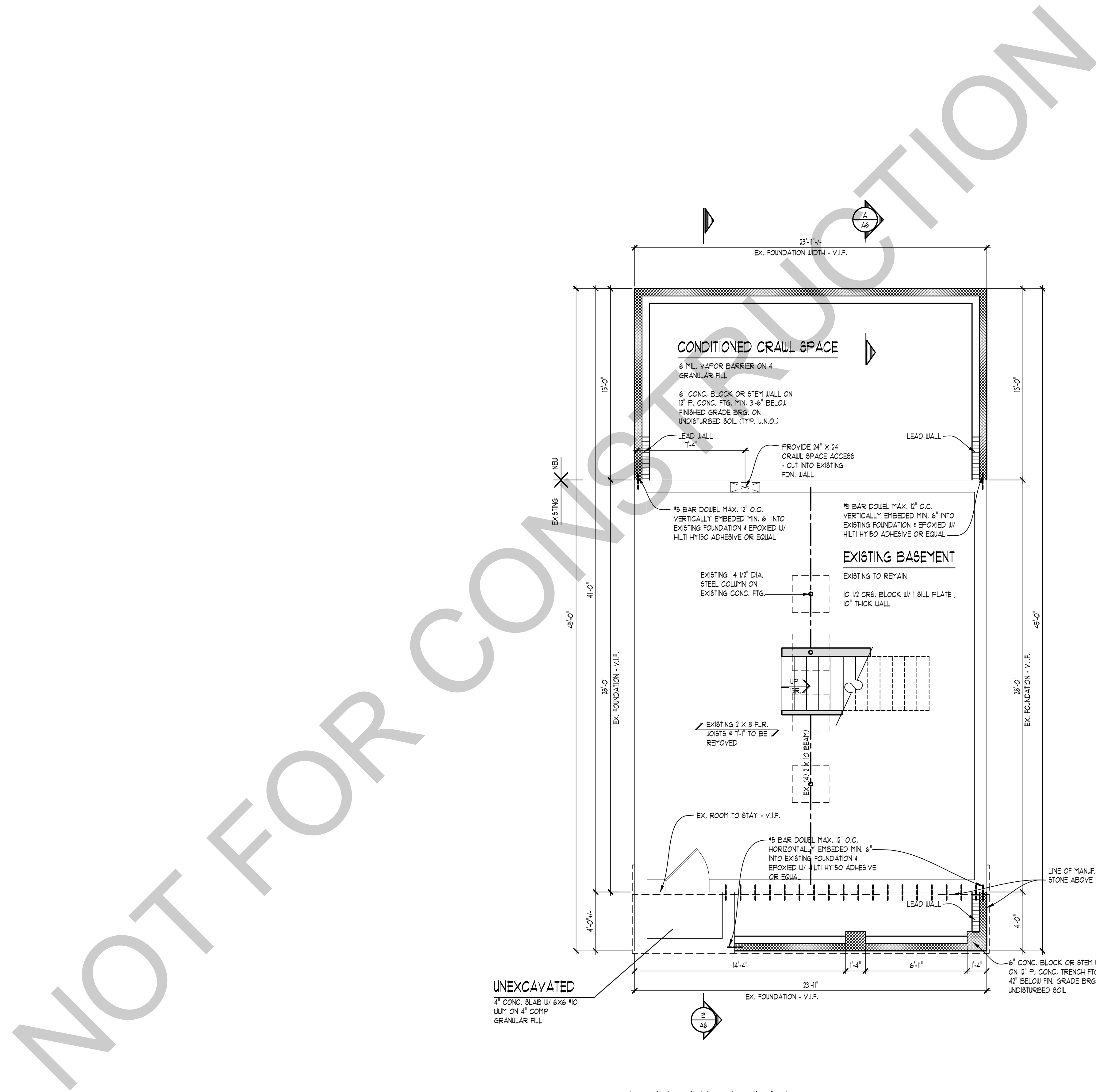
NOTE:
GROUT ALL CONCRETE BLOCK CORES SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL)

NOTE:

WOOD BEAM
STEEL BEAM

BRG. WALL
BRG. WALL ABOVE
BRG. WALL & BRG. WALL ABOVE

POINT LOAD
POINT LOAD FROM ABOVE



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

LOT INFORMATION:

CITY/TOWNSHIP:	PLYMOUTH
ZONING:	R-1
MINIMUM SETBACKS:	
FRONT:	24'
REAR:	35'
SIDES:	6' (12 TOTAL)
MAX ROOF HEIGHT:	25'
LOT COVERAGE: (35%)	
3400 SQ.FT. x (5) = 17000 SQ.FT. MAX	
1021 SQ.FT. BUILDING FOOTPRINT / LOT AREA = (20%)	
FLOOR AREA RATIO (FAR):	
3400 SQ.FT. LOT AREA x 0.4 = 2160 SQ.FT. MAX FLOOR AREA	
FIRST FLOOR: 981 SQ.FT.	
SECOND FLOOR: 1066 SQ.FT.	
ATTACHED GARAGE: 0 SQ.FT.	
TOTAL FLOOR AREA: 2047 SQ.FT. (37.8 (40%))	

TK DESIGN & ASSOCIATES

WWW.TKHOMEDSIGN.COM

26030 PONTIAC TRAIL
SOUTH LYON, MI 48178
PHONE: (248)-446-1900
FAX: (248)-446-1961

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NO NOT SCALE DRAWINGS. USE CALCULATED DIMENSIONS ONLY
& CONTRACTOR TO FIELD VERIFY ALL DRAWING DIMENSIONS BEFORE
CONSTRUCTION. DISCREPANCIES AND DESIGN CHANGES SHALL BE
FORWARDED TO THE DESIGNER IN WRITING FROM IMMEDIATELY
SCALE USED: 1/4" = 1'-0" 3 DAYS PRIOR TO ANY EXCAVATION
CONSTRUCTION & THE SOLE RESPONSIBILITY OF THE PERMIT HOLDER

CLIENT / PROJECT

EVERGREEN
DEVELOPMENT
MERCIECA-LACHOWICZ
RESIDENCE
1112 HARTSOUTH ST.
PLYMOUTH, MI

JOB No. 20-230
DRAWN: AG
CHECKED: -
REVIEW 10-1-2020
FINAL: -
REVISION 10-5-2020

SCALE:
PER PLAN

SHEET #
A1

PLAN NOTES

INTERIOR WALLS:
1/2" GYPSUM WALL BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. 3 1/2" THICK TYPICAL (UNLESS NOTED OTHERWISE). ALL DIMENSION TAKEN FROM STUD EDGES

EXTERIOR WALLS:
SIDING AND/OR MASONRY WITH AIRSPACE, MOISTURE BARRIER PAPER (HOUSE WRAP) ON 1/8" O.S.B. SHEATHING ON 2x4 WOOD STUDS @ 16" O.C. OR AS NOTED. MIN. R-20 WALL CONSTRUCTION 1/2" GYPSUM WALL BOARD (GLUE & SCREW). WALL TO BE 4" THICK WITH SIDING TYPICAL (UNLESS NOTED OTHERWISE). ALL DIMENSION TAKEN FROM FRAMING (FLOOR PLANS) OR FOUNDATION CORNERS (FOUNDATION PLAN)

- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20-MINUTE FIRE RATED DOORS (OR EQUIVALENT PER 2019 IRC SECTION R302.5.1).
- VENT ALL EXHAUST FANS TO EXTERIOR.
- WHEN POSSIBLE DIRECT ALL FLUES AND VENTS THAT PENETRATE ROOF BEHIND MAIN RIDGE.
- INSTALL WATER SUPPLY AND DRAIN BOX (GREY BOX) AT WASHING MACHINE LOCATION.
- USE MOISTURE RESISTANT DRYWALL AT ALL AREAS SUSCEPTIBLE TO MOISTURE.
- ALL FIRST FLOOR INTERIOR DOORS TO BE FRAMED 6'-8" TALL. ALL SECOND FLOOR INTERIOR DOORS TO BE FRAMED 6'-8" UNLESS NOTED OTHERWISE. VERIFY W/ BUILDER
- PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
- PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS.
- GARAGE WALLS TO BE 2x6 STUDS IF OVER 10'-0" TALL.

WALL KEY

— NEW STUD WALL
— EXISTING STUD WALL TO REMAIN

NOTE:
PORCH CLG. FINISH PER BUILDER'S SPEC.

NOTE:
ALL SMOKE & CARBON MONOXIDE DETECTORS INTERCONNECTED W/ BATTERY BACK-UP PER CODE.

NOTE:
DOOR & WINDOW LOCATIONS:
ALL DOORS & WINDOWS ARE ASSUMED TO BE EITHER IN THE CENTER OF THE WALL MASS OR MIN. 4 INCHES FROM PERPENDICULAR WALL FOR CASING UNLESS NOTED OTHERWISE

NOTE:
VERIFY DROPPED FLOOR AREAS FOR TILE WITH BUILDER

FIREPLACE NOTE
ALL FIREPLACE DIMENSIONS & ROUGH OPENINGS TO BE VERIFIED W/ MANUFACTURER SPECS INCLUDING BUT NOT LIMITED TO WIDTH, DEPTH, HEIGHT, CHIMNEY CLEARANCES, ETC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL SPECS TO CARPENTER PRIOR TO FRAMING

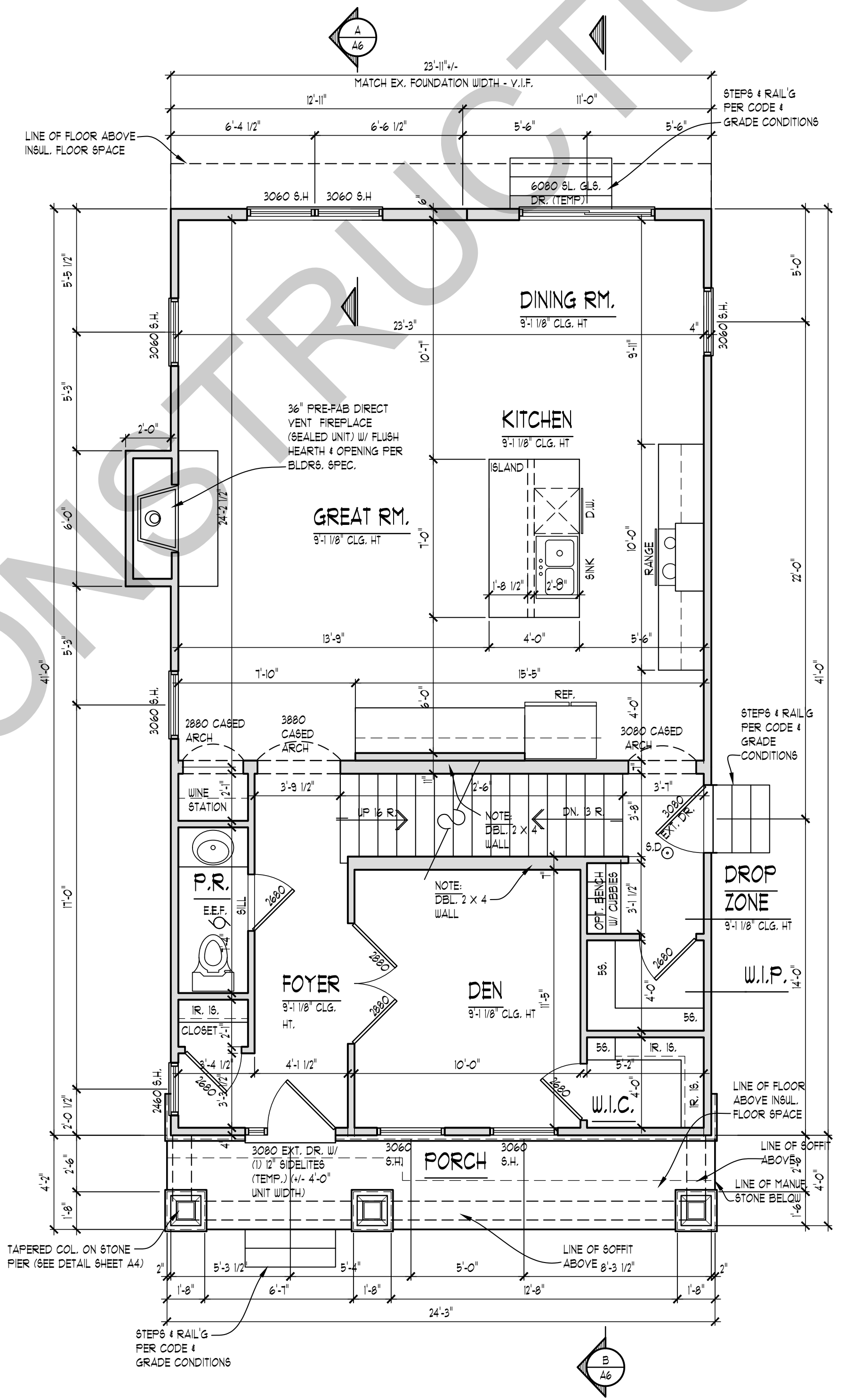
FIRE SEPARATION NOTE
FIRE SEPARATION (R302.6)
GARAGE SPACE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT. ALL OTHER GARAGE SPACE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. DROP CLG. UNDER FLR. ABV. (ENCLOSE MECHANICAL AND STRUCTURAL ELEMENTS) VERIFY W/ BLDG.

NOTE:
PROVIDE MIN. (1) 2 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

NOTE:
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

NOTE:
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS

NOTE:
INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:
• EXTERIOR WALL THICKNESS
• EXISTING ROOF PITCH
• EXISTING HEEL HEIGHT
• OVERHANG DIMENSIONS
• OVERALL DIMENSIONS ACROSS TOP PLATES
• EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

AREA SUMMARY:

OVERALL FLOOR AREA:	
FIRST FLOOR	881 S.F.
SECOND FLOOR	1066 S.F.
TOTAL AREA	1947 S.F.

TK DESIGN & ASSOCIATES

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FAX: (248)-446-1961

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SCALE: MEAS. DIM. AT 1/8"=1'-0" 3 DAYS PRIOR TO ANY EXCAVATION. CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE PERMIT HOLDER.

CLIENT / PROJECT

EVERGREEN DEVELOPMENT
MERCIECA-LACHOWICZ
RESIDENCE
1112 HARTSOUTH ST.
PLYMOUTH, MI

JOB No.	20-230
DRAWN:	AG
CHECKED:	-
REVIEW	10-1-2020
FINAL:	-
REVISION	10-5-2020

SCALE:
PER PLAN

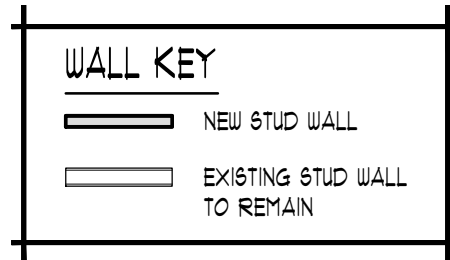
SHEET #
A2

PLAN NOTES

INTERIOR WALLS:
1/2" GYPSUM WALL BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. 3/4" THICK TYPICAL (UNLESS NOTED OTHERWISE). ALL DIMENSION TAKEN FROM STUD EDGES

EXTERIOR WALLS:
SIDING AND/OR MASONRY WITH AIRSPACE, MOISTURE BARRIER PAPER (HOUSE WRAP) ON 1/8" O.S.B. SHEATHING ON 2x4 WOOD STUDS @ 16" O.C. OR AS NOTED. MIN. R-20 WALL CONSTRUCTION 1/2" GYPSUM WALL BOARD (GLUE & SCREW). WALL TO BE 4" THICK WITH SIDING (TYPICAL UNLESS NOTED OTHERWISE). ALL DIMENSION TAKEN FROM FRAMING (FLOOR PLANS) OR FOUNDATION CORNERS (FOUNDATION PLAN)

1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20-MINUTE FIRE RATED DOORS (OR EQUIVALENT PER 2019 IRC SECTION R302.5.1).
2. VENT ALL EXHAUST FANS TO EXTERIOR.
3. WHEN POSSIBLE DIRECT ALL FLUES AND VENTS THAT PENETRATE ROOF BEHIND MAIN RIDGE.
4. INSTALL WATER SUPPLY AND DRAIN BOX (GREY BOX) AT WASHING MACHINE LOCATION.
5. USE MOISTURE RESISTANT DRYWALL AT ALL AREAS SUSCEPTIBLE TO MOISTURE.
6. ALL FIRST FLOOR INTERIOR DOORS TO BE FRAMED 6'-8" TALL. ALL SECOND FLOOR INTERIOR DOORS TO BE FRAMED 6'-8" UNLESS NOTED OTHERWISE. VERIFY W/ BUILDER
7. PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
8. PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS.
9. GARAGE WALLS TO BE 2x6 STUDS IF OVER 10'-0" TALL.



NOTE: S.D. ○
SD/C ●
ALL SMOKE & CARBON MONOXIDE DETECTORS INTERCONNECTED W/ BATTERY BACK-UP PER CODE.

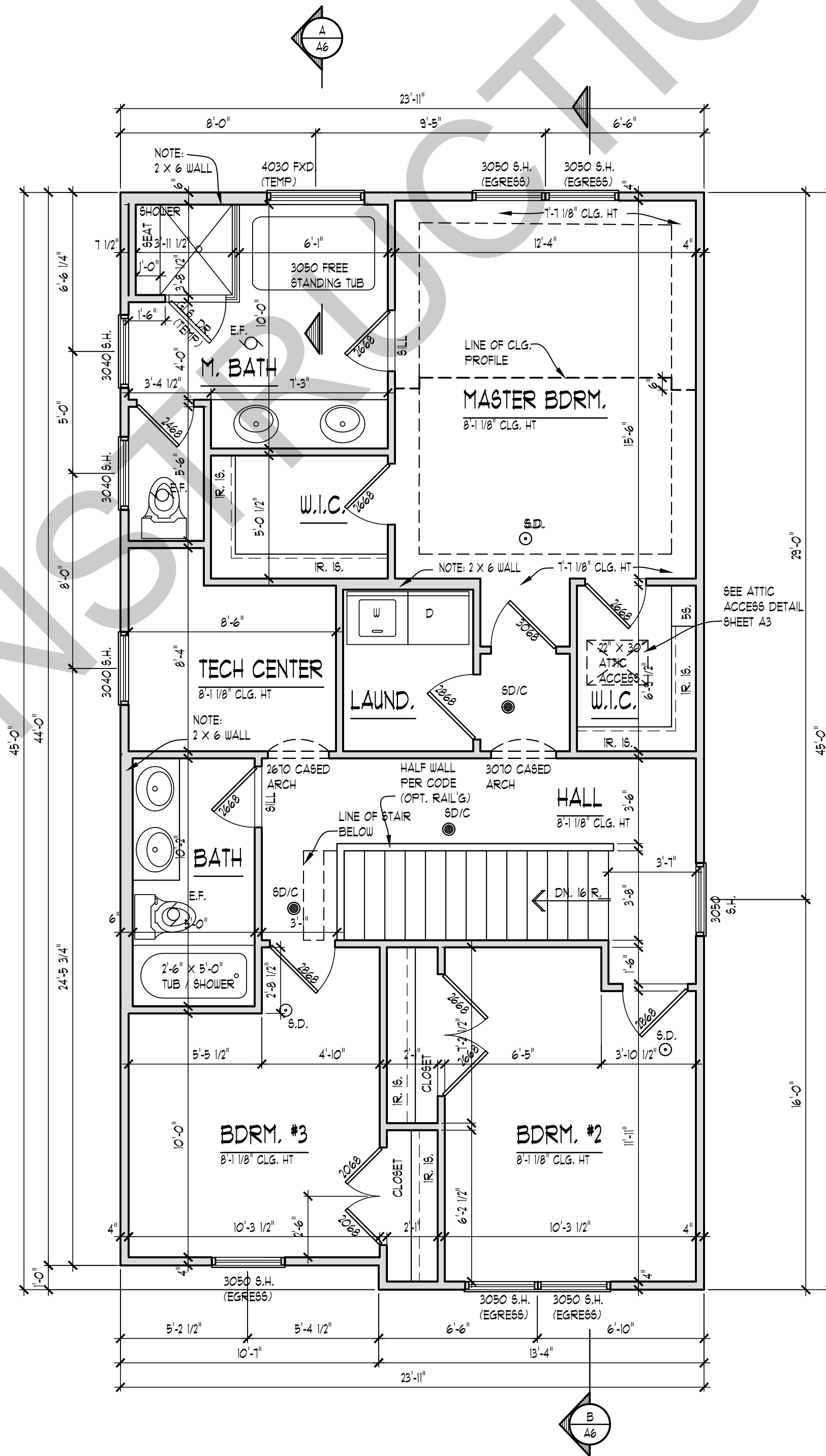
NOTE:
DOOR & WINDOW LOCATIONS:
ALL DOORS & WINDOWS ARE ASSUMED TO BE EITHER IN THE CENTER OF THE WALL MASS OR MIN. 4 INCHES FROM PERPENDICULAR WALL FOR CASING UNLESS NOTED OTHERWISE

NOTE:
VERIFY DROPPED FLOOR AREAS FOR TILE WITH BUILDER

NOTE:
PROVIDE MIN. (2) 2 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

NOTE:
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

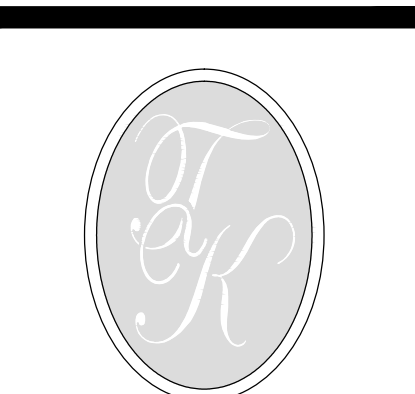
NOTE:
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



TK DESIGN & ASSOCIATES

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SOUTH LYON, MI 48178
PHONE: (248)-446-1900
FAX: (248)-446-1961

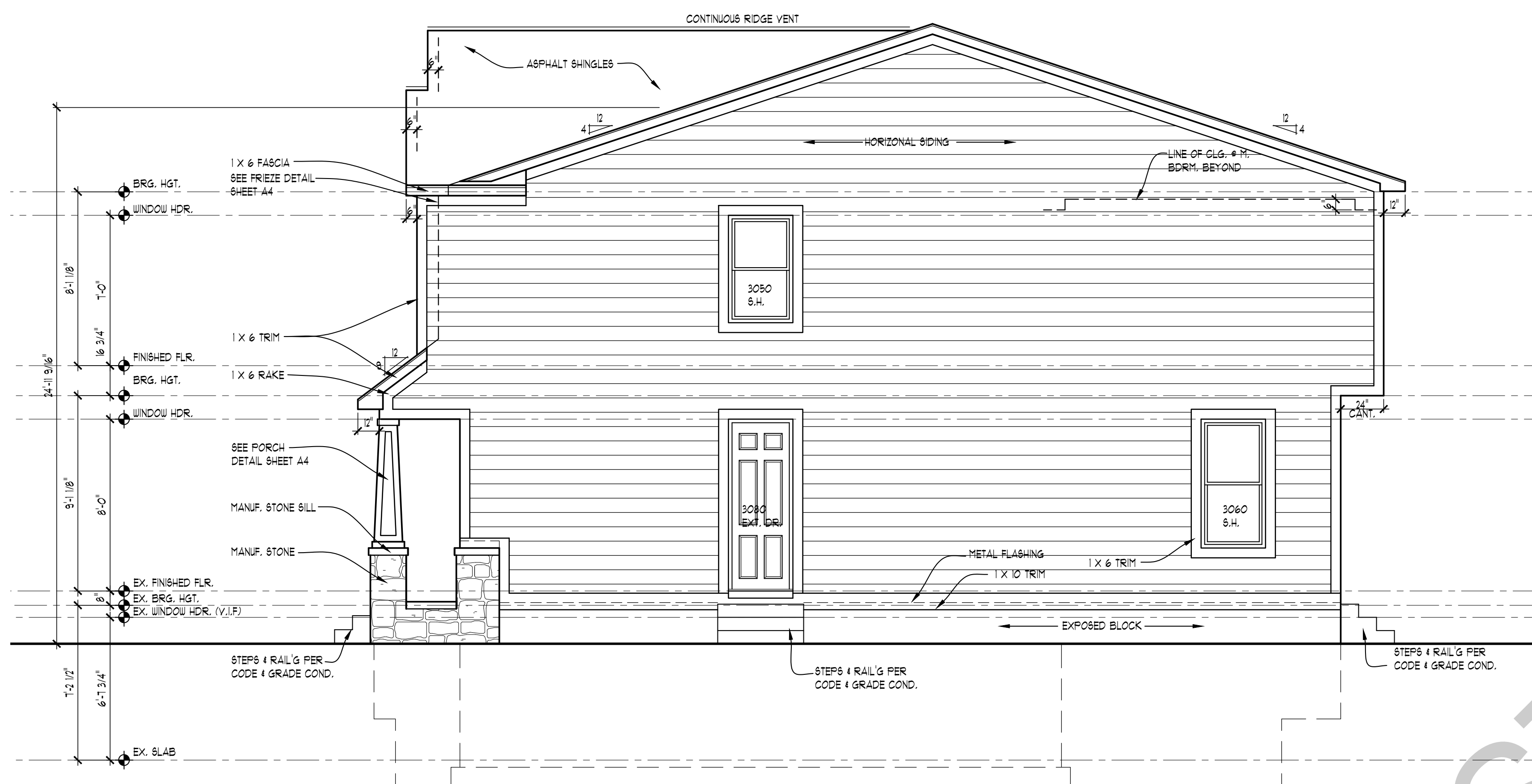
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CONSTRUCTION. DISCREPANCIES AND DESIGN CHANGES SHALL BE
REPORTED TO THE DESIGNER IN WRITING FORM IMMEDIATELY.
CALL MEED GO AT 481-482-7271 3 DAYS PRIOR TO ANY EXCAVATION
CONSTRUCTION & BE THE SOLE RESPONSIBILITY OF THE PERMIT HOLDER

CLIENT / PROJECT
EVERGREEN
DEVELOPMENT
MERCIEA-LACHOWICZ
RESIDENCE
1112 HARTSOUTH ST.
PLYMOUTH, MI

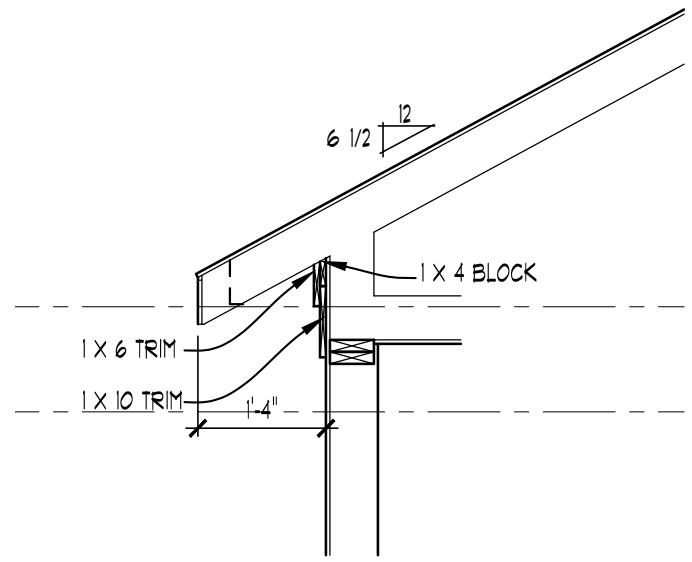
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CHECKED:	-
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FINAL:	-
REVISION	10-5-2020

SCALE:
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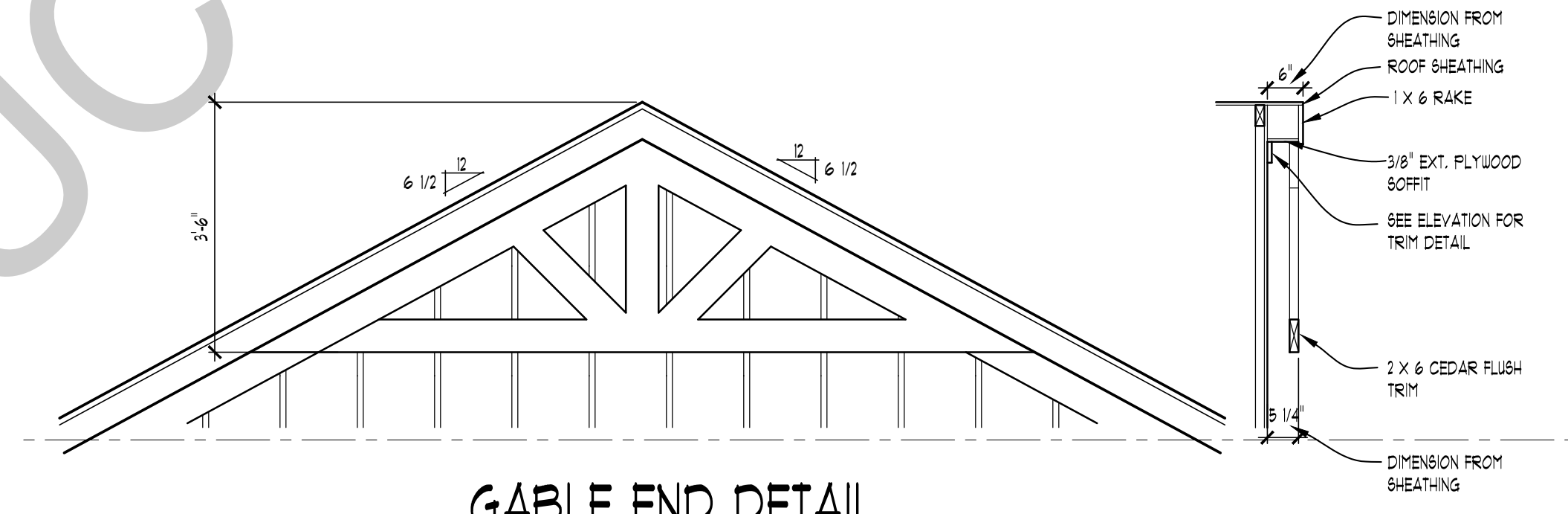
SHEET #
A3



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



FRIEZE TRIM DETAIL
SCALE: 1/2" = 1'-0"

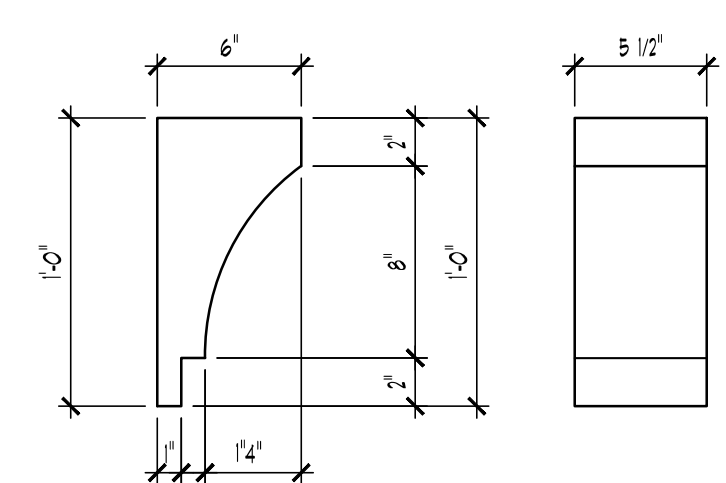
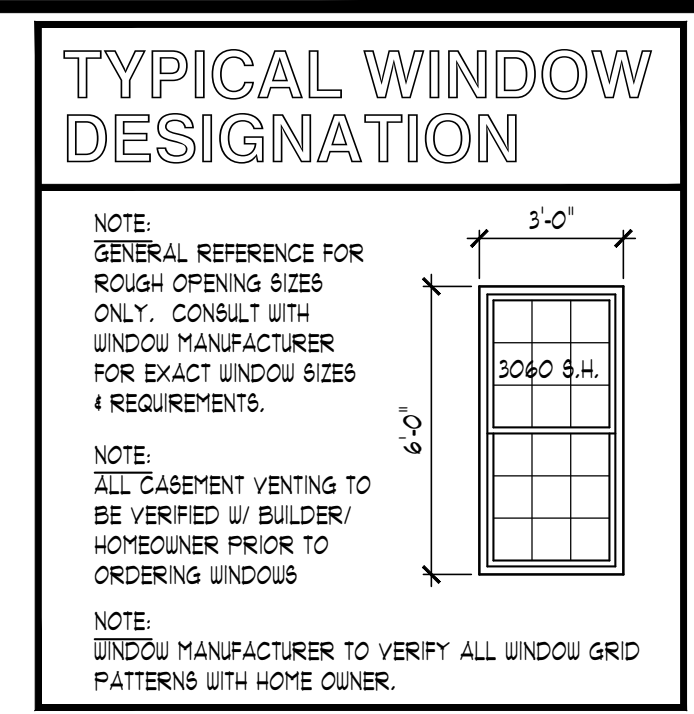


GABLE END DETAIL
SCALE: 1/2" = 1'-0"

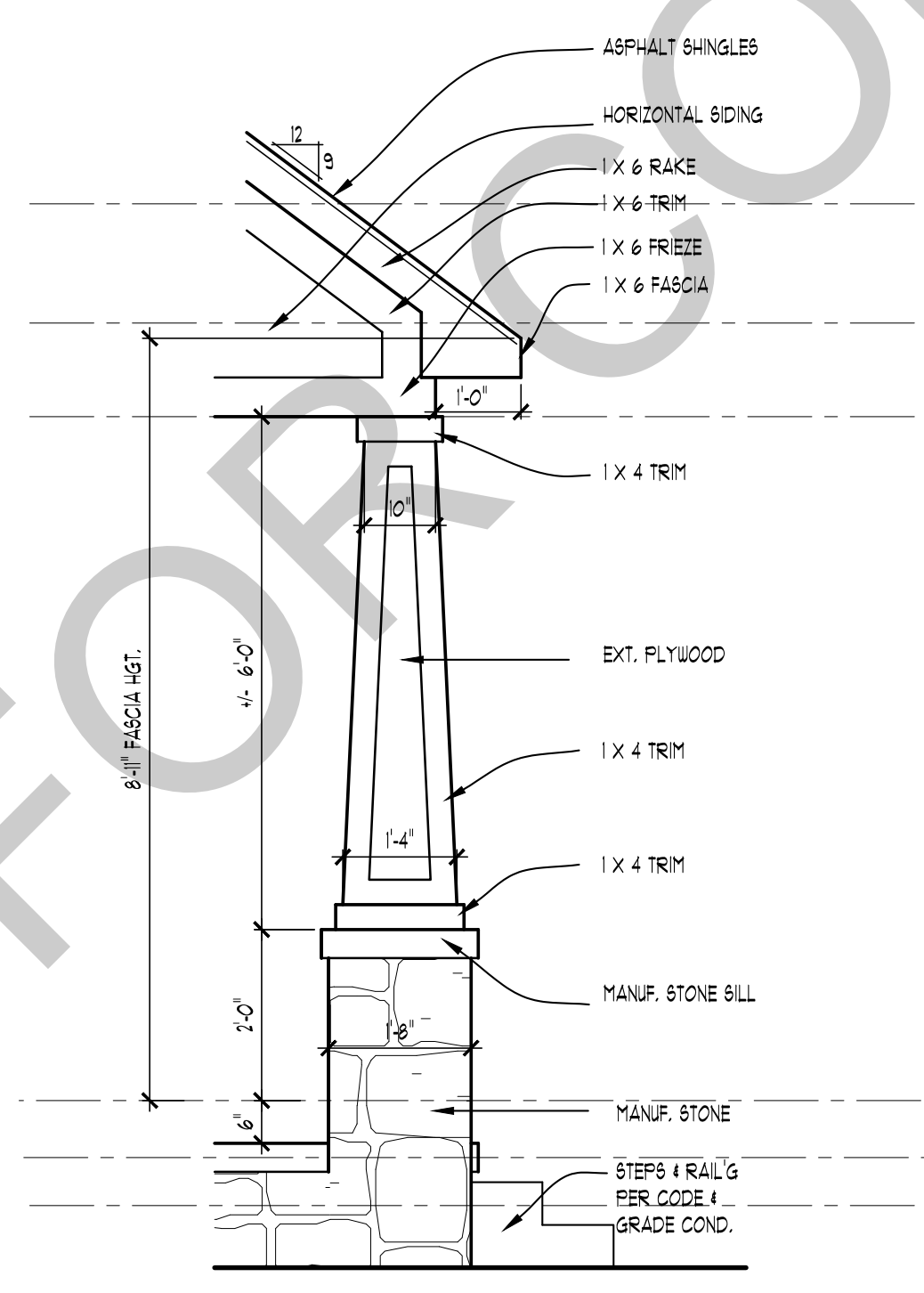
- ELEVATION NOTES**
- ALL ROOF SADDLES TO BE O.S.B. SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
 - PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS
 - FIREPLACE FLUE TO BE DETERMINED PER MANUFACTURER'S SPECIFICATION
 - METAL FLASHING AS REQUIRED BY CODE.
 - ROOF & SOFFIT VENTS AS REQUIRED BY CODE.
 - PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.
 - CARPENTER TO VERIFY THICKNESS OF MASONRY PRIOR TO BUILDING BRICK RACK

NOTE:
OVERHANG DIMENSIONS (O.H.) ARE FROM SHEATHING U.N.O.

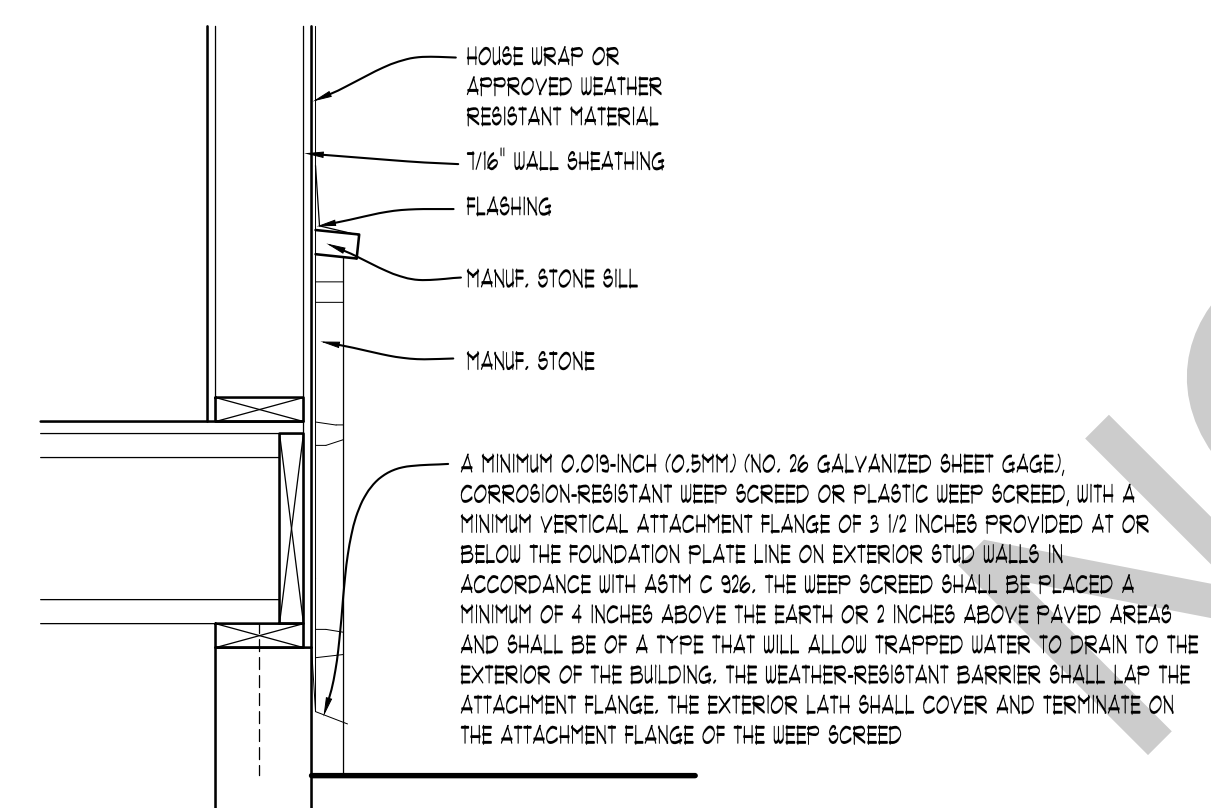
NOTE:
ALL WINDOW SILLS OVER 6'-0" ABOVE EXTERIOR GRADE OR SURFACE BELOW TO BE MINIMUM 24" ABOVE FINISHED FLOOR OR HAVE SASH LIMITERS PER CODE REQUIREMENTS



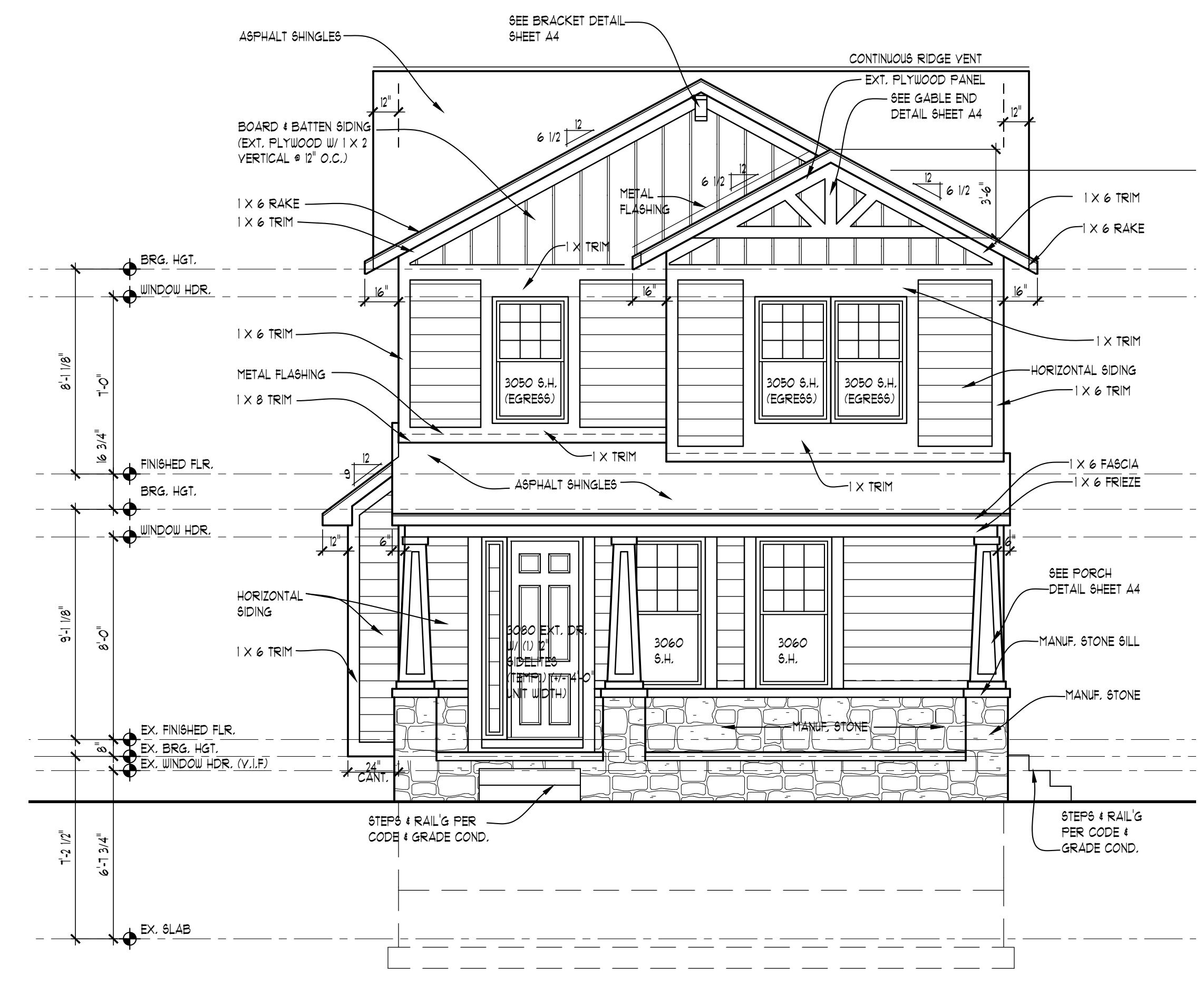
BRACKET DETAIL
SCALE: 1/2" = 1'-0"



PORCH DETAIL
SCALE: 1/2" = 1'-0"



MANUFACTURED STONE DETAIL
SCALE: 1" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



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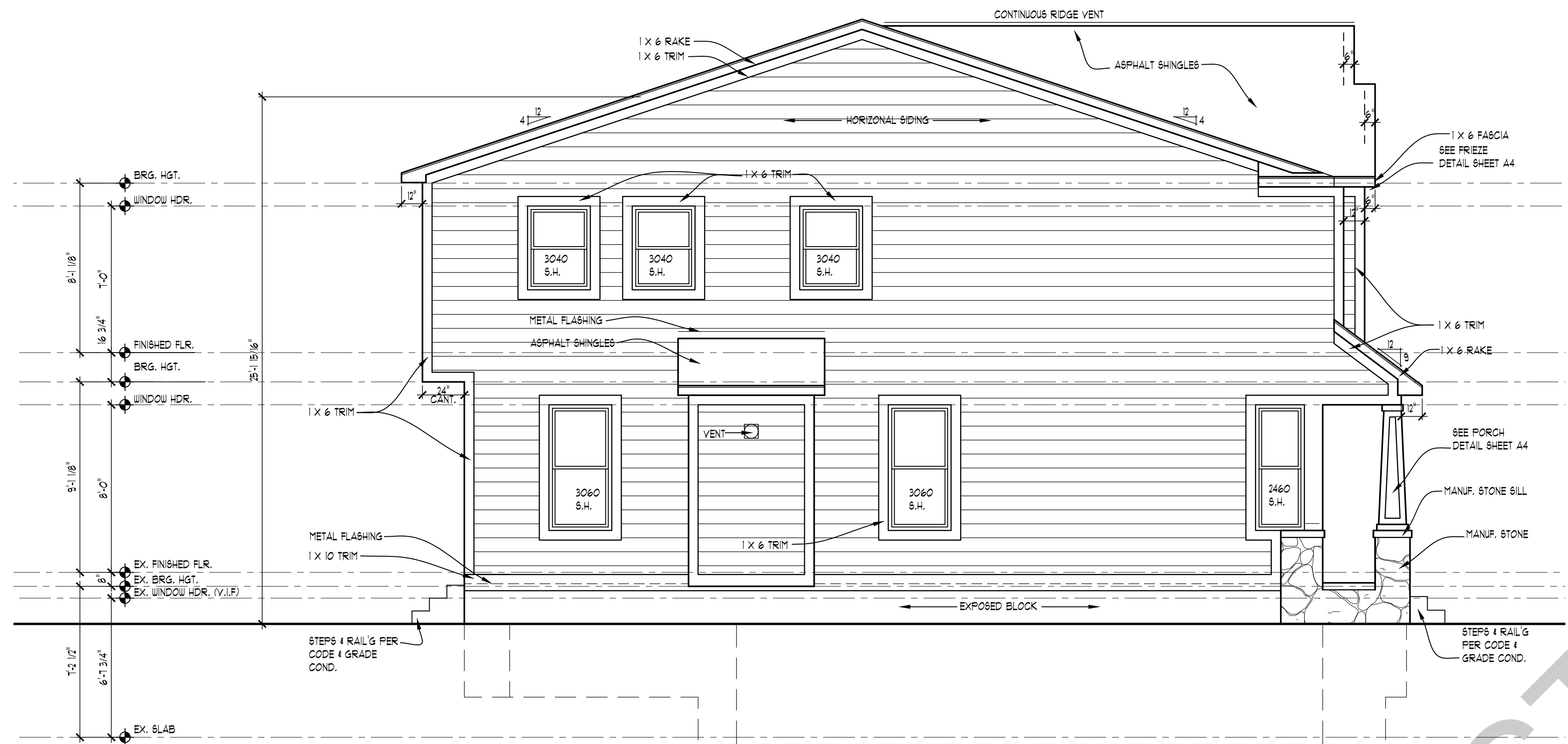
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SCALE. USED TO AT 08:48:57:33 DATE PRIOR TO ANY EXCAVATION
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CLIENT / PROJECT
EVERGREEN
DEVELOPMENT
MERCIECA-LACHOWICZ
RESIDENCE
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PLYMOUTH, MI

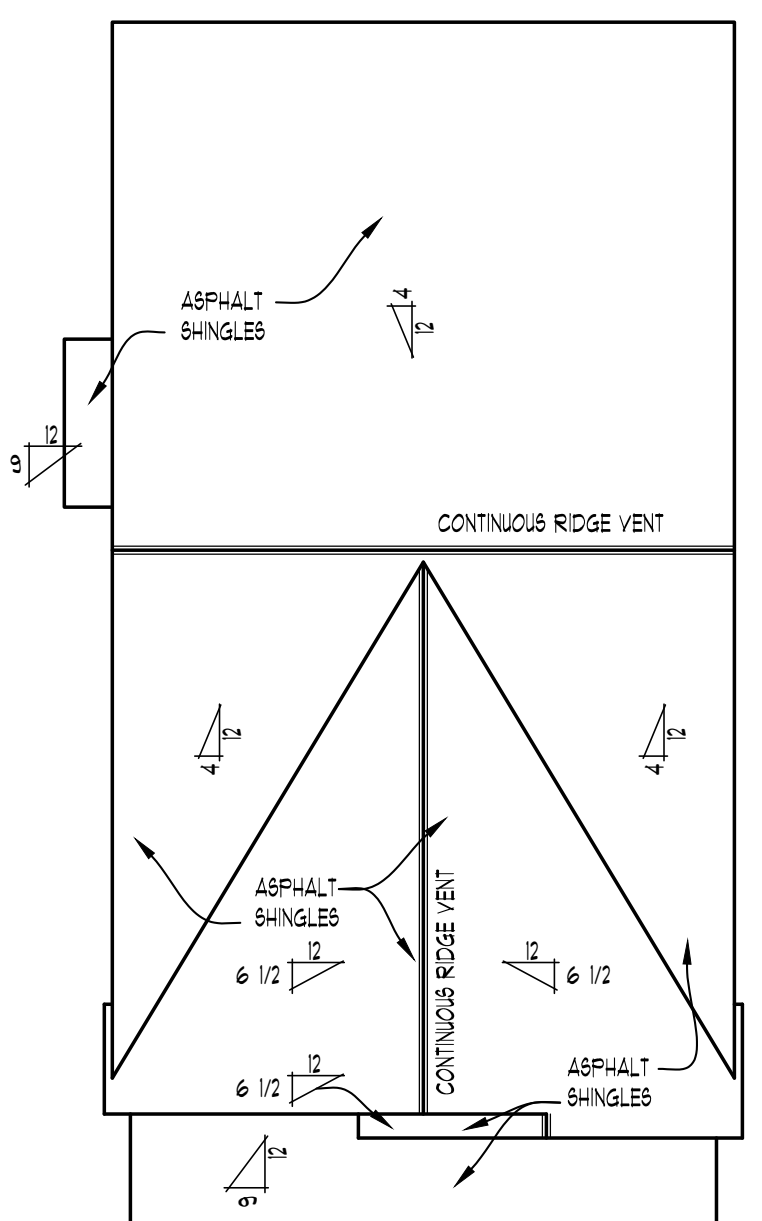
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A4

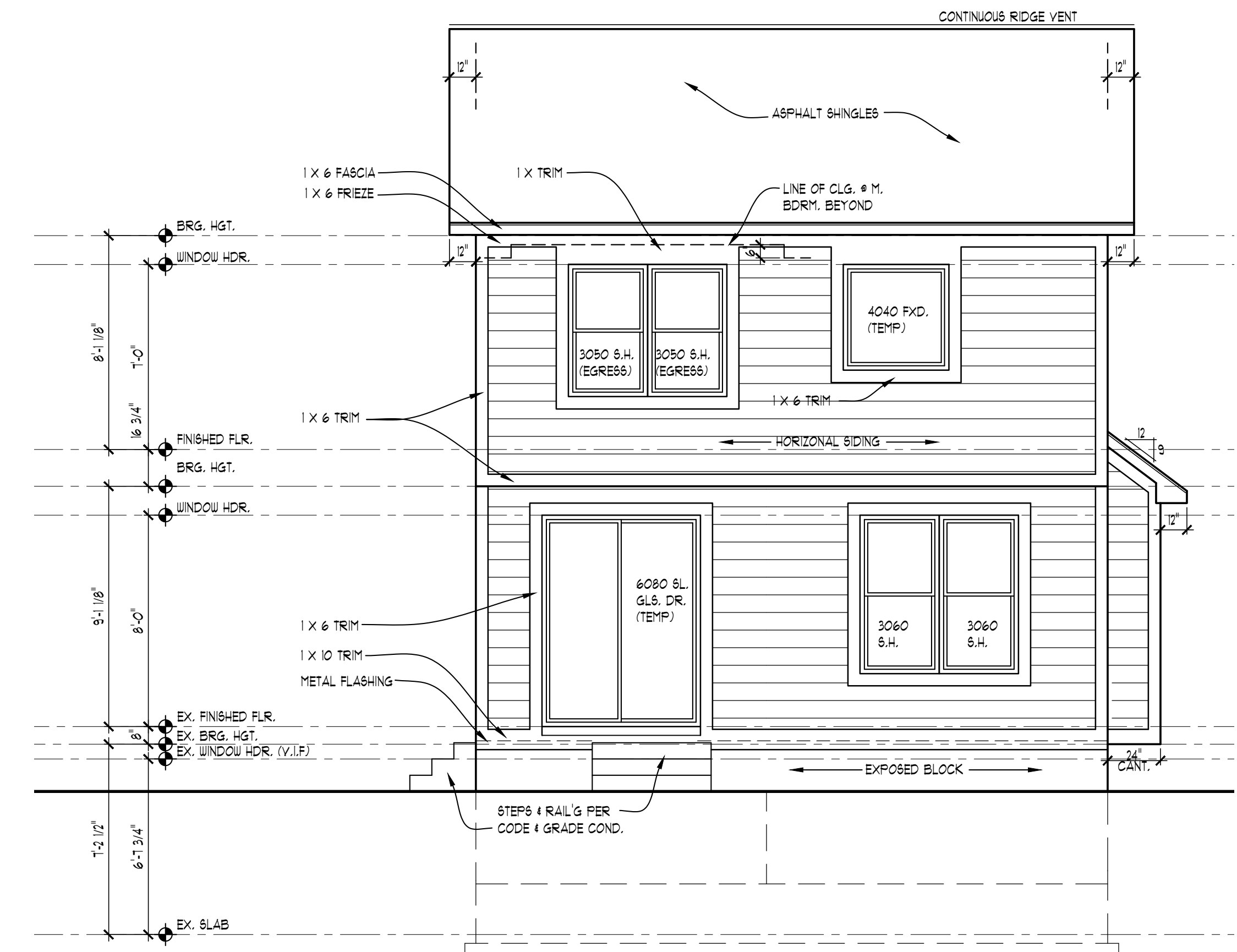


LEFT ELEVATION
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"

ATTIC VENTILATION CALCULATIONS:
 AREA OF ATTIC OVER HEATED SPACE = 1066 SQ. FT.
 (26'6" / 50' x 11' (SQ. FT. REQ'D))
 1" x 144" = 1023" (EQ. INCH CONVERSION)
 RIDGE VENTING:
 (1023" x 0.25 = 256" (80" INCHES REQ'D))
 46" / 18" = 2.56" (LINEAR FT. OF RIDGE VENT REQ'D)
 EAVE OR CORNICE VENTING:
 (1023" x 0.35 = 358" (80" INCHES REQ'D))



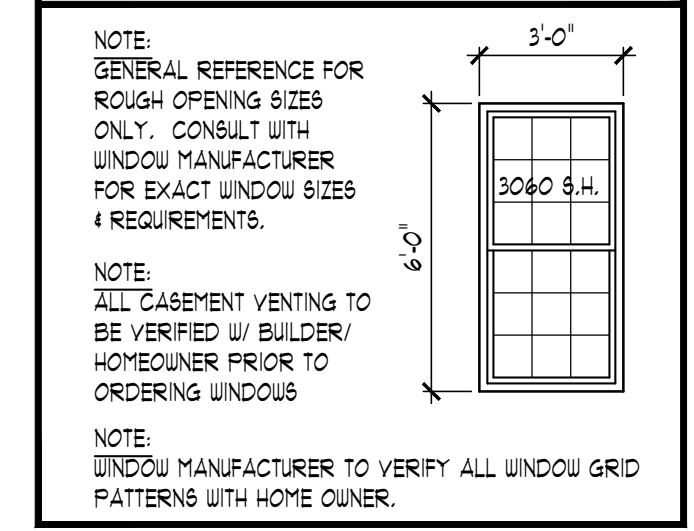
REAR ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

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NOTE:
OVERHANG DIMENSIONS (O.H.) ARE FROM SHEATHING U.N.O.

TYPICAL WINDOW DESIGNATION



NOTE:
ALL WINDOW SILLS OVER 6'-0" ABOVE EXTERIOR GRADE OR SURFACE BELOW TO BE MINIMUM 24" ABOVE FINISHED FLOOR OR HAVE SASH LIMITERS PER CODE REQUIREMENTS

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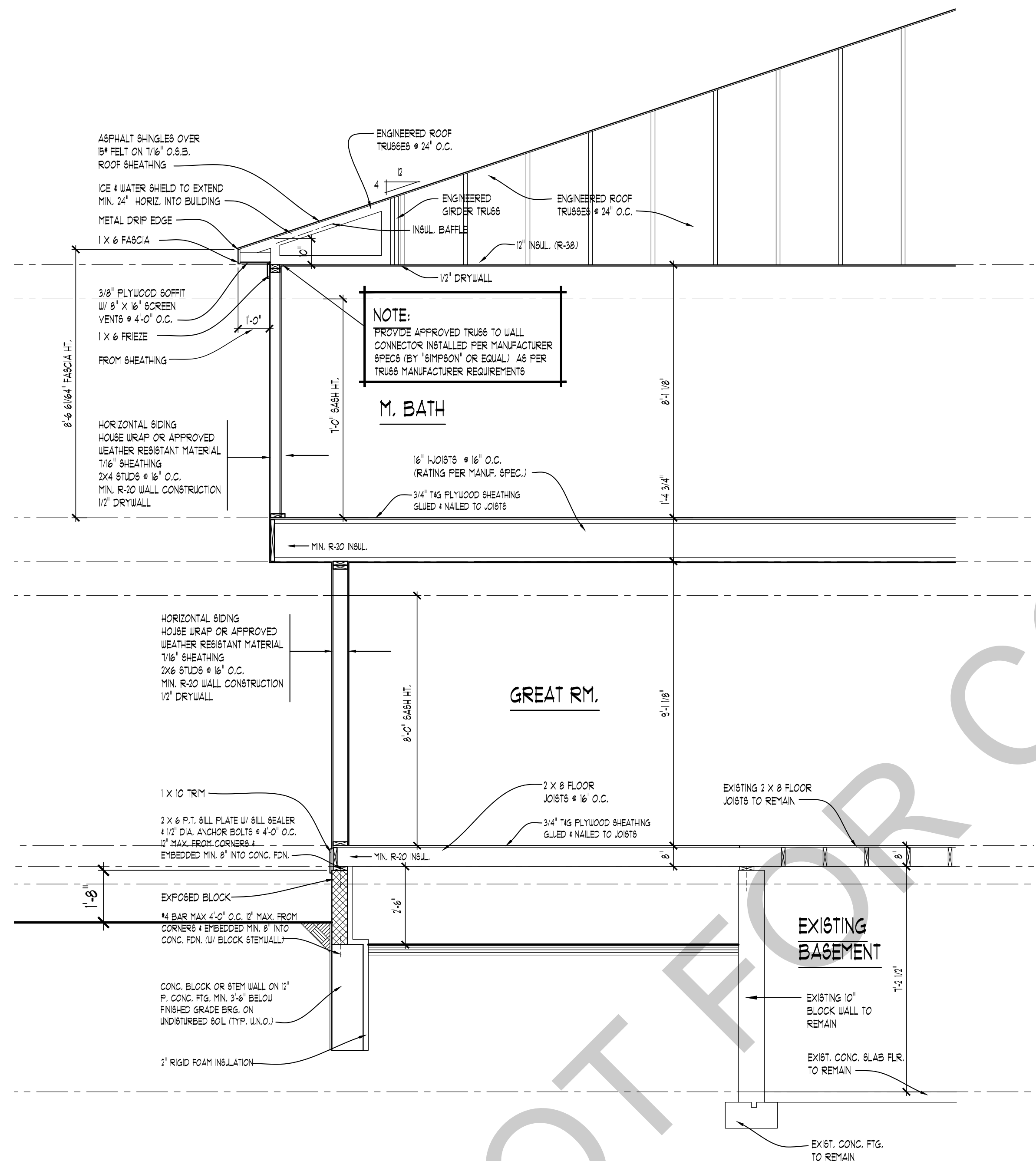
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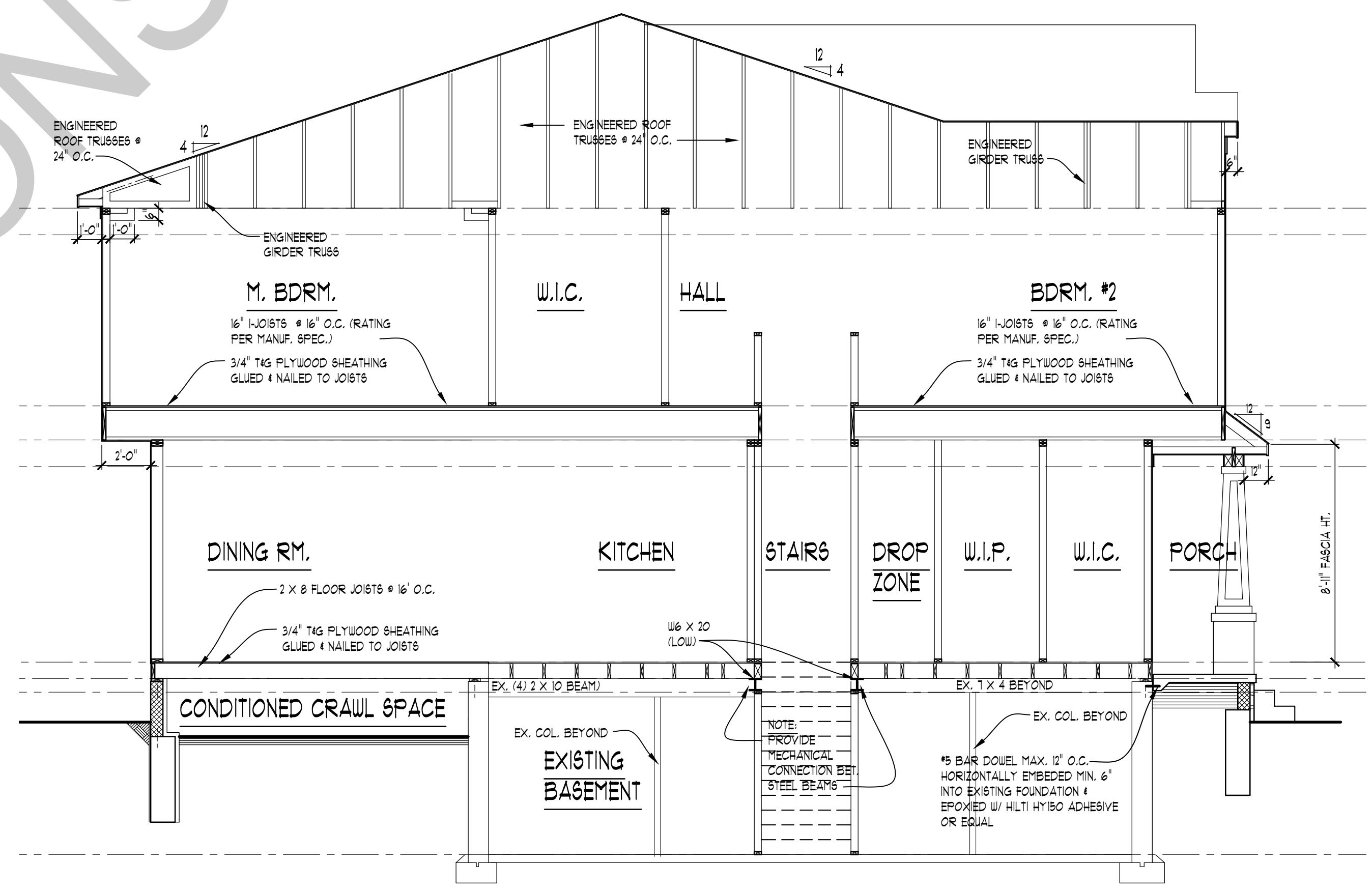
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SCALE:
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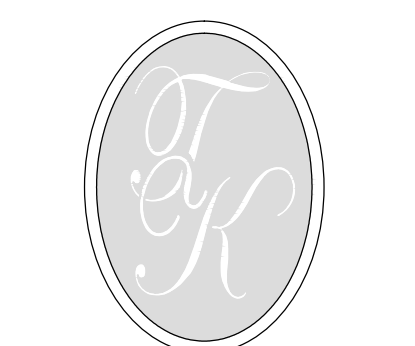
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A5



WALL SECTION
SCALE: 3/8" = 1'-0"
A
A6



BUILDING SECTION
SCALE: 1/4" = 1'-0"
B
A6



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A6