



City of Plymouth Planning Commission

Regular Meeting Agenda

Wednesday, January 12, 2022 – 7:00 p.m.
Plymouth City Hall & Online Zoom Webinar

City of Plymouth
201 S. Main
Plymouth, Michigan 48170

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/84857641819>

Webinar ID: 848 5764 1819

Passcode: 296754

Statement of explanation of the reason why the public body is meeting electronically: On March 10, 2020, the Governor of the State of Michigan declared a State of Emergency across the State of Michigan under section 1 of Article 5 of the Michigan Constitution of 1963, the Emergency Management Act, 1976 PA 390, as amended, MCL 30.401 – 421, and the Emergency Powers of the Governor Act of 1945, 1945 PA 302, as amended, MCL10.31 – 33. These sections provide the governor with broad powers and duties to cope with dangers to this state or to the people of the state.

As a part of the response to the emergency, the Governor has deemed it reasonable and necessary to temporarily suspend rules and procedures relating to physical presence at meetings and hearings of public bodies and other governmental entities in Michigan. These public bodies and entities must continue to conduct public business during this emergency. Due to the emergency situation and the request of the Governor to not gather in groups of 10 or more it is necessary for some public boards to meet electronically.

1. **CALL TO ORDER**
 - a) Roll Call
2. **CITIZENS COMMENTS**
3. **APPROVAL OF THE MINUTES**
 - a) Approval of the December 8, 2021, regular meeting minutes
4. **APPROVAL OF THE AGENDA**
5. **ELECTION OF OFFICERS**
6. **COMMISSION COMMENTS**
7. **PUBLIC HEARINGS**
8. **OLD BUSINESS**
9. **NEW BUSINESS**
 - a) 2021 Annual Report
10. **REPORTS AND CORRESPONDENCE**
11. **ADJOURNMENT**

Citizen Comments - This section of the agenda allows up to 3 minutes to present information or raise issues regarding items not on the agenda. Upon arising to address the Commission, speakers should first identify themselves by clearly stating their name and address. Comments must be limited to the subject of the item.

Persons with disabilities needing assistance with this should contact the City Clerk's office at 734-453-1234 x 234 Monday through Friday from 8:00 a.m. -4:30 p.m., at least 24 hours prior to the meeting. An attempt will be made to make reasonable accommodations.

GOAL I - QUALITY OF LIFE
<p>OBJECTIVES</p> <ul style="list-style-type: none"> Support the neighborhoods with high-quality customer service Engage in collaboration with private entities and surrounding municipalities to implement the Joint Recreation Master Plan Improve communication with the public across multiple platforms Maintain a high level of cleanliness throughout the City Support and host a diverse variety of events that foster community and placemaking

ONE-YEAR TASKS 2021

- Restore sports and recreational programs that were halted by COVID-19 as soon as possible
- Review and evaluate the special event policy with safety considerations
- Address challenges with the Kellogg Park improvements with safety considerations
- Move Kellogg Park Fountain project forward
- Continue to re-engage service clubs to help enhance parks and public properties
- Increase followers by 2,000 on all our communications platforms
- Develop an internal and external communications plan
- Upgrade City Hall facilities to accommodate remote meetings and remote participation
- Continue investigating multi-modal transportation opportunities
- Revisit noise ordinance

GOAL II - FINANCIAL STABILITY
<p>OBJECTIVES</p> <ul style="list-style-type: none"> Approve balanced budgets that maintain fiscal responsibility Advocate for increased revenue sharing with the State of Michigan Encourage and engage in partnerships, both public and private, to share costs of services and equipment Address the issue of legacy costs Seek out and implement efficient and effective inter-departmental collaboration Market our successes to attract new economic and investment opportunities

ONE-YEAR TASKS 2021

- Identify mechanisms for funding sources for capital improvement projects
- Increase funding to the Public Improvement Fund
- Create a potential package for financing emergency structural repairs
- Develop a comprehensive asset management plan that includes a review of the equipment fleet
- Search out other possible revenue streams through continued association with the CWW and the MML
- Develop a financial plan for public safety
- Continue to make extra payments towards legacy costs
- Monitor outside influences on our revenue sources, including unfunded mandates, the 35th District Court and the PCCS
- Negotiate three labor contracts

GOAL III - ECONOMIC VITALITY
<p>OBJECTIVES</p> <ul style="list-style-type: none"> Continue to support and improve active, vibrant downtown branding Support community and economic development projects and initiatives Support a mix of industrial, commercial and residential development Reference the Master Plan in economic decision-making

ONE-YEAR TASKS 2021

- Complete Saxton's development
- Develop municipal parking lot at Saxton's site
- Support development of 23 parcels adjacent to the Starkweather School property
- Continue to administer the grant and the brownfield plan to support the Pulte project's completion
- Finish Redevelopment Ready Community (RRC) certification by the end of 2021
- Develop an annual training calendar for the Planning Commission, the Historic District Commission, the Zoning Board of Appeals and the DDA, and identify a funding source
- Implement temporary plans to assist businesses in recovery efforts

GOAL IV - SERVICE AND INFRASTRUCTURE
<p>OBJECTIVES</p> <ul style="list-style-type: none"> Support administration and staff by providing professional development opportunities, supplying resources, and maintaining a commitment to recruitment, retention, succession planning Support and deliver safe and responsive emergency services Maintain a sophisticated and responsive technology to communicate and manage data Continually record, maintain, update, and improve City infrastructure

ONE-YEAR TASKS 2021

- Explore enhanced pedestrian safety opportunities into targeted intersections
- Research funding opportunities for ADA compliance at the PCC
- Implement 2021 infrastructure program
- Continue training for future career development and succession planning
- Conduct a traffic study to determine whether to make additional streets one way
- Update mapping resources including parcel data, completing 50% by the end of the year
- Update/replace current technology to ensure compliance with new regulations, rules, and operating systems
- Revisit paid parking

1. Focus on education by scheduling four educational, working sessions on the following dates: February 24, March 24, October 27, and November 17.
2. Draft a Form Based Code test case.
3. Approve a mixed use, high density zoning ordinance.
4. Review existing ordinances for amendments related to residential building heights and habitable space within accessory buildings.



Plymouth Planning Commission

Regular Meeting Minutes

Wednesday, December 8, 2021 - 7:00 p.m.

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

Online Zoom Meeting

1. CALL TO ORDER

Chair Karen Sisolak called the meeting to order at 7:00 p.m.

Present: Chair Sisolak, Commissioners Shannon Adams, Joe Hawthorne, Tim Joy, Scott Silvers and Eric Stalter

Also present: Assistant Community Development Director Greta Bolhuis and Planning Consultant Sally Elmiger.

2. CITIZENS COMMENTS

Ellen Elliott, 404 Irvin, thanked commission members for their service.

3. APPROVAL OF MEETING MINUTES

a. November 10, 2021 Meeting

Joy offered a motion, seconded by Hawthorne, to approve the minutes for the November 10, 2021 meeting.

There was a roll call vote.

Yes: Adams, Hawthorne, Joy, Silvers, Sisolak, Stalter

MOTION PASSED 6-0

4. APPROVAL OF THE AGENDA

Hawthorne offered a motion, seconded by Joy, to approve the agenda for December 8, 2021.

There was a roll call vote.

Yes: Adams, Hawthorne, Joy, Silvers, Sisolak, Stalter

MOTION PASSED 6-0

5. COMMISSION COMMENTS

Hawthorne complimented the staff on a great Santa parade.

6. PUBLIC HEARINGS

There were no public hearings

7. OLD BUSINESS

a. SP21-05: 1490 W. Ann Arbor Rd.: Scooter's Coffee, Revised Special Land Use and Site Plan Review

Elmiger said she reviewed the updated proposal and noted that it now has a walk-up window, a bench, and bike racks. She also noted concerns, including the request to install a wood fence instead of a masonry wall. Applicant Kimberly Williford described the changes in the plan.

Citizen Comments

Ellen Elliott, 404 Irvin, said she had concerns about traffic volumes. The applicant pointed out a thorough traffic study included in the application.

Commission Discussion

The group discussed fence materials, signage, the dumpster enclosure, and the impact of an easement abutting the property.

Silvers offered a motion, seconded by Adams, for SP21-05 special land use and site plan approval. This motion includes by reference, the Carlisle Wortman recommendations, and it also includes by reference the information and documentation provided by the applicant which also supports the Carlisle Wortman recommendations.

Conditions

1. The dumpster enclosure exterior is to match the brick veneer of the masonry screen wall
2. The signage shown on the plan submitted is acceptable – the two signs on the east and west face - due to the finding of fact of the unique function and configuration of the building.
3. The wood screen wall is acceptable, provided any future screen wall remains wood.
4. The termination on the north portion of the screen wall aligns with the decorative fence on the west property line approximately six feet clear of the sidewalk.
5. To introduce a verge along Ann Arbor Rd.

Friendly Amendments

Sisolak asked that the motion include they are allowing the wood screen wall due to the finding of fact that the DTE easement requires full access to that portion of the wall.

Silvers agreed to the friendly amendment.

Stalter asked for a friendly amendment stating the verge only extends to the end of the ingress island and doesn't need to extend from the ingress drive to the east property line.

Silvers agreed to this friendly amendment.

Sisolak asked for a friendly amendment to add that the documents received will be administratively approved.

Silvers agreed to this friendly amendment.

There was a roll call vote.

Yes: Adams, Hawthorne, Joy, Silvers, Sisolak, Stalter
MOTION PASSED 6-0

8. NEW BUSINESS

SP21-08: 885 Fralick: Westborn Market, Site Plan Review for Parking Lot Expansion/Reconfiguration, Sidewalk and Landscaping

Elmiger reviewed her report on the plan. She noted that 870 and 860 Penniman need to be formally combined.

Applicants Bryan Bandyk and Dan LeClair described the proposal and stated that the parcels had not yet been combined but they would apply to do so in the near future.

Citizen Comments

Ellen Elliott, 404 Irvin, asked whether the owners had plans to discourage exiting the lot on Penniman and encourage patrons to exit on Fralick.

Sisolak read a letter from Beverly Butler, 959 Dewey, stating her objection to two-way traffic in the lot.

Commissioner Comments

The group discussed the project, including traffic patterns and ADA requirements for the lot, as well as the landscaping island, reduced driveway width, and the sidewalk on Fralick.

Silvers offered a motion, seconded by Joy, to table SP21-08 for site plan approval until a meeting in the future where the applicant has incorporated the items discussed in a revised site plan for submittal.

There was a roll call vote.

Yes: Adams, Hawthorne, Joy, Silvers, Sisolak, Stalter
MOTION PASSED 6-0

9. REPORTS AND CORRESPONDENCE

Bolhuis said that as it now stands, meetings will be in person beginning in January.

Sisolak said Bolhuis was working on the annual report.

Silvers asked when the 2018 master plan would need to be reviewed. Sisolak replied they would need to review it by the end of 2023 but changing it would not be required.

Sisolak said part of the Redevelopment Ready Communities designation includes matching funds to help evaluate the zoning ordinance.

10. ADJOURNMENT

Joy offered a motion, seconded by Sisolak, to adjourn the meeting at 9:11 p.m.

There was a roll call vote.

Yes: Adams, Hawthorne, Joy, Silvers, Sisolak, Stalter
MOTION PASSED 6-0



December 2, 2021

City of Plymouth
Community Development Department
Attn: John Buzuvis
201 South Main Street
Plymouth, MI 48170

Re: 1490 W. Ann Arbor Road
Special Land Use and Site Plan Approval Response

To whom it may concern:

The following revisions and supplemental information are provided per the review letter dated November 30, 2021 sent by Sally Elmiger with Carlisle/Wortman.

1. Site lighting, photometric plan and light fixture details are revised per the plan review comments. Refer to enclosed drawings E0.01, E0.02, E0.02A and E2.01.
2. An alternate building elevation plan is enclosed showing a lighter color brick. Refer to enclosed drawing A3.0. Elevations are revised to only show two wall signs.
3. The approximate number of weekend visitors as compared to the weekday visits was requested. The 7:00 am to 9:00 am peak period on Saturday is about 42% lower than the weekday average. On Sunday, the visits are about 47% lower than weekday.
4. The review letter from the Wayne County DPS review consultant is enclosed. The geometric driveway geometric from this review letter were incorporated with the drawings submitted for Special Land Use on November 11, 2021.
5. Review comments from MDOT are enclosed. Drawings were resubmitted to MDOT on December 1, 2021. The enclosed site layout plan, C2.01 reflects these revisions.
6. A refrigerated box truck will be used for deliveries. A turning simulation illustrating this vehicle maneuvering and parking is shown on drawing C2.01.
7. Sidewalk ramps were detailed on the previously submitted grading plan, drawing C3.01. A note is added on drawing C2.01 to clarify that a sidewalk ramp will be installed on the sidewalk from Ann Arbor Road.
8. The roof-mounted equipment is illustrated on the building elevations, showing how the parapet will screen the equipment. Refer to drawing A3.0.
9. The typo on L2.01 regarding the railing thickness on detail 8 was corrected.
10. The shrub planting detail on L2.01 was modified to have 4 inches of mulch.
11. A tree protection fence detail is added to sheet L2.01. Added tree protection fence on sheet C1.01 adjacent for the tree in the Sheldon Road right-of-way.
12. A detail of the directional signage is enclosed.

Sincerely,

Joshua Manion, PE

jpm
P:\91880004\01 ADMIN\A2 CORRESPONDENCE\2021 12 02 SLU Response Letter.docx

November 15, 2021

Bryan Bender
Fortis Net Lease
30445 Northwestern Hwy. Suite 275
Farmington Hills, MI, 48334

RE: Scooter's Coffee
Sheldon Road
Plymouth Township
Wayne County DPS Plan Review: R 21-715

On behalf of the Wayne County Department of Public Services, Michael Baker International has received the following comments from Wayne County Traffic Office for the above referenced project and they require the following revisions and additions prior to approval. Enclosed is one set of plan prints on which is shown in red some of corrections and additions as listed below:

Right-of-Way Improvements Requirements

1. The 25 ft. throat width at R.O.W shown on plan Sht. C2.01 is showing face to face of curve. For the proposed curb and gutter section throat width at R.O.W must be 25 ft. (min.) clear travel width for two-way drive approach per Wayne County Permit Standard, D-6. Show and label on the plan. See sht. C2.01
2. The proposed 12.5 ft. outbound radius for drive approach on Sheldon Rd. is acceptable. The proposed inbound radius should be 25 ft. (min.) clear travel width.
3. The proposed traffic maintenance plan for one (1) lane closure on Sheldon Rd. should follow MDOT Maintaining Traffic Typical MO250a.
4. The sight distances shown on sht. C6.00 are acceptable.
5. The proposed drive approach and traffic maintenance plan on Ann Arbor Rd are not in Wayne County Jurisdiction.

The following items below are required in order to complete a stormwater and drain review.

Storm Water Management Plan Requirements

1. Provide a map, CAD file, or shapefile of the exterior boundary of the drainage areas on the site. This will be used to determine if there are changes to the Green Meadows Tile Drain Drainage District or the Plymouth Township No. 2 Drain Drainage District. See page 16 from the *Wayne County Stormwater Standards Manual*.
2. Add Land Use Summary Table to cover sheet. See page 17 from the *Wayne County Stormwater Standards Manual*.

Please revise the plans to reflect the above-mentioned comments and revisions and **resubmit a pdf of the revised plans** for further review.

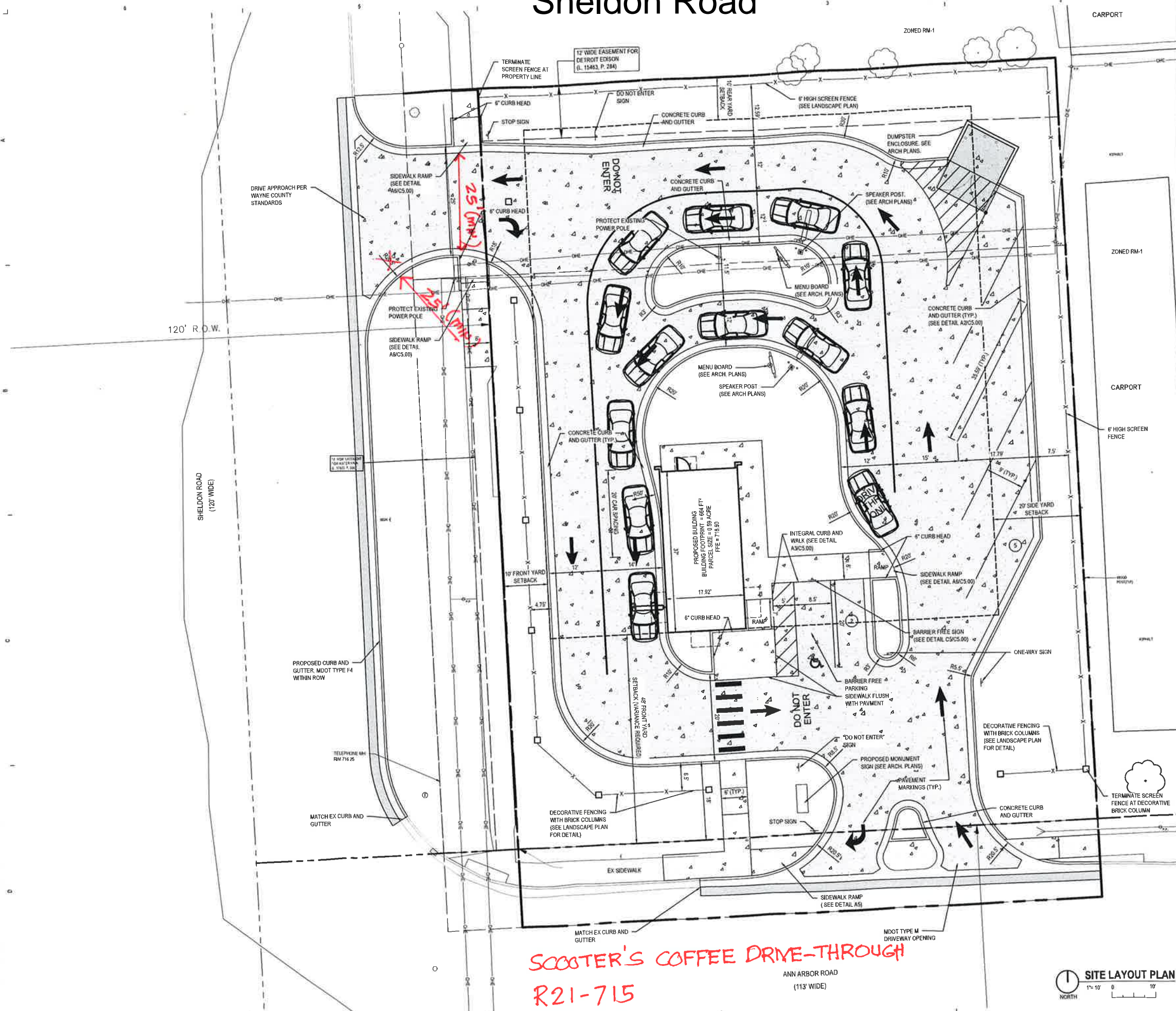
If you have any questions regarding the comments, or any other questions about this project, please contact **Shelby Wojno at 313-203-4413 or shelby.wojno@mbakerintl.com**. To help avoid unnecessary delays, refer to **Plan Review Number: R 21-715** when calling or sending correspondence.

Please note that the Wayne County Department of Public Services and Michael Baker International reserves the right to make revisions to any requirements listed above or shown on the enclosed plan during our review of subsequent detailed engineering plans.

Sincerely,
Michael Baker International

Shelby Wojno
Civil Associate

Sheldon Road



SCOOTER'S COFFEE DRIVE-THROUGH
R21-715
 ANN ARBOR ROAD
 (113' WIDE)

www.CALL811.com

CALL 811 NOTE:
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

GENERAL SITE LAYOUT NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T.) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. CONTACT "MISS DIG" TOLL FREE AT 1-800-482-7171 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
3. NO DIMENSION MAY BE SCALED, REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
4. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
5. CONTRACTOR TO PAINT STRIPE ALL PARKING SPACES SHOWN, PAINT COLOR TO BE YELLOW.
6. UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
7. ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
8. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
9. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
10. ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT OF WAY SHALL MEET CITY OF PLYMOUTH STANDARDS.

GENERAL NOTES

1. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
3. REFER TO SURVEY FOR BENCHMARK INFORMATION.
4. ALL MATERIAL, SPECIFICATIONS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE MUNICIPAL AGENCIES.
5. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
6. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
7. EXISTING TREES TO REMAIN - CONTRACTOR TO PROTECT ROOT SYSTEMS BY MAINTAINING TREE PROTECTION FENCE AT TREE DRIBLINE TO ELIMINATE MATERIAL STORAGE, PARKING OR CONSTRUCTION TRAFFIC WITHIN THE TREE DRIBLINE.

PAVING NOTES

1. PAVEMENT CONSTRUCTION TO BE PERFORMED IN ACCORDANCE TO CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
2. MINIMUM 28 DAY COMPRESSIVE STRENGTH SHALL BE 4,000 PSI FOR ALL EXTERIOR CONCRETE. SLUMP RANGE: 3 INCHES TO 5 INCHES. AIR CONTENT: 5 PERCENT TO 8 PERCENT.
3. PROVIDE SCORED CONCRETE CONTROL JOINTS AT 12 FEET MAXIMUM SPACING.
4. CONCRETE JOINT LAYOUT SHALL FORM SQUARE PANELS. WHERE NOT PRACTICAL, RECTANGULAR PANELS MAY BE USED IF THE LONG DIMENSION IS NO MORE THAN 1.5 TIMES THE SHORT DIMENSION.

PAVEMENT LEGEND

STANDARD CONCRETE PAVEMENT		6" CONCRETE
		12" COMPACTED SUBBASE, CLASS II SAND
HEAVY DUTY CONCRETE PAVEMENT		8" CONCRETE
		12" COMPACTED SUBBASE, CLASS II SAND
CONCRETE SIDEWALK		4" CONCRETE
		4" MDOT CLASS II GRANULAR BASE
		APPROVED COMPACTED SUBBASE
R.O.W. ASPHALT PAVEMENT		1 1/2" HMA WEARING COURSE
		SS-1H TACK COAT @ 0.05 GAL/SY PLACE BETWEEN EACH HMA LIFT
		4 1/2" HMA BASE, LEVELING COURSE
		EXISTING AGGREGATE BASE
		EXISTING SUBBASE

progressive ae

SCOOTER'S COFFEE

NOT FOR CONSTRUCTION

1490 WEST ANN ARBOR RD., PLYMOUTH, MI 48170

ISSUANCE
 COUNTY REVIEW
 10/05/2021

REVISIONS
 NO. DATE DESCRIPTION

FILE NUMBER 9186004
 PROJECT MANAGER
 PROFESSIONAL JPM
 DRAWN BY AQA
 CHECKED BY

SITE LAYOUT PLAN C2.01

10/05/2021 11:22:33 AM
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 c2.01

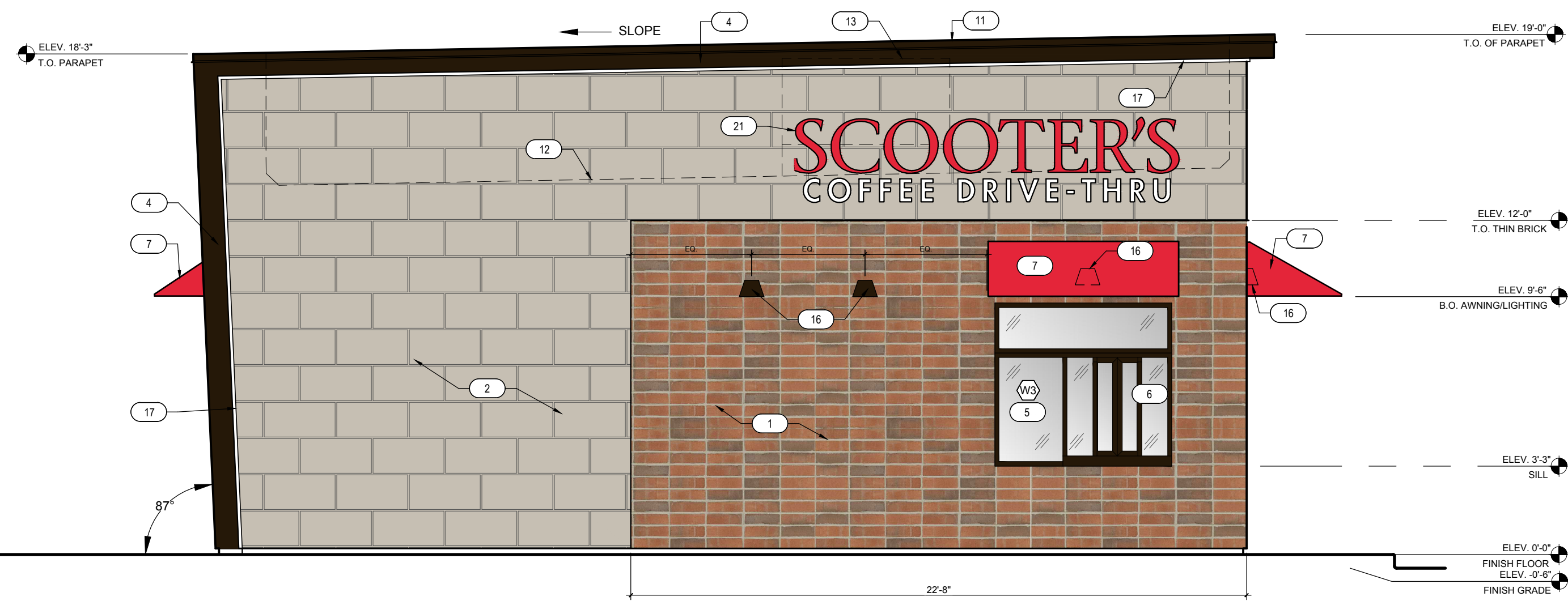
Remarks Summary

Company Name:	Bryan Bendor	Application Type:	Individual Application
Application Status:	Processing	App. Ref. # / Permit #:	80,932
Permit Status:		Author	Internal Remark Indicator
Permit Status:		Date	
	alvin Aquino	N	10/11/2021
Remark:	Attaching Trip generation report to address TIS/TIA remark on 10/08/2021		
	Andrea Jones	N	10/08/2021
Remark:	Per the preliminary comments sent on June 25, 2021, a TIS/TIA needs to be provided to include stacking analysis, etc. Please provide and resubmit for review to begin.		
	Andrea Jones	N	10/19/2021
Remark:	Please see RIRO Driveway document and utilize it for the driveway dimensions.		
	Also, install a No Left Turn (R3-2) sign in the northerly part of the island proposed, facing EB Ann Arbor Rd. traffic, to prevent vehicles from entering the WB LT lane.		
	Please revise plans and resubmit for further review.		
	alvin Aquino	N	12/01/2021
Remark:	Resubmittal of civil plans per 10/19/2021 Remarks		

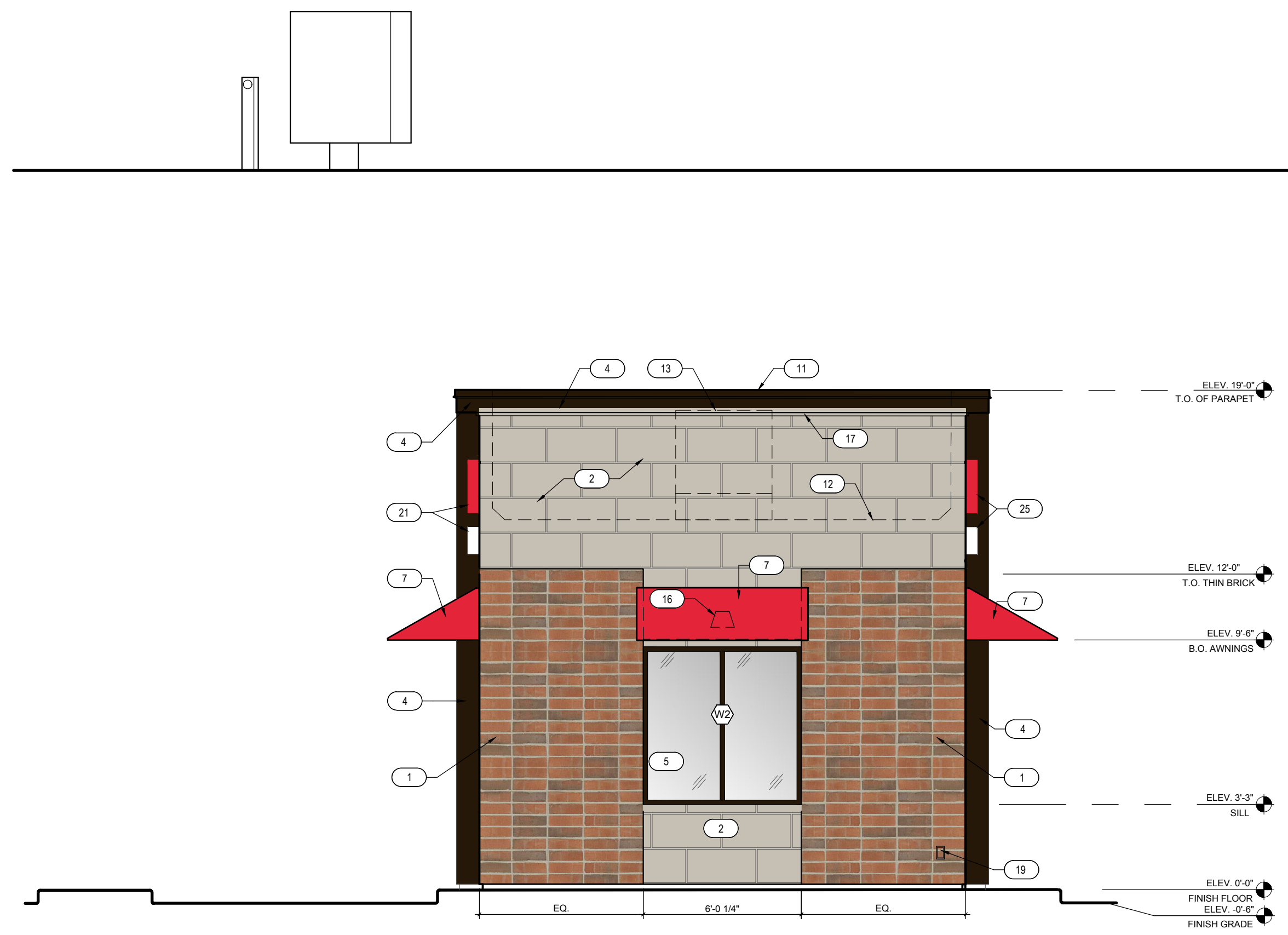
KEYNOTES

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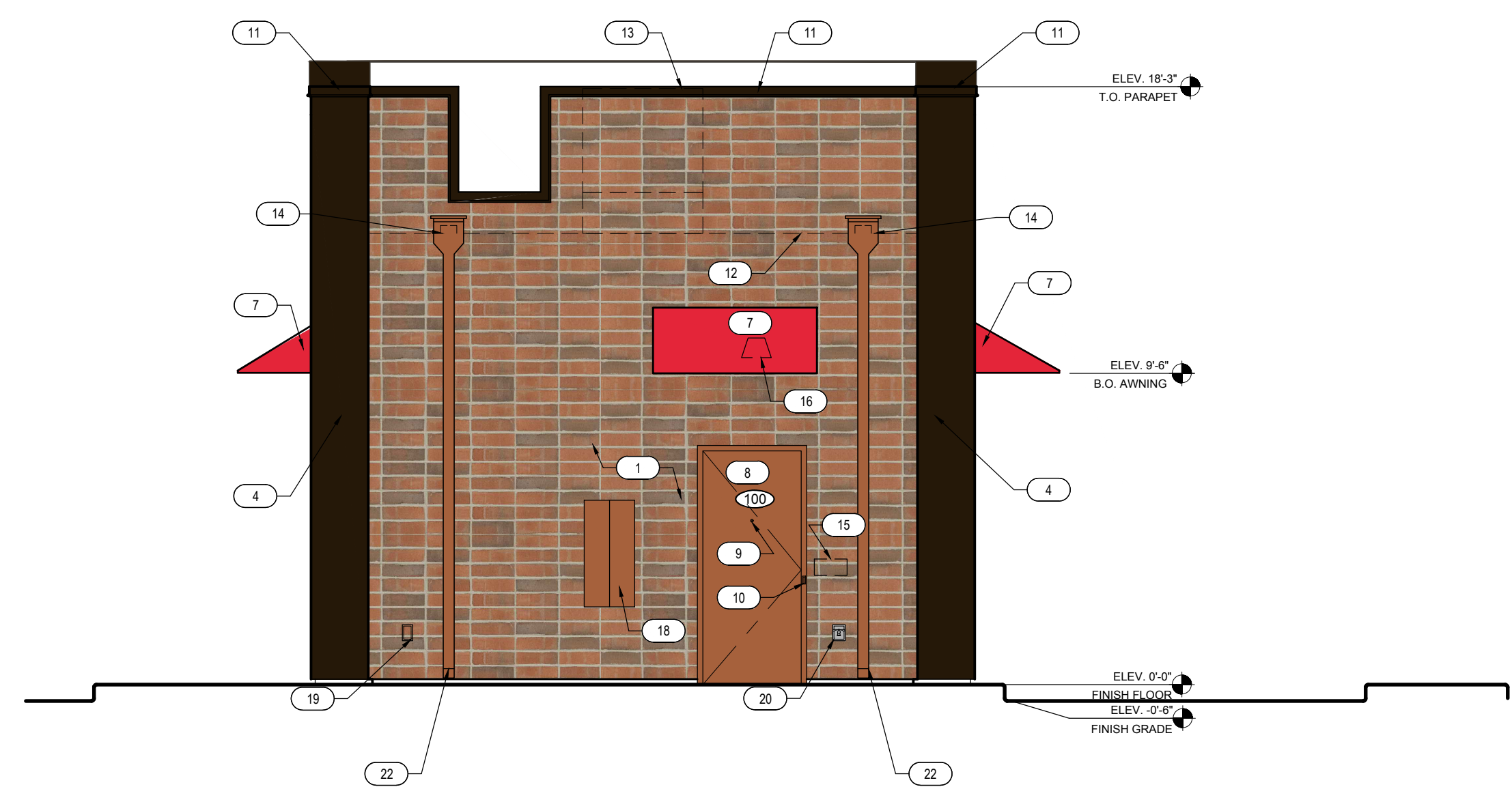
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|---|---|---|
| 1. GLEB-GERY THIN BRICK VENEER, STACKED BOND - COLOR: ROSEWOOD, PAPER CUT | 9. PEEP HOLE, BY DOOR MANUFACTURER | 18. SES PANEL, SEE ELECTRICAL DRAWINGS |
| 2. EL DORADO STONE MARQUEE24 - COLOR: DOVE TAIL | 10. DOOR BELL | 19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS |
| 3. NOT USED | 11. 20 GAUGE METAL PARAPET CAP | 20. HOSE BIBB, SEE PLUMBING DRAWINGS |
| 4. 20 GAUGE METAL ACCENTS AND SOFFITS - COLOR: DARK BRONZE | 12. LINE OF ROOF BEYOND | 21. SIGNAGE BY OTHERS, UNDER A SEPARATE PERMIT |
| 5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS | 13. ROOF TOP UNIT BEYOND, SEE MECHANICAL DRAWINGS | 23. CONNECT DOWNSPOUTS TO UNDERGROUND PIPING, REF. CIVIL. |
| 6. QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE | 14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3 | 24. SERVICE COUNTER BY BI-PARTING WINDOW MANUFACTURER |
| 7. AWNING BY OTHERS - COLOR: RED | 15. MAILBOX BY OWNER | 25. SECONDARY SIGNAGE BY OTHERS, PENDING PLANNING COMMISSION APPROVAL |
| 8. INSULATED HOLLOW METAL DOOR AND FRAME COLOR: SHERWIN WILLIAMS SW6356 COPPER MOUNTAIN EGGSHELL FINISH | 16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS | |
| | 17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS | |



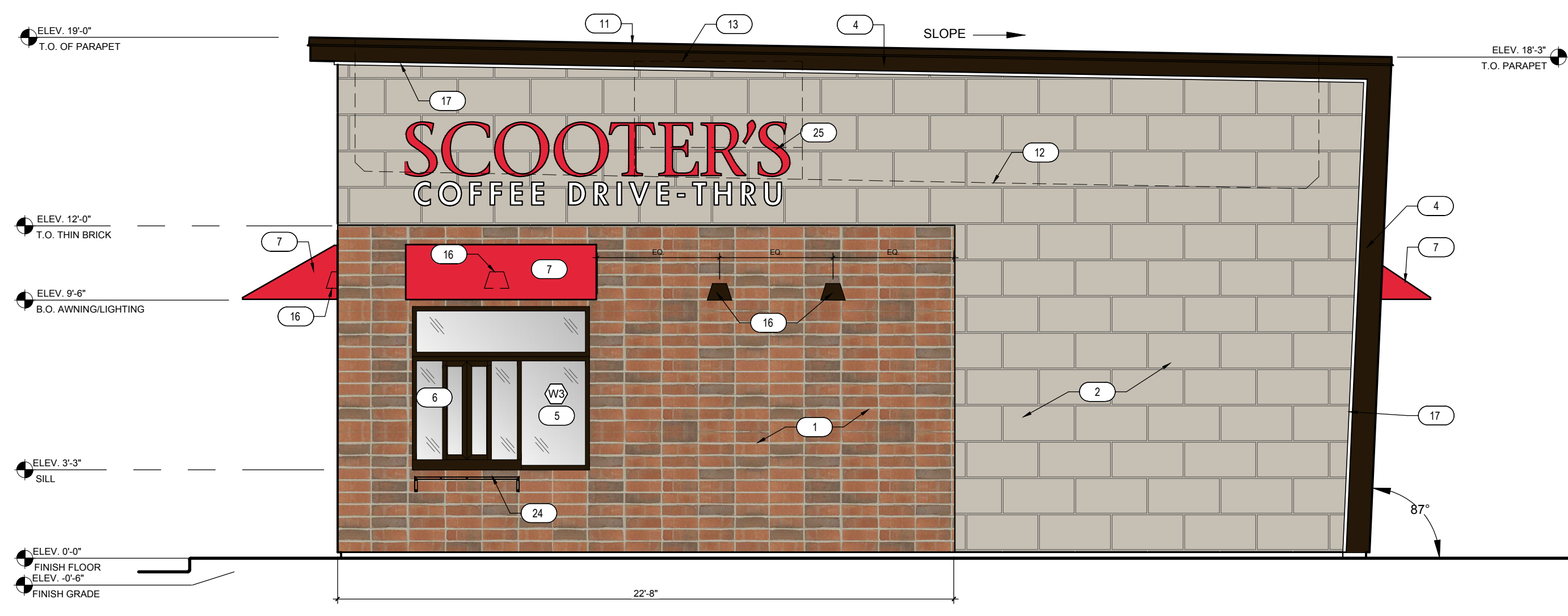
4 EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"

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PROJECT ADDRESS:
1490 WEST ANN
ARBOR ROAD
PLYMOUTH, MI 48170
REVISIONS:

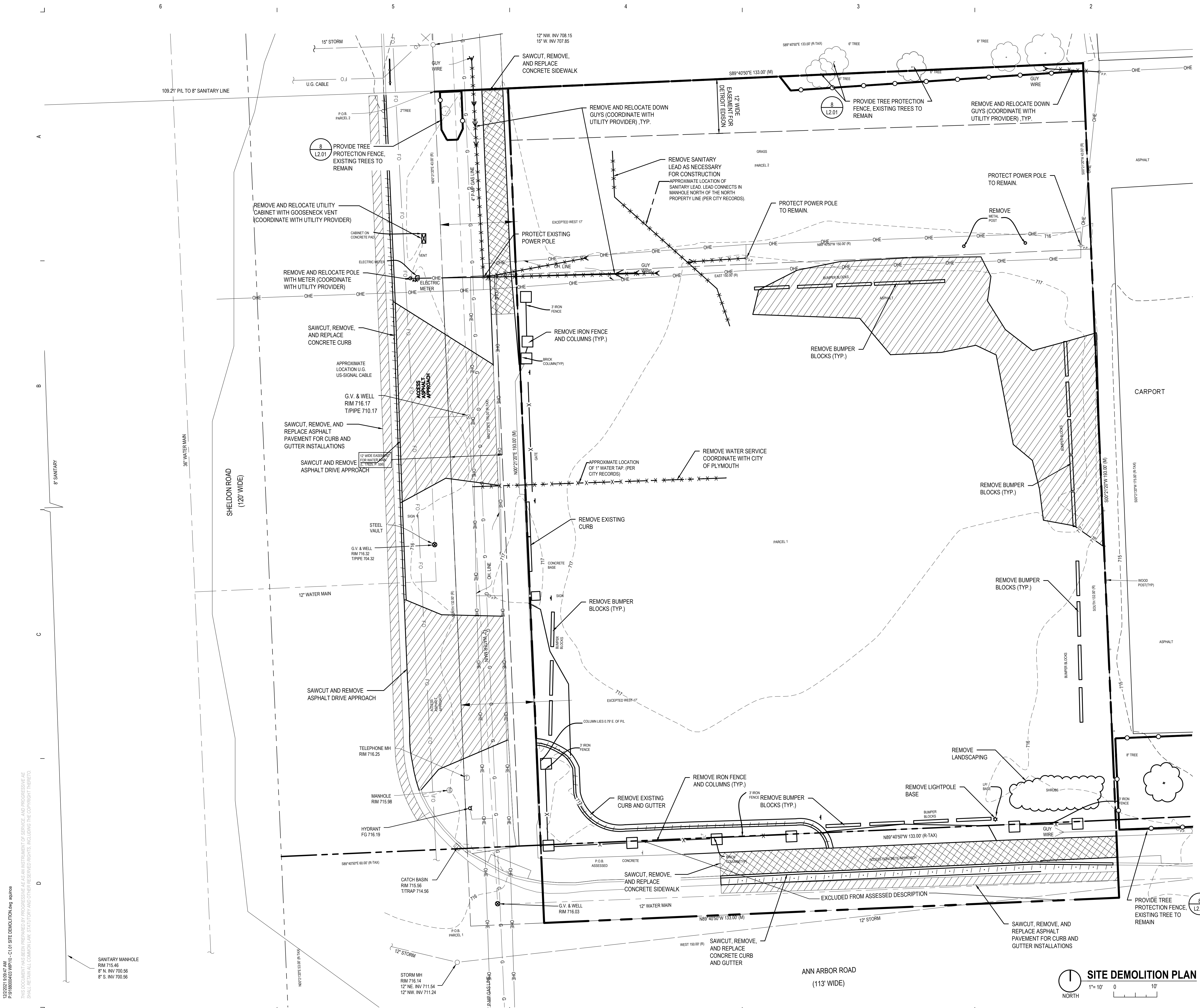
TITLE:
EXTERIOR
COLOR
ELEVATIONS

DATE:
12/02/2021
PROJECT NO.
210536

- DESIGN DEVELOPMENT
- PERMIT SUBMITTAL
- BID PACKAGE
- CONSTRUCTION ISSUE

SHEET NO.

A3.0



CALL 811 NOTE:
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

SITE CLEARING AND DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND BECOMING FAMILIAR WITH THE DEMOLITION AND CLEARING REQUIREMENTS.
2. NO REMOVAL, DEMOLITION, CLEARING OR TOPSOIL REMOVAL SHALL OCCUR ON SITE UNTIL THE SESC AND STORMWATER PERMITS HAVE BEEN ISSUED AND THE CONTRACTOR HAS VERIFIED AND STAKED THE LIMITS OF REMOVAL IN THE FIELD. NOTIFY SITE CONSULTANT OF THE START OF CONSTRUCTION AND DATE WHEN THE LIMITS LINE WILL BE ESTABLISHED FOR REVIEW AND APPROVAL.
3. ALL MATERIALS NOTED TO BE SALVAGED SHALL BE TURNED OVER TO THE OWNER OR REINSTALLED ON SITE AS NOTED.
4. NO BURNING OR BURYING OF CLEARED OR DEMOLITION MATERIAL SHALL BE ALLOWED ON SITE.
5. REMOVE ALL STRUCTURES, FOUNDATIONS, BITUMINOUS PAVEMENT, CONCRETE SIDEWALK STEPS AND OTHER EXISTING SITE FEATURES AS INDICATED ON THE DRAWINGS. ALSO, REMOVE ALL DEBRIS FROM WITHIN CONSTRUCTION LIMITS ON SITE. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE AND, UNLESS OTHERWISE NOTED, DISPOSED OF IN A MANNER ACCEPTABLE TO LOCAL JURISDICTION HAVING AUTHORITY.
6. THE CONTRACTOR SHALL BE LICENSED BY THE STATE OF MICHIGAN FOR DEMOLITION REMOVAL AND HAULING OF MATERIALS.
7. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL PERMITS AND FEES FOR THIS WORK.
8. EXISTING UTILITIES ARE LOCATED TO THE BEST OF OUR KNOWLEDGE. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING EXISTING UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN EXISTING UTILITY SERVICES AT ALL TIMES.
9. ALL EXCESS OR UNSUITABLE TOPSOIL OR SUBSOIL TO BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED OFFSITE.
10. PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. NO PARKING OR STORAGE OF MATERIALS WITHIN TREE ROOT ZONE. PLACE TREE PROTECTION FENCE WHERE SHOWN ON PLAN.
11. TREE PROTECTION FENCE - ORANGE SAFETY FENCE AROUND TREES SUPPORTED BY STEEL T-BAR FENCE POSTS. ZIP TIE FABRIC TO POSTS. INSTALL PRIOR TO ANY CONSTRUCTION ACTIVITY AND MAINTAIN DURING ENTIRE CONSTRUCTION PERIOD.
12. CONTRACTOR TO CALL 811 AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES.
13. CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION.
14. ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN. PATCH PAVEMENT IN-KIND IF REQUIRED.
15. SAWCUT FULL DEPTH ALL EDGES OF PAVEMENT TO BE REMOVED.
16. ALL GROUND AREAS DISTURBED BY CONSTRUCTION TO BE TOPSOILED AND SEED PER THE SITE LANDSCAPE PLAN UNLESS SHOWN OTHERWISE ON PLANS.

DEMOLITION LEGEND

	BITUMINOUS PAVEMENT REMOVAL
	CONCRETE REMOVAL
	TREE REMOVAL
	REMOVE CONCRETE CURB
	REMOVE UTILITY LINE

ALL ITEMS IN BOLD TO BE REMOVED UNLESS OTHERWISE NOTED.

progressive ae
 1811 4 Mile Rd NE, Grand Rapids, MI 49525 (616) 381-2654 www.progressiveae.com

SCOOTER'S COFFEE
 1490 WEST ANN ARBOR RD., PLYMOUTH, MI 48170

NOT FOR CONSTRUCTION

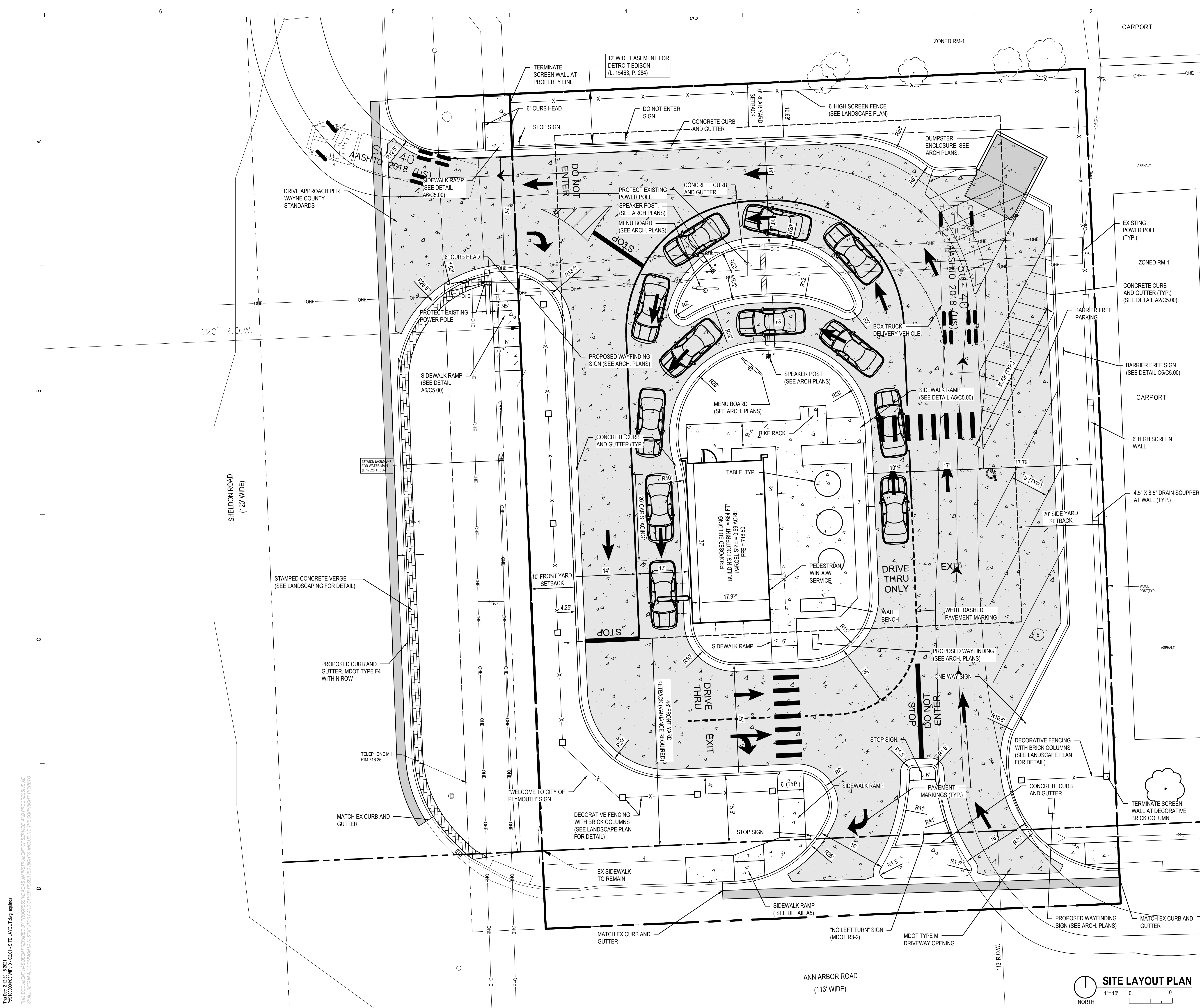
ISSUANCE
 MDOT REVIEW
 12/01/2021

REVISIONS
 NO. DATE DESCRIPTION

FILE NUMBER 91880004
 PROJECT MANAGER
 PROFESSIONAL
 DRAWN BY
 CHECKED BY

SITE DEMOLITION PLAN
C1.01

12/20/21 9:06:47 AM
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CALL 811 NOTE:
 CONTRACTOR TO CONTACT 811 SERVICE AT LEAST 3 WORKING DAYS PRIOR TO CONSTRUCTION, TO CONFIRM LOCATION OF EXISTING UTILITIES. DIAL 811.

GENERAL SITE LAYOUT NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDING TO THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION (M.D.O.T) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- CONTACT "MISS DIG" TOLL FREE AT 1-800-482-7171 THREE (3) DAYS PRIOR TO THE START OF CONSTRUCTION, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS.
- NO DIMENSION MAY BE SCALED. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED AS B-B (BACK TO BACK) OR E-E (EDGE OF METAL TO EDGE OF METAL).
- CONTRACTOR TO PAINT STRIPE ALL PARKING SPACES SHOWN. PAINT COLOR TO BE YELLOW.
- UPON REQUEST, ELECTRONIC INFORMATION WILL BE PROVIDED FOR SITE LAYOUT PURPOSES. CONTRACTOR SHALL REQUEST ALL INFORMATION IN WRITING THROUGH PROGRESSIVE AE. LAYOUT OF ALL NEW CONSTRUCTION SHALL BE DONE BY A LICENSED SURVEYOR.
- ALL CONCRETE JOINTS SHALL BE TOOLED PER SPECIFICATIONS.
- CONTRACTOR MUST RESTORE AND REPAIR ANY EXISTING CONDITIONS DISTURBED BY CONSTRUCTION. THIS IS TO INCLUDE BURIED UTILITIES, LIGHTING, LANDSCAPING, SPRINKLING, ETC.
- ANY AREA DISTURBED BY CONSTRUCTION TO BE RESTORED TO CONDITION EQUAL TO OR BETTER THAN BEFORE CONSTRUCTION BEGAN.
- ALL PAVEMENT, CURB & GUTTER, SIDEWALK AND UTILITIES WITHIN PUBLIC RIGHT OF WAY SHALL MEET CITY OF PLYMOUTH STANDARDS.

GENERAL NOTES

- VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
- REFER TO SURVEY FOR BENCHMARK INFORMATION.
- ALL MATERIAL, SPECIFICATIONS AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH ALL APPLICABLE MUNICIPAL AGENCIES.
- RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
- CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
- EXISTING TREES TO REMAIN - CONTRACTOR TO PROTECT ROOT SYSTEMS BY MAINTAINING TREE PROTECTION FENCE AT TREE DRIPLINE TO ELIMINATE MATERIAL STORAGE, PARKING OR CONSTRUCTION TRAFFIC WITHIN THE TREE DRIPLINE.

PAVING NOTES

- PAVEMENT CONSTRUCTION TO BE PERFORMED IN ACCORDANCE TO CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STATE HIGHWAY ADMINISTRATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
- MINIMUM 28 DAY COMPRESSIVE STRENGTH SHALL BE 4,000 PSI FOR ALL EXTERIOR CONCRETE. SLUMP RANGE: 3 INCHES TO 5 INCHES AIR CONTENT: 5 PERCENT TO 8 PERCENT
- PROVIDE SCORED CONCRETE CONTROL JOINTS AT 12 FEET MAXIMUM SPACING.
- CONCRETE JOINT LAYOUT SHALL FORM SQUARE PANELS. WHERE NOT PRACTICAL, RECTANGULAR PANELS MAY BE USED IF THE LONG DIMENSION IS NO MORE THAN 1.5 TIMES THE SHORT DIMENSION.

PAVEMENT LEGEND

STANDARD CONCRETE PAVEMENT	6" CONCRETE 12" COMPACTED SUBBASE, CLASS II SAND
HEAVY DUTY CONCRETE PAVEMENT	8" CONCRETE 12" COMPACTED SUBBASE, CLASS II SAND
CONCRETE SIDEWALK	4" CONCRETE 4" MDOT CLASS II GRANULAR BASE APPROVED COMPACTED SUBBASE
STAMPED CONCRETE VERGE	6" COLORED CONCRETE WITH BRICK WITH BRICK STAMP PER CITY STANDARD 6" MDOT CL II GRANULAR BASE APPROVED COMPACTED SUBBASE
R.O.W. ASPHALT PAVEMENT	1 1/2" HMA WEARING COURSE SS-1H TACK COAT @ 0.05 GAL/SY PLACE BETWEEN EACH HMA LIFT 4 1/2" HMA BASE. LEVELING COURSE EXISTING AGGREGATE BASE EXISTING SUBBASE

PROGRESSIVE AE

SCOOTER'S COFFEE

NOT FOR CONSTRUCTION

18114 Mile Rd NE, Grand Rapids, MI 49525 (616) 381-2884 www.progressiveae.com

1490 WEST ANN ARBOR RD., PLYMOUTH, MI 48170

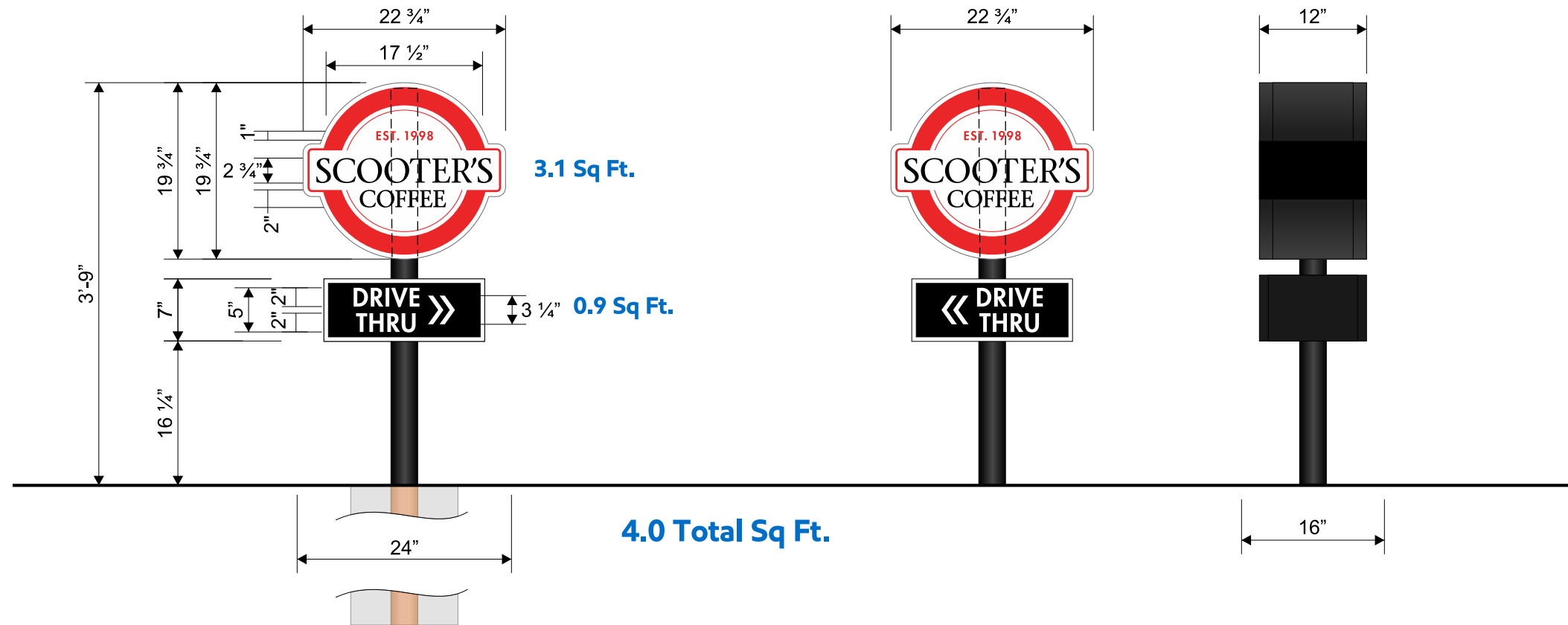
ISSUANCE
MDOT REVIEW 12/01/2021

REVISIONS
NO. DATE DESCRIPTION

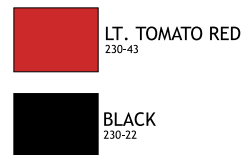
FILE NUMBER 91880004
 PROJECT MANAGER
 PROFESSIONAL JPM
 DRAWN BY AOA
 CHECKED BY

SITE LAYOUT PLAN C2.01

File No. 212018.0001
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3M Series 230
TRANSLUCENT FILM



SCOOTER'S COFFEE DRIVE-THRU	
Directional Sign Display	
INTERIOR FRAME:	1 Inch Angle Iron
CABINET COLOR:	.063 Aluminum Painted Black.
TRIM-CAP:	1 Inch Black.
FACE MATERIAL:	3/16" White Plexiglas
GRAPHICS:	Applied Vinyl Graphics (as noted).
ILLUMINATION:	White Hanley LED's
CABINET IS TO BE MOUNTED IN CUSTOMER SPECIFIED LOCATION USING PROPER HARDWARE AND FASTENERS (NON-CORROSIVE).	

FOOTING DETAIL	
DEPTH:	42 Inches
WIDTH:	12 Inches
TYPE:	AUGURED.
STEEL SIZE:	3 Inch Std.

NOTE: TO BE VERIFIED.



1120 N 18th Street • Omaha 68102
402.341.6077 • 402.341.7654 fax
This design and all material appearing hereon constitute the original unpublished work of Omaha Neon Sign Co., Inc. and may not be duplicated, used or disclosed without written consent.

DRAWING # :
PROJECT ID:

SALES PERSON: andye nelson
DRAWN BY: wes stephens

DATE: 08.06.21

Revised:
DATE: 08.23.21

INSPECTED BY:

NOTICE:

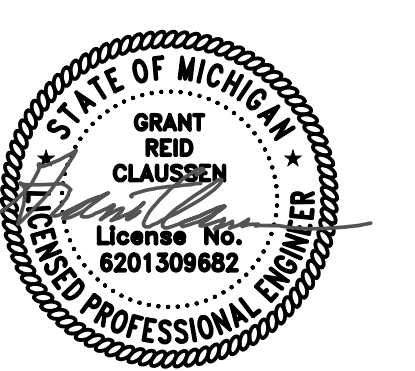
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Signed _____ Date _____
Sales Rep. _____ Date _____

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



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12-02-2021



PROJECT ADDRESS:
 1490 WEST ANN
 ARBOR ROAD
 PLYMOUTH, MI 48170

REVISIONS:
 1 11/10/2021 SITE REVISION
 2 12/01/2021 SITE PLAN REVISION

TITLE:

ELECTRICAL SITE PLAN

DATE:
 09/16/2021
 PROJECT NO.
 210536

- DESIGN DEVELOPMENT
- PERMIT SUBMITTAL
- BID PACKAGE
- CONSTRUCTION ISSUE

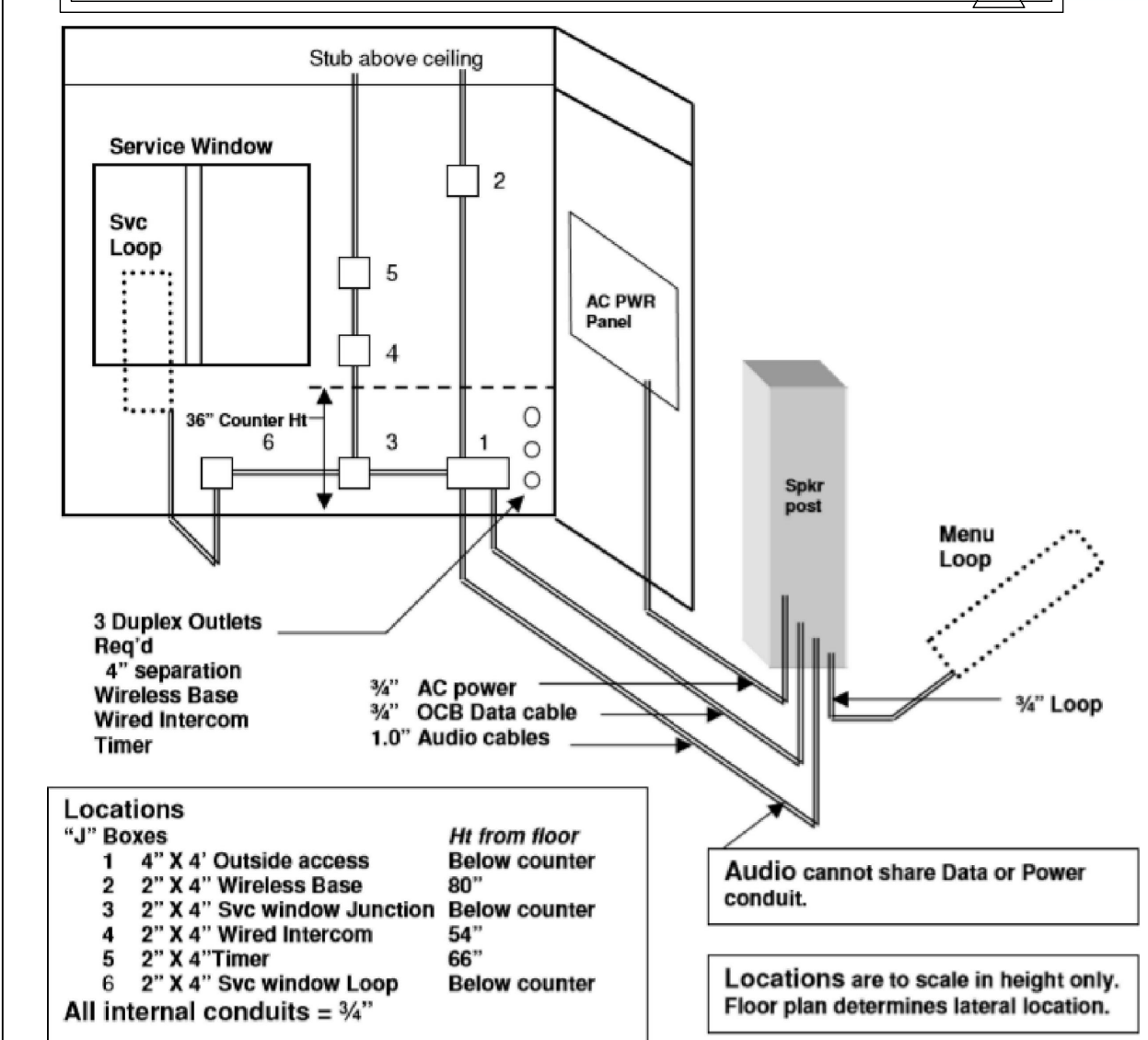
SHEET NO.
E0.01

GENERAL NOTES

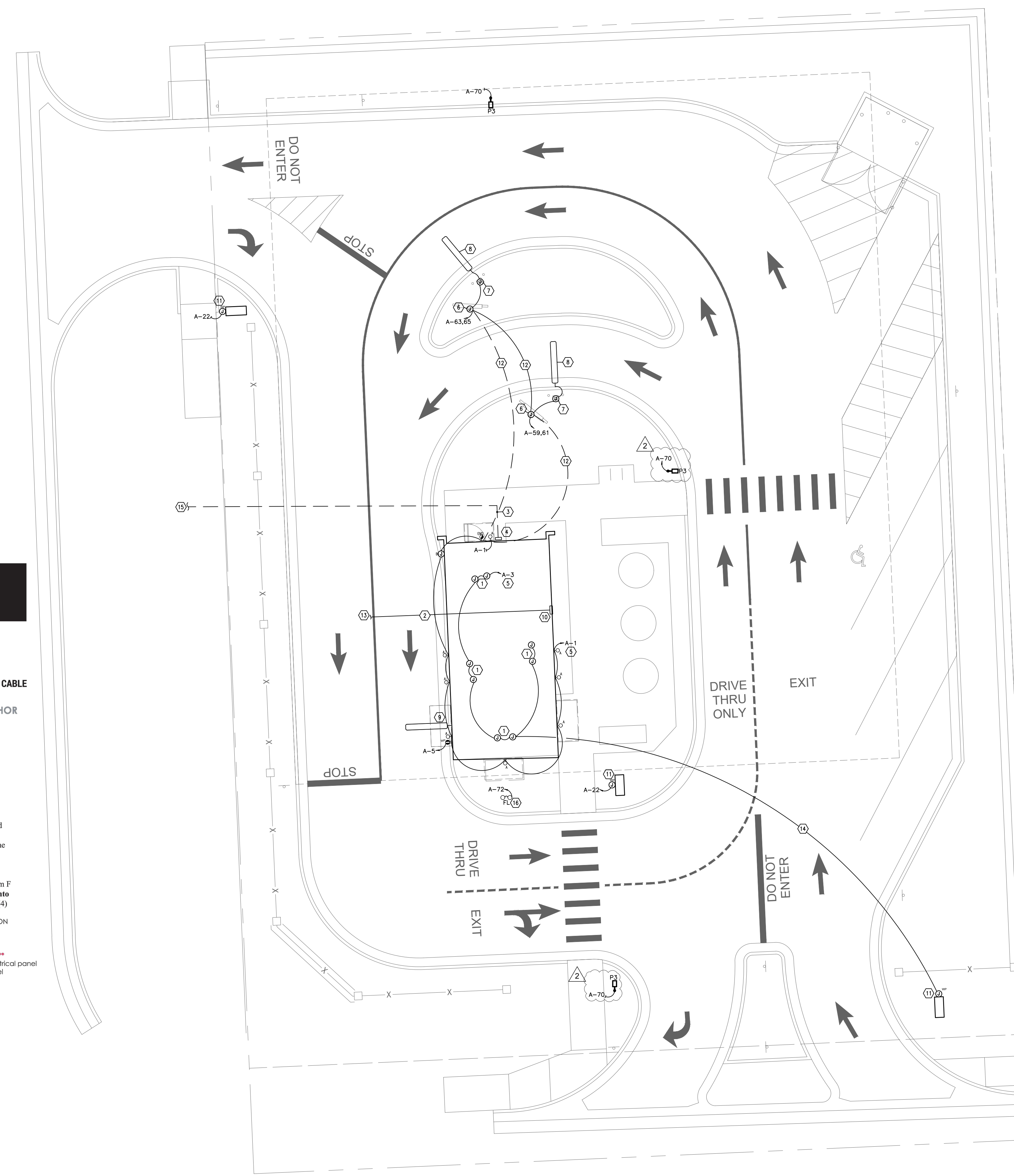
- A. ALL EXTERIOR LIGHT FIXTURES TO COMPLY WITH LOCAL NIGHT SKY ORDINANCE.
- B. ALL EXTERIOR LIGHTING AND SIGNAGE TO BE FED WITH #10 CU. U.N.O.
- C. ALL EXTERIOR ELECTRICAL EQUIPMENT TO BE NEMA-3R RATED.
- D. CONTRACTOR TO COORDINATE EXACT SITE LIGHTING FIXTURE LOCATIONS WITH LANDSCAPE DRAWINGS.
- E. ALL FIXTURES INSTALLED OUTDOORS SHALL BE RATED FOR DAMP/WET LOCATIONS AS REQUIRED. THE CONTRACTOR SHALL COORDINATE DAMP/WET LOCATION RATING PER NEC ARTICLE 410-0. ALL INSTALLATIONS SHALL CONFORM TO NEC ARTICLE 410, ALL SUB ARTICLES.
- F. FIRE ALARM EQUIPMENT SHALL BE COORDINATED FOR EXACT LOCATION AND REQUIREMENTS WITH FIRE MARSHALL.
- G. ALL PVC CONDUIT MUST HAVE A MINIMUM OF #12 CU. GROUND CONDUCTOR.
- H. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATE AND SCHEDULING WITH POWER AND TELEPHONE UTILITY COMPANIES INCLUDING (2) COMPLETE SETS OF DRAWINGS TO EACH COMPANY. ALL WORK SHALL BE INSTALLED PER EACH UTILITY COMPANIES FINAL DESIGN DRAWINGS.
- I. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATE EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL EXTERIOR LIGHT FIXTURES WITH ARCHITECTURAL DRAWINGS.

NOTES BY SYMBOL (X)

1. PROVIDE W.P. J-BOX FOR EXTERIOR SIGNAGE PER NEC. COORDINATE EXACT PRIOR TO INSTALLATION. EXTEND CIRCUIT THROUGH WALL SWITCH. REFER TO SHEET E1.0 FOR MORE INFORMATION. VERIFY EXACT REQUIREMENTS W/ OWNER.
2. 4" UNDERGROUND PVC CONDUIT WITH PULL WIRE AND RIGID STEEL BENDS PER TELEPHONE COMPANY REQUIREMENTS. TRENCH AND BACKFILL AS REQUIRED. REFER TO TABLE 300.5 FOR ADDITIONAL REQUIREMENTS.
3. NEW SECONDARY FEEDERS FROM TRANSFORMER PER POWER COMPANY REQUIREMENTS. ROUTING SHOWN FOR REFERENCE ONLY. REFER TO ONE-LINE DIAGRAM.
4. PROPOSED LOCATION OF NEW SERVICE ENTRANCE SECTION IN NEMA-3R ENCLOSURE. REFER TO ONE-LINE DIAGRAM AND LOAD CALCULATIONS.
5. CIRCUIT ROUTED TO WALL SWITCH. REFER TO SHEET E1.0 FOR LOCATION.
6. PROVIDE STUB-UP FOR DRIVE THRU DIGITAL MENU BOARD. COORDINATE EXACT POWER REQUIREMENTS WITH MANUFACTURER PRIOR TO INSTALLATION. SEE DIGITAL MENU BOARD SCHEMATIC.
7. PROVIDE W.P. J-BOX FOR DRIVE THRU SPEAKER. COORDINATE EXACT POWER REQUIREMENTS WITH MANUFACTURER PRIOR TO INSTALLATION. SEE DRIVE-THRU CONDUIT SCHEMATIC.
8. CONNECT SPEAKER PEDESTAL TO DETECTION LOOP. COORDINATE EXACT REQUIREMENT WITH MANUFACTURER PRIOR TO ROUGH-IN. SEE DRIVE-THRU CONDUIT SCHEMATIC.
9. PROVIDE STUB UP FOR DETECTION LOOP. COORDINATE EXACT REQUIREMENT WITH MANUFACTURER PRIOR TO ROUGH-IN. SEE DRIVE-THRU CONDUIT SCHEMATIC.
10. PROPOSED LOCATION OF MAIN POINT OF PRESENCE FOR TELEPHONE COMPANY DEMARCATION AND TERMINATION.
11. PROVIDE W.P. J-BOX FOR SIGN. COORDINATE EXACT LOCATION WITH ARCHITECT OR OWNER AND ELECTRICAL REQUIREMENTS WITH VENDOR.
12. PROVIDE (4) ELECTRICAL NON METALLIC CONDUITS FOR DRIVE THRU DIGITAL MENU BOARD. REFER TO DRIVE THRU SCHEMATIC ON THIS SHEET FOR FURTHER INFORMATION. (1) 2" CONDUIT TO IT RACK FOR DIGITAL CABLE. (1) 1-1/2" CONDUIT TO IT RACK FOR COMMUNICATIONS. (1) 1" CONDUIT FOR BRANCH POWER (TWO 20A/1P BRANCH CIRCUITS REQUIRED) TO ELECTRICAL PANELBOARD AND (1) 1" CONDUIT FOR LOOP DETECTION ROUTED TO DRIVE-THROUGH AREA LOOP DETECTION SYSTEM.
13. TERMINATE AND STUB CONDUIT TO PROPERTY LINE OR EXISTING CABINET PER TELEPHONE COMPANY REQUIREMENT.
14. PROVIDE (3) #10" IN 3/4" NON METALLIC CONDUIT AT 24" BELOW FINISHED GRADE. PER NEC 300.5 VERIFY EXACT ROUTING PRIOR TO INSTALLATION. TRENCH, BACKFILL, AND REPAIR LANDSCAPE/ HARDSCAPE AS REQUIRED.
15. TO PROPOSED POWER COMPANY TRANSFORMER LOCATION. COORDINATE WITH UTILITY OWNER FOR EXACT LOCATION PRIOR TO TRENCHING. LOCATION SHOWN ON PLAN IS DIAGRAMMATIC
16. PROVIDE AND INSTALL FLAG POLE LIGHT REFER TO SHEET E2.01 FOR LIGHTING SCHEDULE.



DRIVE THRU CONDUIT SCHEMATIC



1 ELECTRICAL SITE PLAN
 SCALE: 1" = 10'-0"
 NORTH

DIGITAL DT FLEX FOUNDATION INSTRUCTIONS

DIAGRAM CC Template & Foundation

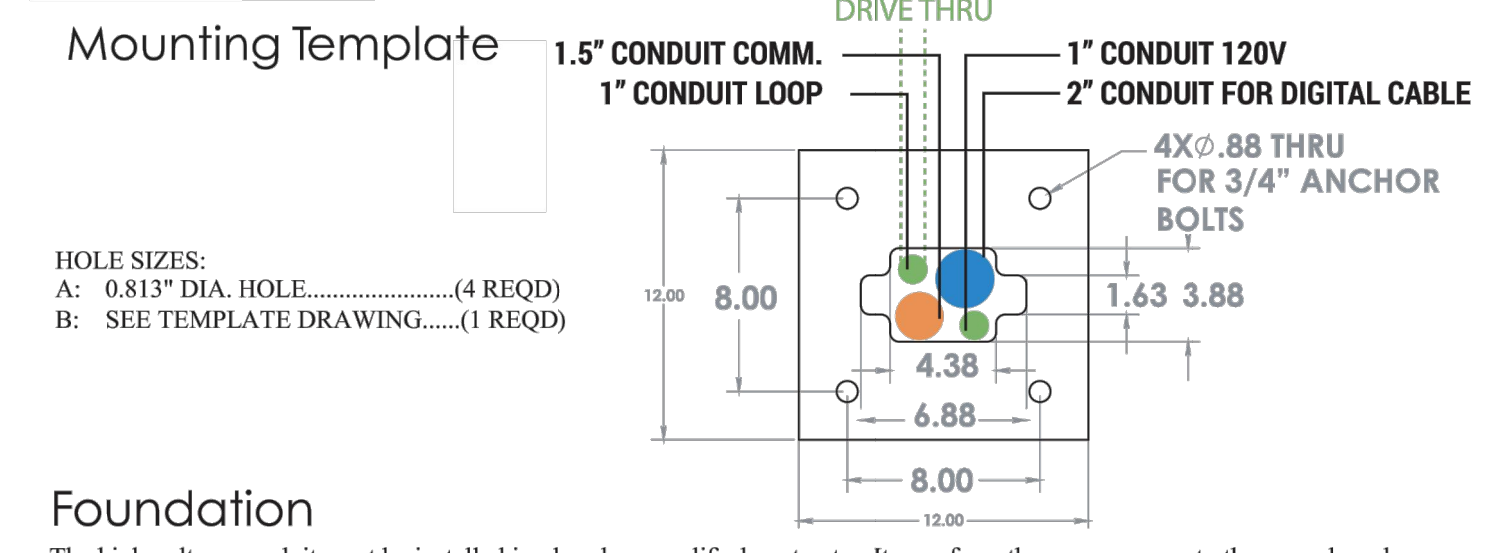
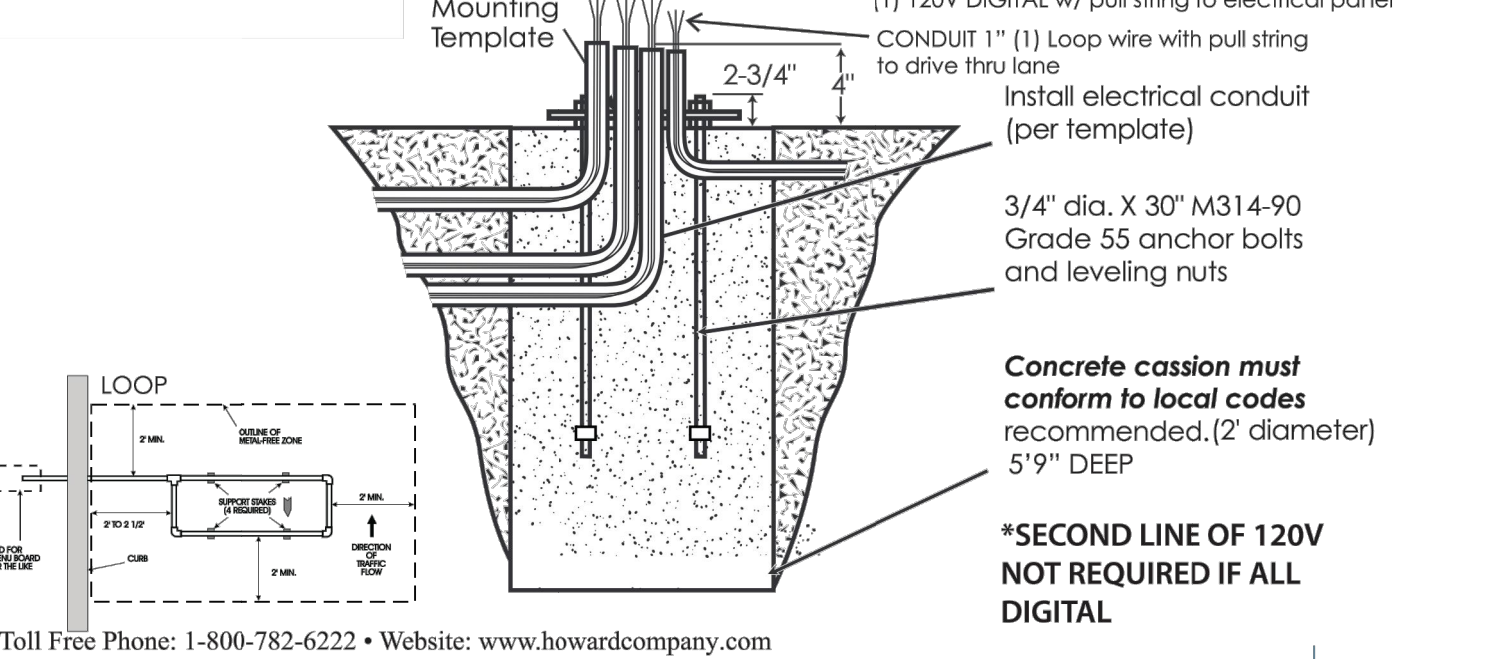


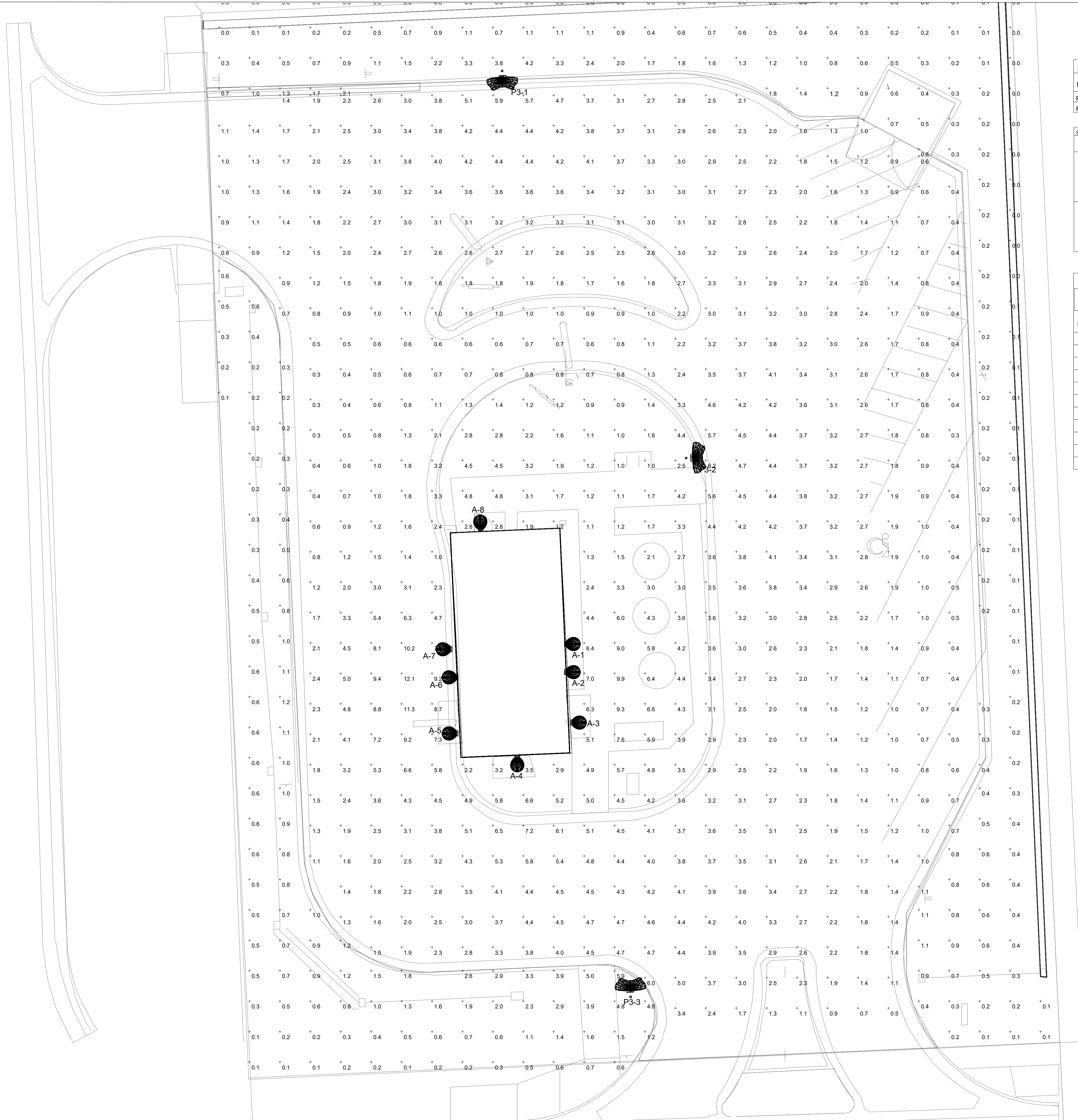
DIAGRAM T



DIGITAL MENU BOARD SCHEMATIC

Toll Free Phone: 1-800-782-6222 • Website: www.howardcompany.com

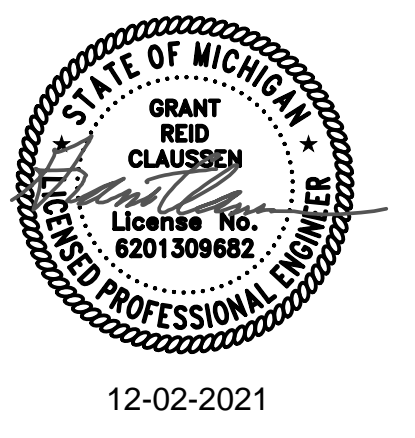
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Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
Paving Area	+	2.7 fc	12.1 fc	0.3 fc	40.3:1
Perimeter - N & E Boundary	+	0.6 fc	5.9 fc	0.0 fc	N/A

Schedule							
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Wattage
□	P3	3	Lithonia Lighting	DSXO LED P6 30K T3M MVOLT HS	DSXO LED P6 30K T3M MVOLT with houseshield	1	134
□	A	8	Lithonia Lighting	ARC2 LED P2 55K	ARC2 LED WITH P2 - PERFORMANCE PACKAGE, 5000K	1	161228

Luminaire Locations										
No.	Label	Location					Aim			
		X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	A	1113598.00	26173.14	12.00	12'	90.00	0.00	1113598.00	26173.14	0.00
2	A	1113598.00	26168.52	12.00	12'	90.00	0.00	1113598.00	26168.52	0.00
3	A	1113599.00	26160.23	12.00	12'	90.00	0.00	1113599.00	26160.23	0.00
4	A	1113590.00	26154.48	12.00	12'	180.00	0.00	1113590.00	26154.48	0.00
5	A	1113580.00	26158.44	12.00	12'	270.00	0.00	1113580.00	26158.44	0.00
6	A	1113580.00	26167.66	12.00	12'	270.00	0.00	1113580.00	26167.66	0.00
7	A	1113579.00	26172.28	12.00	12'	270.00	0.00	1113579.00	26172.28	0.00
8	A	1113584.00	26192.00	12.00	12'	356.24	0.00	1113584.00	26192.00	0.00
1	P3	1113609.00	26115.17	19.00	19'	358.00	0.00	1113609.00	26116.25	0.00
2	P3	1113588.00	26267.30	19.00	19'	176.75	0.00	1113588.00	26266.22	0.00
3	P3	1113618.00	26203.70	19.00	19'	87.86	0.00	1113619.00	26203.74	0.00



PROJECT ADDRESS:
 1490 WEST ANN
 ARBOR ROAD
 PLYMOUTH, MI 48170

REVISIONS:
 1 11/19/2021 SITE REVISION
 2 12/01/2021 SITE PLAN REVISION

TITLE:
**EXTERIOR
 PHOTOMETRIC
 SITE PLAN**

DATE:
 09/16/2021
 PROJECT NO.
 210536

- DESIGN DEVELOPMENT
- PERMIT SUBMITTAL
- BID PACKAGE
- CONSTRUCTION ISSUE

SHEET NO.
E0.02

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BEST
LIGHTING PRODUCTS

LED Wall Pack, 12 Watt, 1321 Lumens, 5000 Kelvin, Adjustable Full Cutoff, 5 Year Warranty, LEDWPCA12W-5K | Best Lighting Products

Best Lighting Products

Was: \$65.45

Now: \$42.46



Write a Review (No reviews yet)

SKU: LEDWPCA12W-5K
 AVAILABILITY: Usually ships within 1 week.
 WEIGHT: 10.00 LBS
 SHIPPING: Calculated at Checkout
 SUB-TECH: LED
 KELVIN: 5000K

Quantity:

ADD TO CART

SAVE TO WISHLIST

NOTES:

FIXTURE IS MOUNTED 90 DEGREES TO NADAR, THEREFORE DOWNWARD FACING.

FIXTURE HAS FULL DARK SKY / BUG RATING. SEE CUT SHEET.

THE LIGHT SOURCES ARE DIRECTED DOWNWARD AND AWAY FROM ADJOINING PROPERTIES.

MOUNTING HEIGHT PER TABLE ABOVE IS 19' AFG.

LIGHT LEVELS ON THE NORTH AND EAST BOUNDARIES ARE ATE 0 FOOT-CANDLES. THERE IS A 6' SCREEN WALL ON THESE SIDES OF THE PROPERTY.

TIME CLOCK SETTING REQUIREMENT: EXTERIOR SITE LIGHTS TO TURN OFF NO LATER THAN 30 MINUTES AFTER CLOSING OF BUSINESS TRANSACTING HOURS.



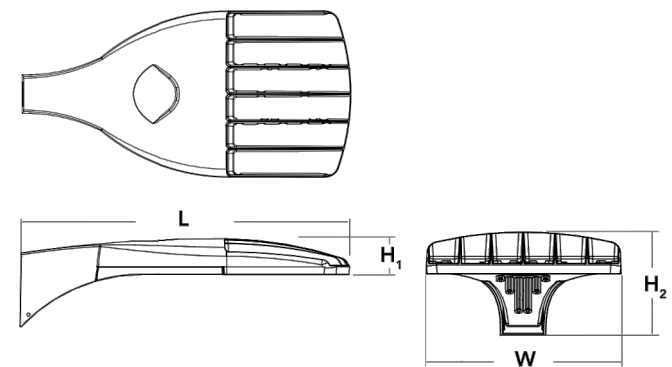
D-Series Size 0 LED Area Luminaire



Control Number: _____
 Area: _____
 Year: _____

Specifications

EPA: 0.95 ft² (0.09m²)
 Length: 26" (660mm)
 Width: 13" (330mm)
 Height: 3" (76mm)
 Height: 7" (178mm)
 Weight (max): 16 lbs (7.2kg)



Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DDBXC

Series	LEDs	Color temperature	Distribution	Volt/Type	Mounting	
DSX0 LED	Forward optics	30K 3000K 40K 4000K 50K 5000K	T1S Type I short (Automotive) T2S Type II short T3M Type III medium T4M Type IV medium T3V5 Type V very short	T1S Type V short ¹ T2M Type II medium ¹ T3W Type V wide ¹ BLC Backlight control ⁴ LCCO Left corner cutoff ⁴ RCCO Right corner cutoff ⁴	MVOLT (120V-277V) ¹⁰ 30VOLT (277V-480V) ¹⁰	Shipped included SPA Square pole mounting RPA Round pole mounting ¹¹ WRA Wall track ¹² SPUMBA Square pole universal mounting adaptor ¹³ RPU MBA Round pole universal mounting adaptor ¹³ Shipped separately KIMAB DDBXD V Mount arm mounting bracket adaptor (specify finish) ¹⁴

Control options	Other options	Finish (selected)
Shipped installed NEMAR2 Night All generation 2 enabled ¹⁵ PIRHN Network, high/low motion/ambient sensor ¹⁶ PER NEMA twist-lock receptacle only (control ordered separately) ¹⁷ PER5 Five-pin receptacle only (control ordered separately) ¹⁷ PER7 Seven-pin receptacle only (leads not future) (control ordered separately) ¹⁷ DMG 0-10V dimming extend out back of housing for external control (control ordered separately) ¹⁸	PIR High/low, motion/ambient sensor, 8-12' mounting height, ambient sensor enabled at 36" ¹⁹ PIRH High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 36" ¹⁹ PIRHFCV High/low, motion/ambient sensor, 8-12' mounting height, ambient sensor enabled at 36" ¹⁹ PIRHFCV5 High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 36" ¹⁹ FAO Field adjustable output ²⁰	Shipped installed HS Recessed shield ²¹ SF Single face (228, 277, 347V) ¹ DF Double face (228, 240, 480V) ¹ L90 Left rotated optics ¹ R90 Right rotated optics ¹ DOK Diffused deep lens ²² HA 50°C ambient operations ¹ BAA Buy America(s) Act Compliant BS Bird spikes ²³ EGS External glare shield

Ordering Information

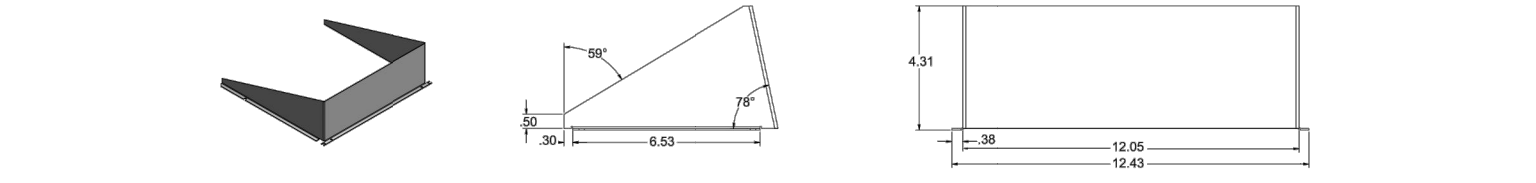
Accessories

Ordered and shipped separately.

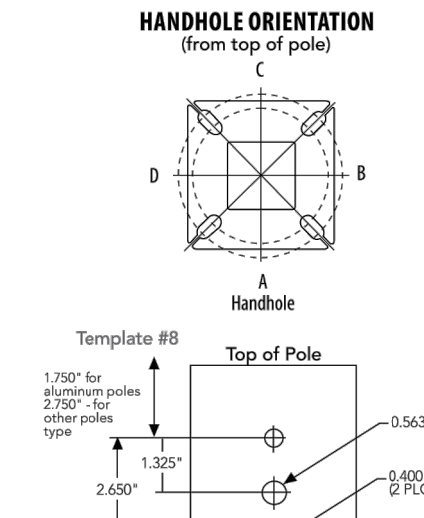
DL12713-0 Phenol-03 base box (30-277V)¹
 DL12713-0-0 Phenol-03 base box (347V)¹
 DL12713-0-0-0 Phenol-03 base box (480V)¹
 DS0851800 Start-up cap²
 DS0853000 House-side shield for P1, P2, P3 and P4³
 DS0853000 House-side shield for P1, P2, P3 and P4³
 DS0854000 House-side shield for P1, P2, P3 and P4³
 DS0850000 Diffused deep lens (polycarbonate)⁴
 DS0850000 Open and sealed deep lens mounting bracket adaptor (polymer) (specify finish)⁵
 KIMAB DDBXD V External glare shield
 DS085190000 External glare shield
 For more control options, visit C71 and C73 on page 2. Link to report A1-2

- #### NOTES
- P4 not available with P4, P7, and P13.
 - P10, P11, P12 and P13 and rotated optics (L90 or R90) only available together.
 - Any input distribution with photocell is not available with WRA.
 - Not available with DF.
 - MVOLT drive operates on any line voltage from 120-277V/50/60 Hz.
 - Single face SF requires 120V/277V or 30V Double face DF requires 208V, 240V or 480V. MVOLT not available with fusing SF or DF.
 - DSX0 only available for use with P4, P7 and P13.
 - DSX0 operates with eye voltage between 277V and 480V.
 - DSX0 not available with fusing SF or DF and not available with PIR, PIRH, PIRHFCV, PIRHFCV5.
 - DSX0 for mounting to round poles between 3.5" and 12" diameter.
 - DSX0 not available with DF.
 - External mounting brackets intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANG C136.31. Only usable when pole's drill pattern is uniform.
 - DSX0 not available with HA.
 - DSX0 must be ordered with PIRHN.
 - DSX0 must be ordered with NLTAR2. For more information on NLTAR2 visit C71 on page 2.
 - DSX0 not available with PIRHN, PER5, PER7, PER7, PER7FCV or PIRHFCV5.
 - Reference Controls Options table on page 2.
 - Reference Motion Sensor Details table on page 4 to see functionality.
 - Not available with BLC, LCCO and RCCO distribution.
 - Must be ordered with KIMAB for force on pole (DF).
 - Requires firmware to be specified with PIR, PER5 or PER7 option. See Controls table on page 4.
 - For retrofit use only. Only usable when pole's drill pattern is not Lithonia template #8.

EGS - External Glare Shield



Drilling



Tenon Mounting Slipfitter

Temper (ft)	Mounting	Spec (in)	2-1/8"	2-7/8"	3-1/8"	3-7/8"	4-1/8"	4-7/8"
2-1/8"	RPA	AST2-190	AST2-190	AST2-190	AST2-190	AST2-190	AST2-190	AST2-190
2-7/8"	RPA	AST25-190	AST25-280	AST25-280	AST25-280	AST25-280	AST25-280	AST25-280
4"	RPA	AST35-190	AST35-280	AST35-280	AST35-280	AST35-280	AST35-280	AST35-280

DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Mounting type	Single (M1V)	2 x 160 (M2V)	2 x 160 (M2V)	2 x 160 (M2V)	2 x 160 (M2V)	2 x 160 (M2V)
DDBD LID	0.950	1.900	1.800	2.850	2.800	3.544

GH A
 Architecture / Development
 14901 Quorum Drive
 Suite 300
 Dallas Texas 75254
 Ph: (972) 239-8884
 Fax: (972) 239-5054

STATE OF MICHIGAN
 GRANT REID CLAUSSEN
 License No. 6201309682
 PROFESSIONAL ENGINEER
 12-02-2021

Engineering Firm: F-21834
 GHA Engineers, LLC
 14901 Quorum Dr, Ste 300
 Dallas, Texas 75254
 Office: 972-239-8884
 gclausen@ghaengineers.com
 Project # G21-0959.001

EST. 1998
SCOOTER'S
 COFFEE

PROJECT ADDRESS:
 1490 WEST ANN
 ARBOR ROAD
 PLYMOUTH, MI 48170

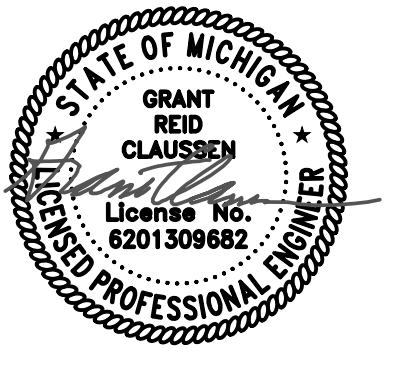
REVISIONS:
 1 11/10/2021 SITE REVISION
 2 12/01/2021 SITE PLAN REVISION

TITLE:
EXTERIOR LIGHTING CUT SHEETS

DATE:
 09/16/2021
 PROJECT NO.
 210536

- DESIGN DEVELOPMENT
- PERMIT SUBMITTAL
- BID PACKAGE
- CONSTRUCTION ISSUE

SHEET NO.
E0.02A



12-02-2021

GO ENGINEERS
 Engineering Firm: F-21834
 GHE Engineers, LLC
 14901 Quorum Dr, Ste 300
 Dallas, Texas 75254
 Office: 972-239-8884
 gclausen@goengineers.com
 Project # G21-0959.001



PROJECT ADDRESS:
 1490 WEST ANN
 ARBOR ROAD
 PLYMOUTH, MI 48170

REVISIONS:
 1. 11/10/2021 SITE REVISION
 2. 12/01/2021 SITE PLAN REVISION

TITLE:
LIGHTING FLOOR PLAN & SCHEDULE

DATE:
 09/16/2021
 PROJECT NO.
 210536

DESIGN DEVELOPMENT
 PERMIT SUBMITTAL
 BID PACKAGE
 CONSTRUCTION ISSUE

SHEET NO.

E2.01

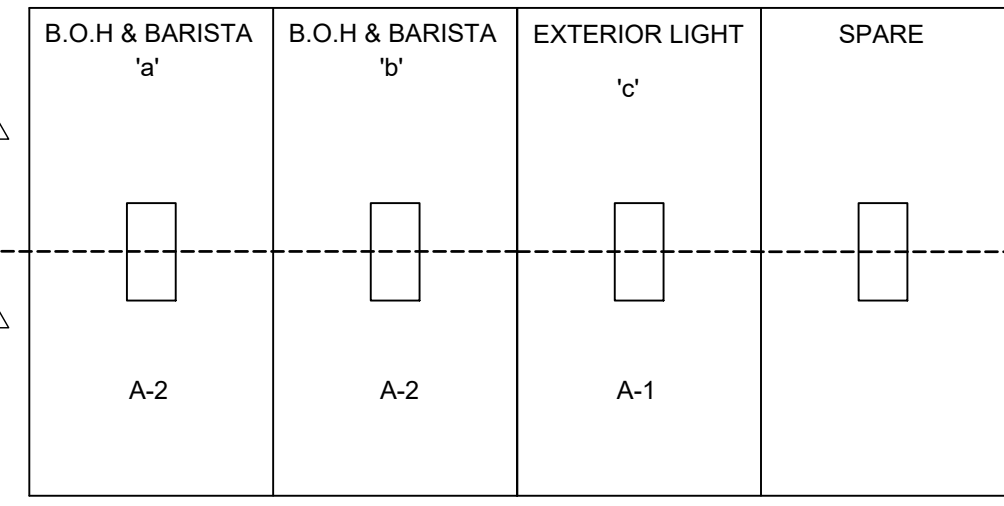
LIGHTING SCHEDULE

CALLOUT	SYMBOL	LAMP	MANUFACTURE MODEL NUMBER	DESCRIPTION	BALLAST	MOUNTING	WATTAGE VOLTAGE
A	⊙	(1) 11.8W LED	BEST LIGHTING LED WPCA 12W-3K	EXTERIOR WALL SCNCE	ELECTRONIC	WALL	120 1P 2W
B	⊙	2.9W/ FT LED	NOVA FLEX NF/SP-PROW-120-24V-3000K	PRO 120 SERIES - IP68 LED STRIP LIGHT. VERIFY LENGTH AND HARDWARE CONNECTIONS PRIOR TO ORDERING. TO BE PLACED ON DIMMER SWITCH	LED	SURFACE	120 1P 2W
EM1	⬇	(2) 3.3W INCLUDED	BEST LIGHTING RMR-16-LED	MR-16 SEMI-RECESSED THERMOPLASTIC EMERGENCY UNIT.	N/A	WALL	120 1P 2W
EM2	⬆	(2) 6W LED	BEST LIGHTING DBEL-ACEM-HL-B-SDI-CW-PC	LED DECORATIVE OUTDOOR DIE-CAST AC/EMERGENCY UNIT.	N/A	WALL	120 1P 2W
T1	⊠	(1) 40W LED	AEL C2435MM	LED 2X4 PANEL LIGHTING, DIMMABLE.	ELECTRONIC	RECESSED	120 1P 2W
X1	⊗	(2) 1W INCLUDED	BEST LIGHTING LEDCXTEU-2-R-W	LED EXIT SIGN/ EMERGENCY UNIT COMBO.	N/A	CEILING	120 1P 2W
FL	⊙	(1) 35W LED	KITCHLER NSP 10 TO 15 - 16209	GROUND MOUNT LED FLAG POLE LIGHT FIXTURE	LED	STANCHION GROUND	120 1P 2W
P3	⊙	(1) 137W LED	LITHONIA LIGHTING DSOX LED P6 30K T3M MVOLT	LED POLE LIGHT FIXTURES. W/ HOUSESIDE SHIELD	ELECTRONIC	26" SQUARE AL POLE BASE DETAIL ON STRUCTURE SHEET	120 1P 2W

- NOTES:
- ALL FIXTURE FINISHES AND OPTIONS MUST BE APPROVED BY OWNER OR ARCHITECT.
 - ADDITIONAL LIGHT SWITCHES MAY BE INSTALLED IF APPROVED BY OWNER OR ARCHITECT.
 - ALL EMERGENCY LIGHTING SHALL BE POWERED WITH CIRCUIT "XXX".
 - LIGHTING SUPPLIER AND CONTRACTOR ENSURE ALL LIGHTING CONTROLS INCLUDING EXPOSED TO PLENUM EXPOSED TO PLENUM IS PLENUM RATED.
 - CONTRACTOR TO COORDINATE ALL LIGHTING/DIMMING CONTROLS AND LIGHTING SPECIFICATIONS WITH CONTROLS VENDOR PRIOR TO ORDERING TO ENSURE CORRECT COMPONENTS.
 - GENERAL CONTRACTOR TO CONTACT NATIONAL LIGHTING SUPPLIER @ SCOOTER@FSGL.COM

NOTES BY SYMBOL

- PROVIDE DIMMING SWITCH ON WALL FOR EXTERIOR LED STRIP LIGHTING. COORDINATE EXACT LOCATION WITH OWNER/ ARCHITECT PRIOR TO INSTALLATION.
- EMERGENCY EGRESS LIGHT SHALL BE CIRCUITED TO UNSWITCHED LEG OF LOCAL LIGHT CIRCUIT.
- PROVIDE LIGHT SWITCH ON WALL FOR EXTERIOR WALL/ SITE FIXTURE. COORDINATE EXACT LOCATION WITH OWNER/ ARCHITECT PRIOR TO INSTALLATION
- PROVIDE SWITCH ON WALL FOR ILLUMINATED MONUMENT SIGN AND BUILDING SIGNS COORDINATE EXACT LOCATION WITH OWNER/ ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE SWITCH ON WALL FOR ILLUMINATED MENU BOARD/ SPEAKER. COORDINATE EXACT LOCATION WITH OWNER/ ARCHITECT PRIOR TO INSTALLATION. VERIFY EXACT POWER REQUIREMENTS PRIOR TO ROUGH-IN.
- EXIT LIGHT SHALL BE CIRCUITED TO UNSWITCHED LEG OF LOCAL LIGHT CIRCUIT. PROVIDE CHEVRONS AS NEEDED.



3 SWITCHBANK DETAIL
 SCALE: NOT TO SCALE

TIMECLOCK SEQUENCE OF OPERATION

- EXTERIOR SIGN SHALL TURN ON AT 4:30AM.
 - TOILET EXHAUST SHALL ENERGIZE AT 5AM.
 - EXTERIOR SIGN SHALL TURN OFF 30- MINUTES AFTER SUNRISE.
 - EXTERIOR SIGNAGE SHALL TURN ON 30-MINUTES BEFORE SUNSET.
 - TOILET EXHAUST SHALL SHUT OFF AT 10PM.
 - EXTERIOR SIGNAGE SHALL TURN OFF AT 10:30PM.
- ALL TIMES ARE ADJUSTABLE.

LIGHTING CONTROL DEVICE SCHEDULE

CALLOUT	SYMBOL	MANUFACTURE MODEL NUMBER	UNOBSTRUCTED RATED COVERAGE	MOUNTING	WATTAGE VOLTAGE	TIME DELAY	DESCRIPTION
OCCUPANCY SENSOR SWITCH	⊙	RLIGHT WSX-FDT	--	CEILING	--	--	LINE VOLTAGE SWITCH DUAL TECHNOLOGY SENSOR
DIMMER SWITCH	⊙	ACUITY CONTROLS sPODMIRD	--	WALL	LINE	--	LINE VOLTAGE PUSH BUTTON SWITCH POD ON/OFF
TOGGLE SWITCH	⊙	HUBBEL #1221	--	WALL	LOW	--	

- NOTES:
- SENSOR REQUIRES POWER PACK (INSTALL IN ACCESSIBLE LOCATION)
 - SWIVEL MOUNTING BRACKET INCLUDED
 - ELECTRICAL CONTRACTOR SHALL COORDINATE COMPATIBILITY OF LIGHT FIXTURES AND LIGHTING CONTROL DEVICES/ SYSTEM WITH CONTROL SYSTEM SUPPLIER PRIOR TO ORDERING/ ROUGH-IN
 - VERIFY POWER REQUIREMENT FOR CEILING SENSOR. IF IT REQUIRES CONTINUOUS HOT, PULL UNDIMMED WIRE FROM AHEAD OF DIMMER SWITCH TO CEILING SENSOR FOR SENSOR OPERATING, AND RUN DIMMED LINE THROUGH SENSOR FOR ON/OFF CONTROL. CONFIRM WITH VENDOR PRIOR TO ORDERING SENSOR TO ENSURE COMPATIBILITY.

LIGHTING GENERAL NOTES

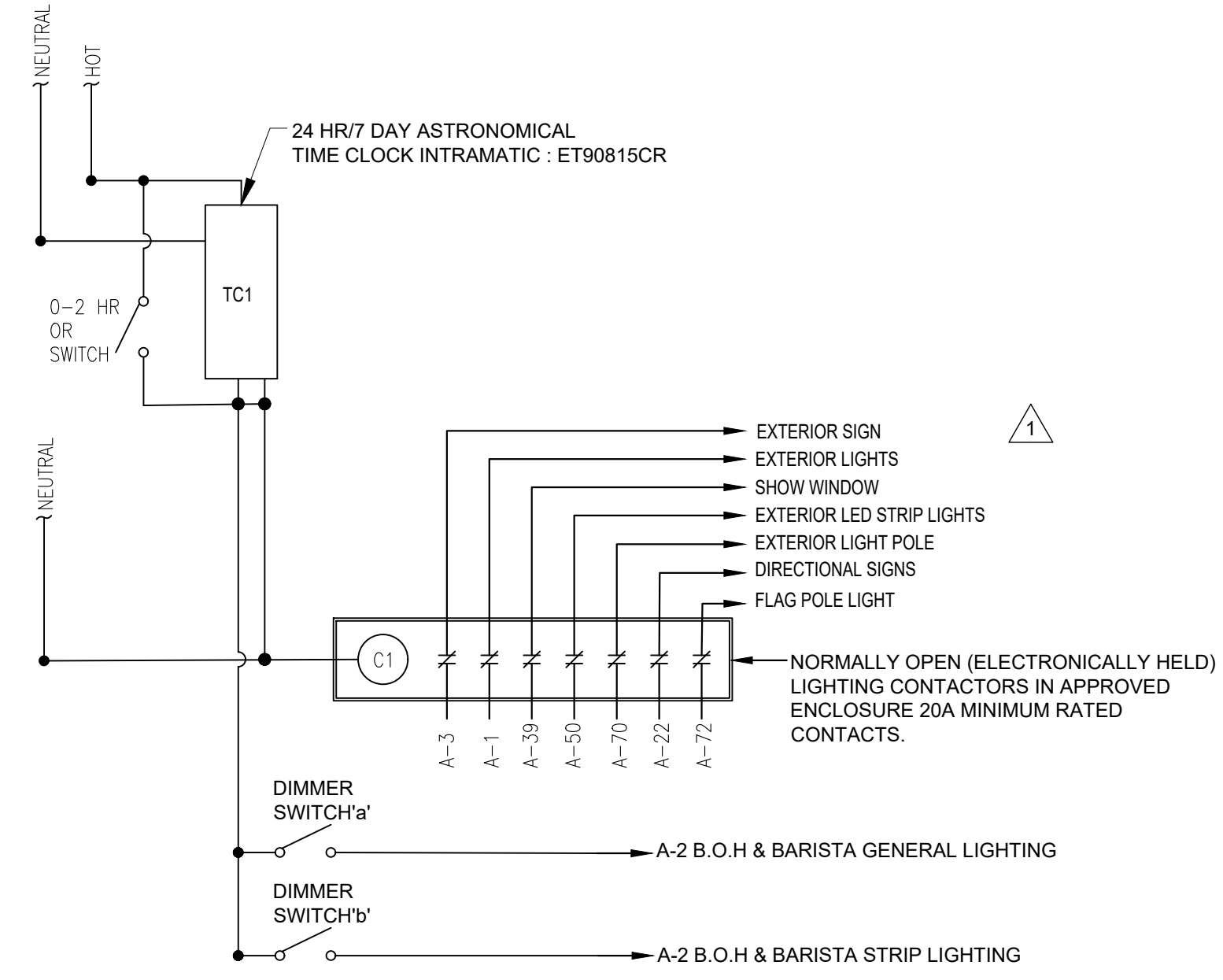
- ELECTRICAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BASE BID. IN CASE OF ANY DISCREPANCIES WITH EXISTING FIELD CONDITIONS, ELECTRICAL CONTRACTOR SHALL VERIFY THE EXACT DIFFERENCE FOR POSSIBLE REVISIONS TO THIS DOCUMENT.
- INSTALL RECESSED LUMINAIRES USING ACCESSORIES AND FIRE STOPPING MATERIALS TO MEET REGULATORY REQUIREMENTS FOR FIRE RATING.
- ALL FLUORESCENT LIGHT FIXTURES THAT UTILIZE DOUBLE ENDED LAMPS AND CONTAIN BALLAST(S) THAT CAN BE SERVICED IN PLACE SHALL BE CODE COMPLIANT WITH N.E.C. 410.130(G)
- COORDINATE ALL EXTERIOR BUILDING MOUNTED LIGHT FIXTURES WITH ARCHITECTURAL BUILDING ELEVATIONS FOR HEIGHTS AND LOCATIONS.
- PROVIDE EXIT SIGNS FOR ALL EXISTS DESIGNATED BY THE CODE STUDY PLAN. REFER TO ARCHITECTURAL CODE PLANS FOR LOCATIONS AND REQUIREMENTS.
- CONDUIT AND WIRING SHOWN FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE THE NUMBER OF CONDUCTOR REQUIRED FOR HOT-LEGS, NEUTRAL AND GROUNDING AT EACH DEVICE FOR PROPER BRANCH CIRCUITING SHOWN FOR EACH AREA OR ROOM.
- ALL EMERGENCY/EXIT FIXTURES AND ARE TO BE PROVIDED WITH MINIMUM 90 MIN EMERGENCY BATTERY BACK-UP. BYPASS ENERGY MANAGEMENT SYSTEM WHERE REQUIRED.
- WHEN REQUIRED, IT IS THE OWNER'S RESPONSIBILITY TO CONTRACT WITH A COMMISSIONING AUTHORITY TO COMPLY WITH LOCAL CODES.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DISCIPLINES DRAWINGS. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECTS AND ENGINEERS PRIOR TO FINAL BID CLOSING.

GENERAL NOTE

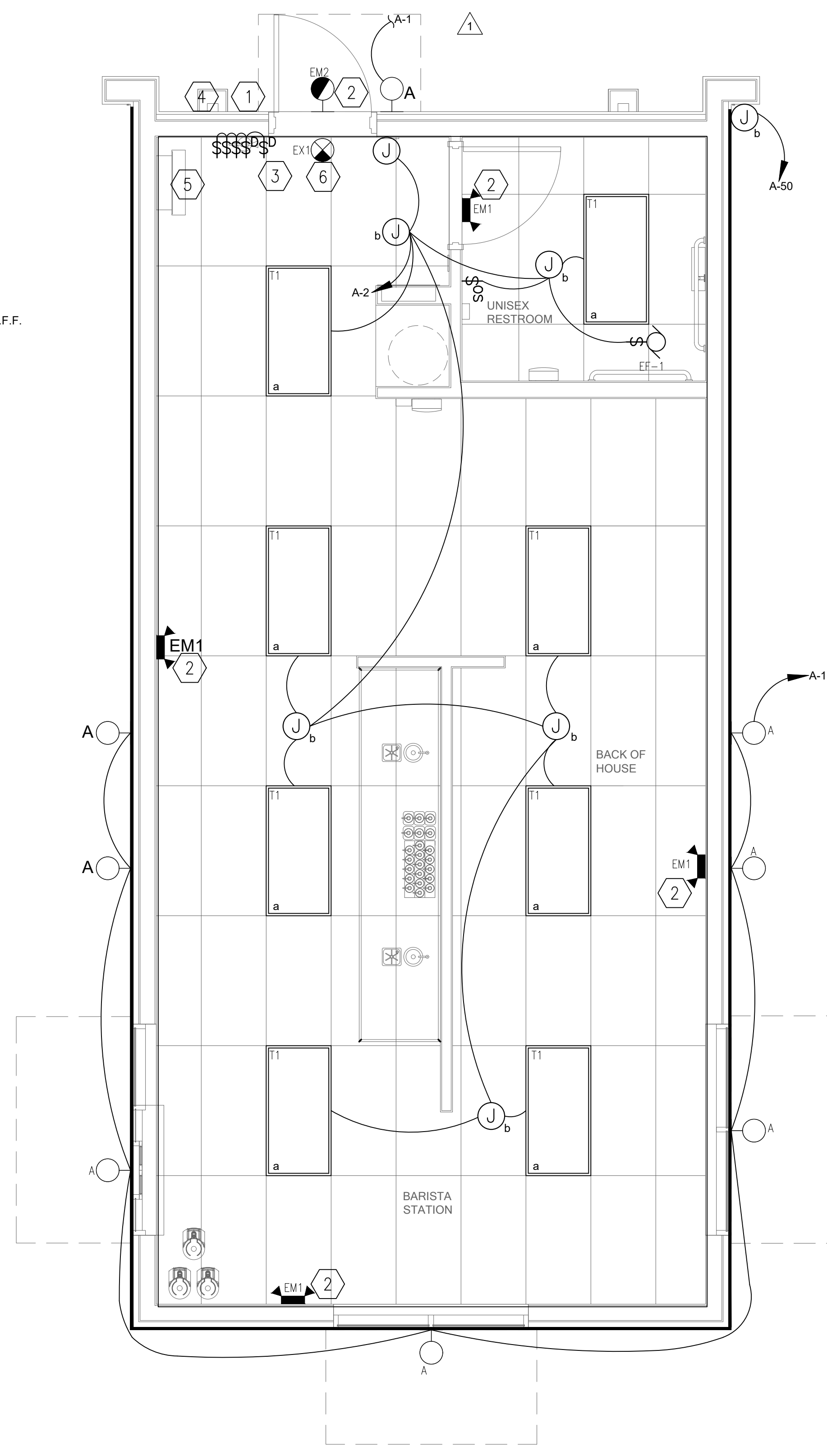
PROVIDE STRUCTURE ENGINEERING LETTER OF APPROVAL FOR SEISMIC INSTALLATION SUPPORT PRIOR TO INSTALLATION AND AT COMMISSIONING STAGE. ALL EQUIPMENT SEISMIC SUPPORT AND INSTALLATION METHOD MUST BE SUBMITTED TO STRUCTURE ENGINEERING APPROVAL PRIOR TO INSTALLATION.

IECC 2015

- IECC 2015 APPLIANCE NOTES:**
- THE UNDER-COUNTER REFRIGERATION SHALL MEET THE STANDARDS FOR EFFICIENCY, PER IECC 2015, TABLE C403.2.14. NOTE THAT THE ENERGY STAR REFRIGERATORS AND FREEZERS ARE 10% MORE EFFICIENT THAN MINIMUM FEDERAL EFFICIENCY STANDARDS FOR SUCH PRODUCTS. THEREBY THEY SHOULD MEET THIS REQUIREMENT.
- IECC 2015 ELECTRICAL NOTES:**
- DAYLIGHTING REQUIRED FOR ROOMS WITH EXTERNAL WINDOWS AND 150 WATTS OR MORE OF INSTALLED LIGHTING. DAYLIGHT ZONE SHALL REACH INTO SPACE AS FAR AS THE HEIGHT OF THE TOP OF THE WINDOW SILL.
 - ALL BUILDING LIGHTING NOT CONTROLLED BY AN OCCUPANCY SENSOR (AND NOT IN AN EQUIPMENT ROOM) SHALL BE CONTROLLED BY THE BUILDING LIGHTING TIMER, AND IT SHALL BE SET AND LABELED TO BE OFF DURING NON-OCCUPIED HOURS.
- IECC 2015 ELECTRICAL COMMISSIONING NOTES:**
- ELECTRICAL COMMISSIONING IS REQUIRED. COMMISSIONING SHALL BE PER IECC 2015 C408.3 (LIGHTING SYSTEMS).

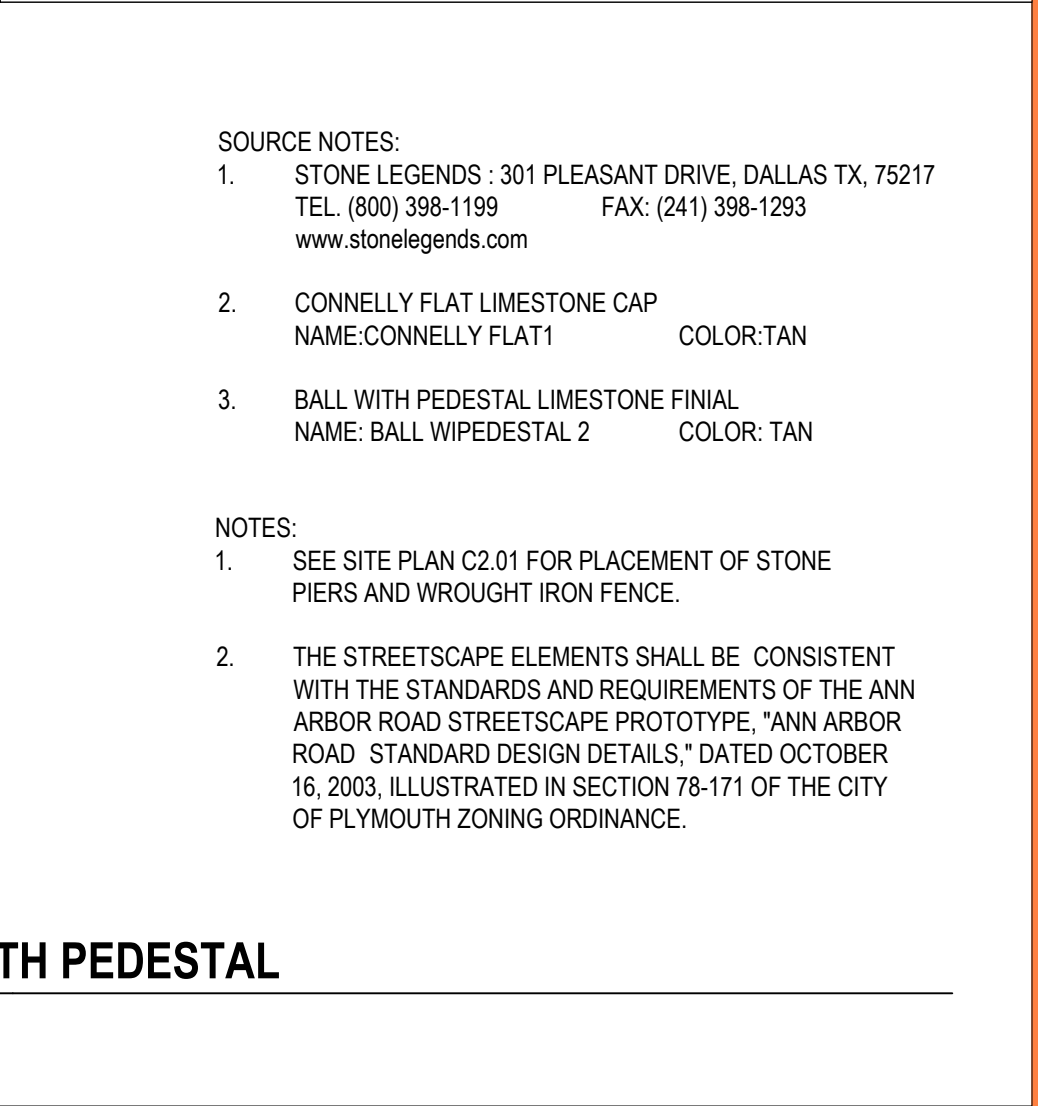
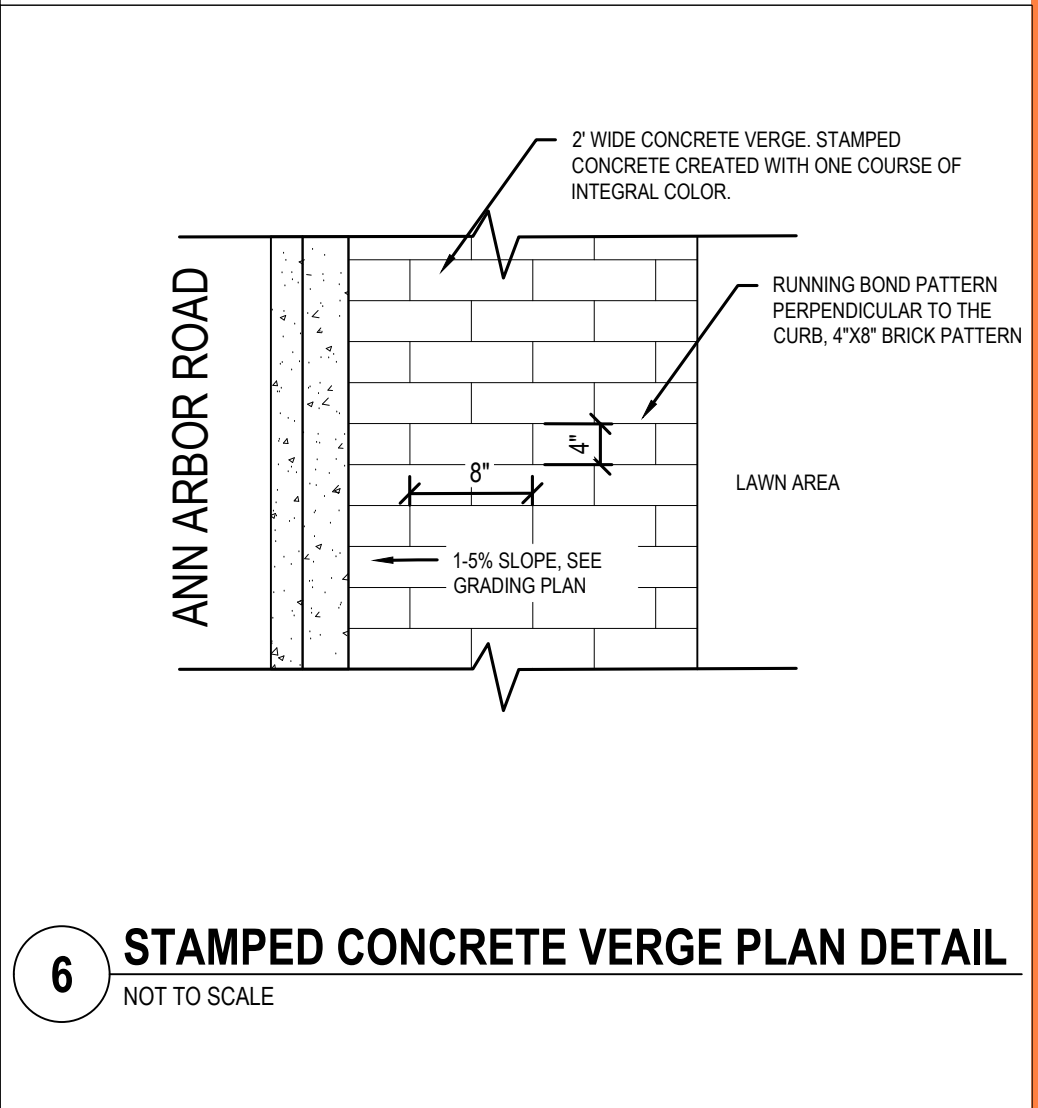
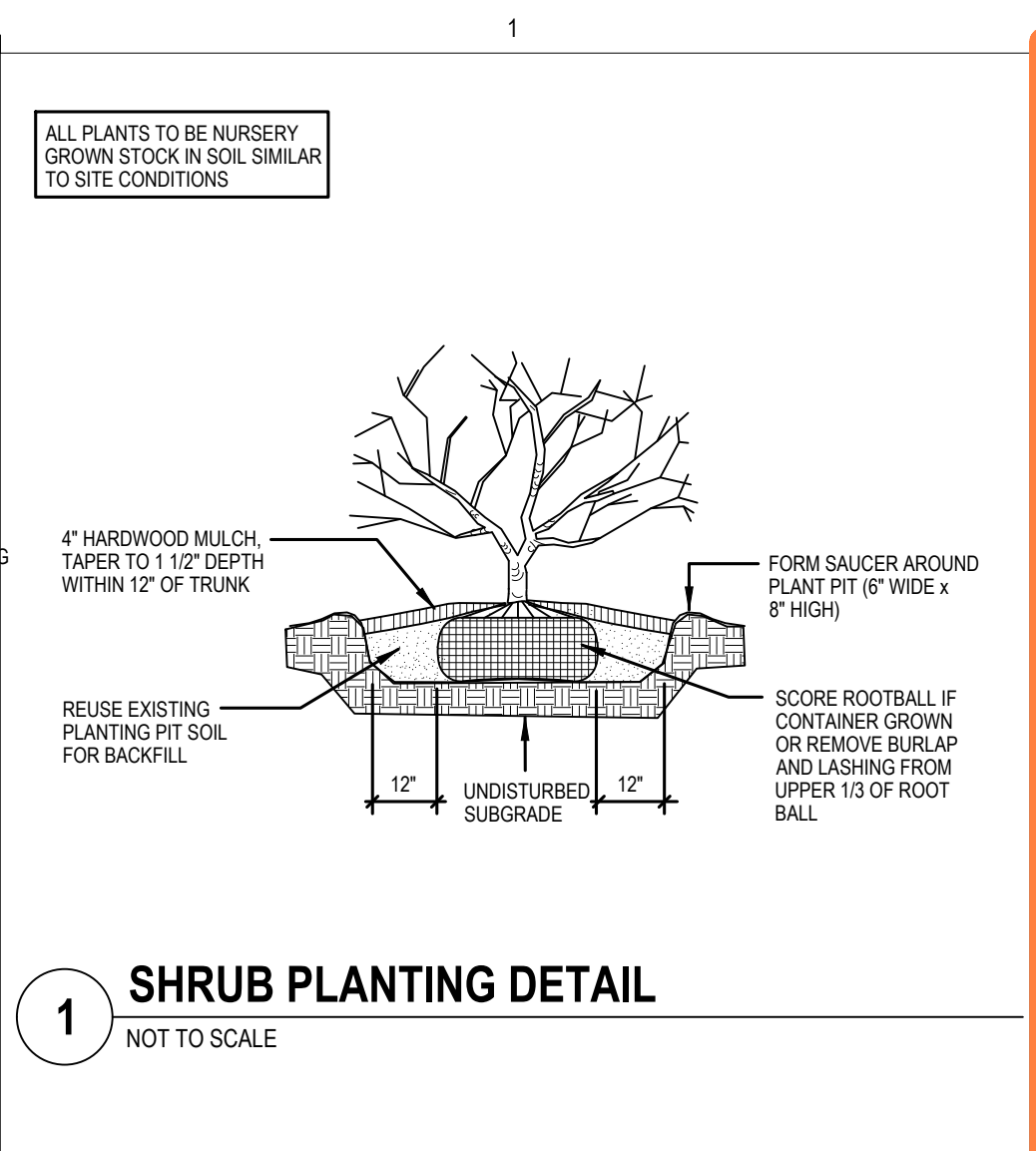
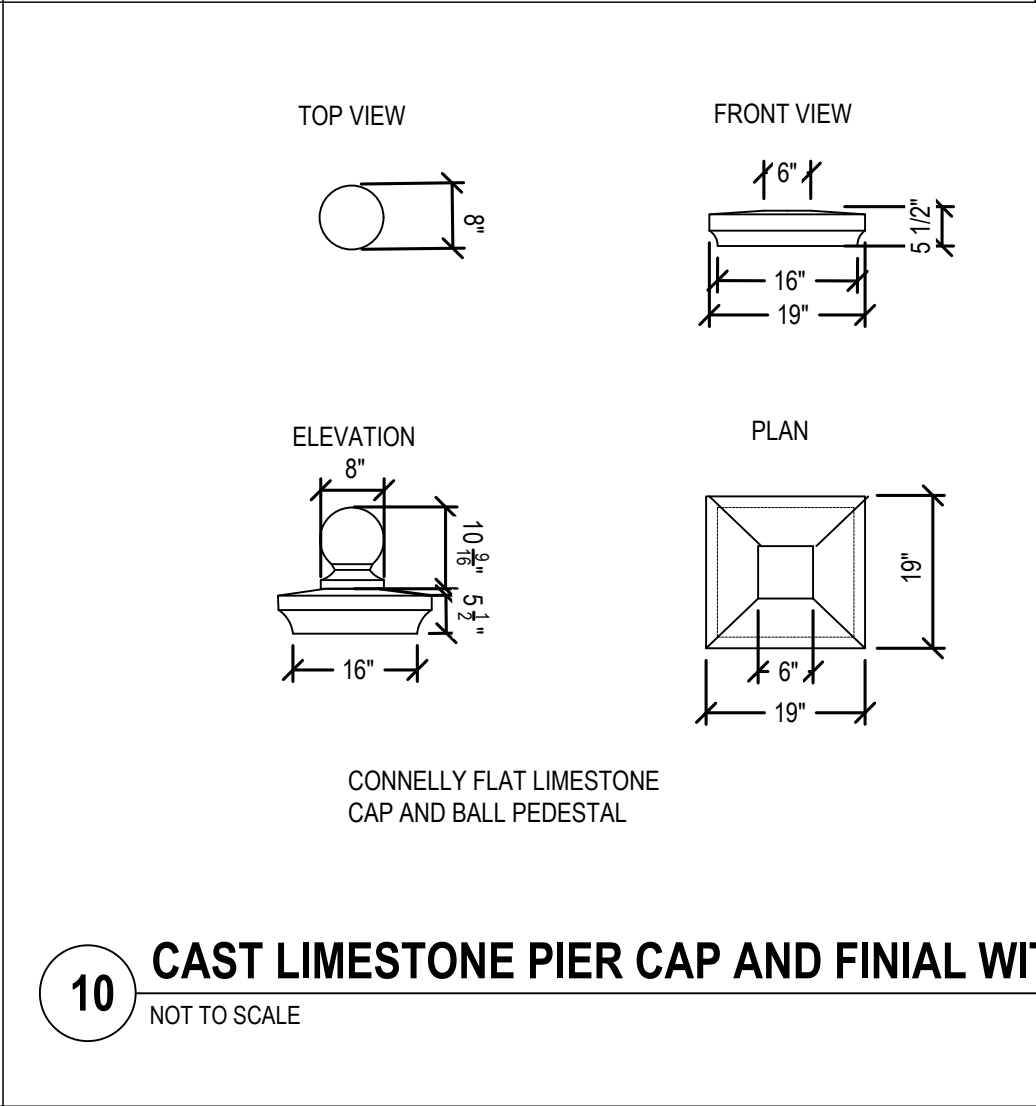
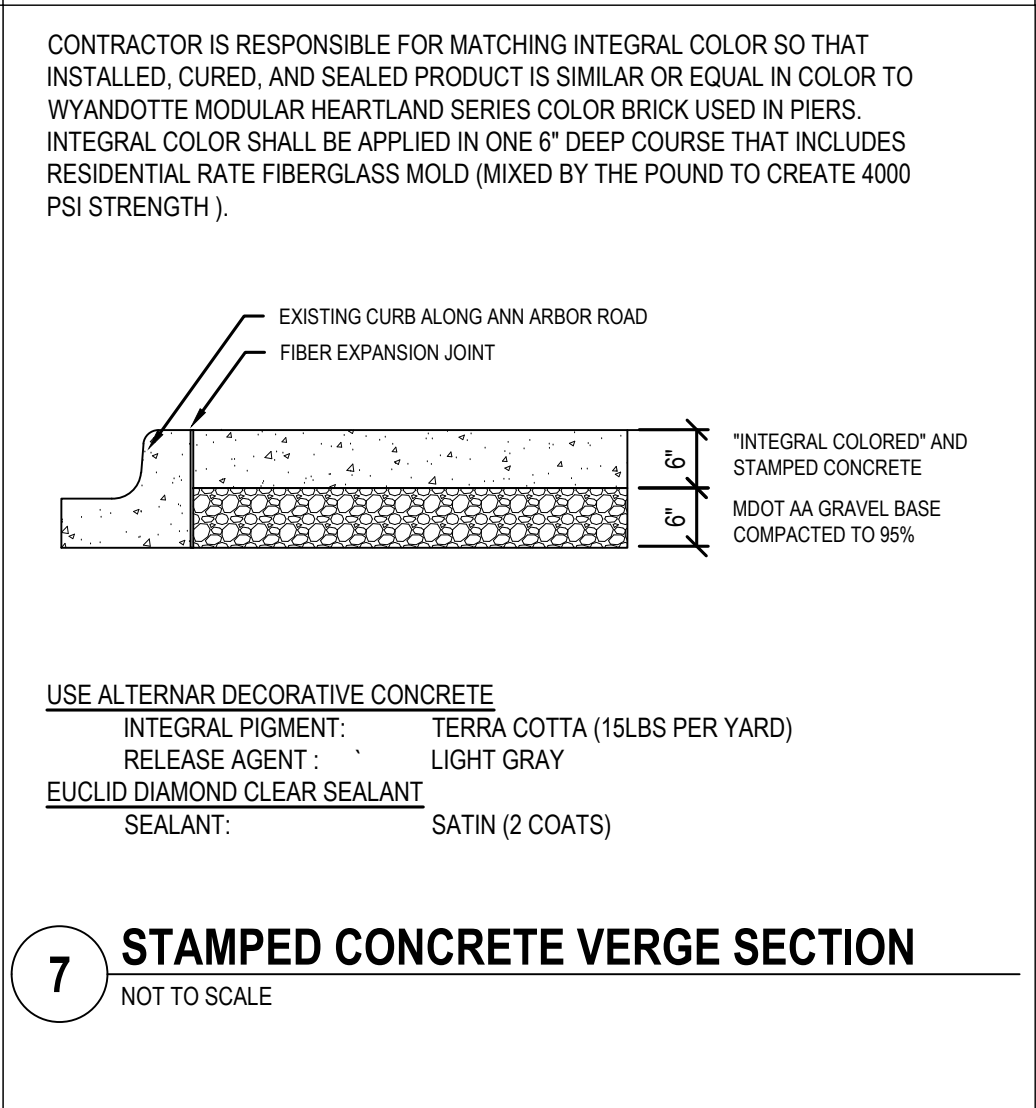
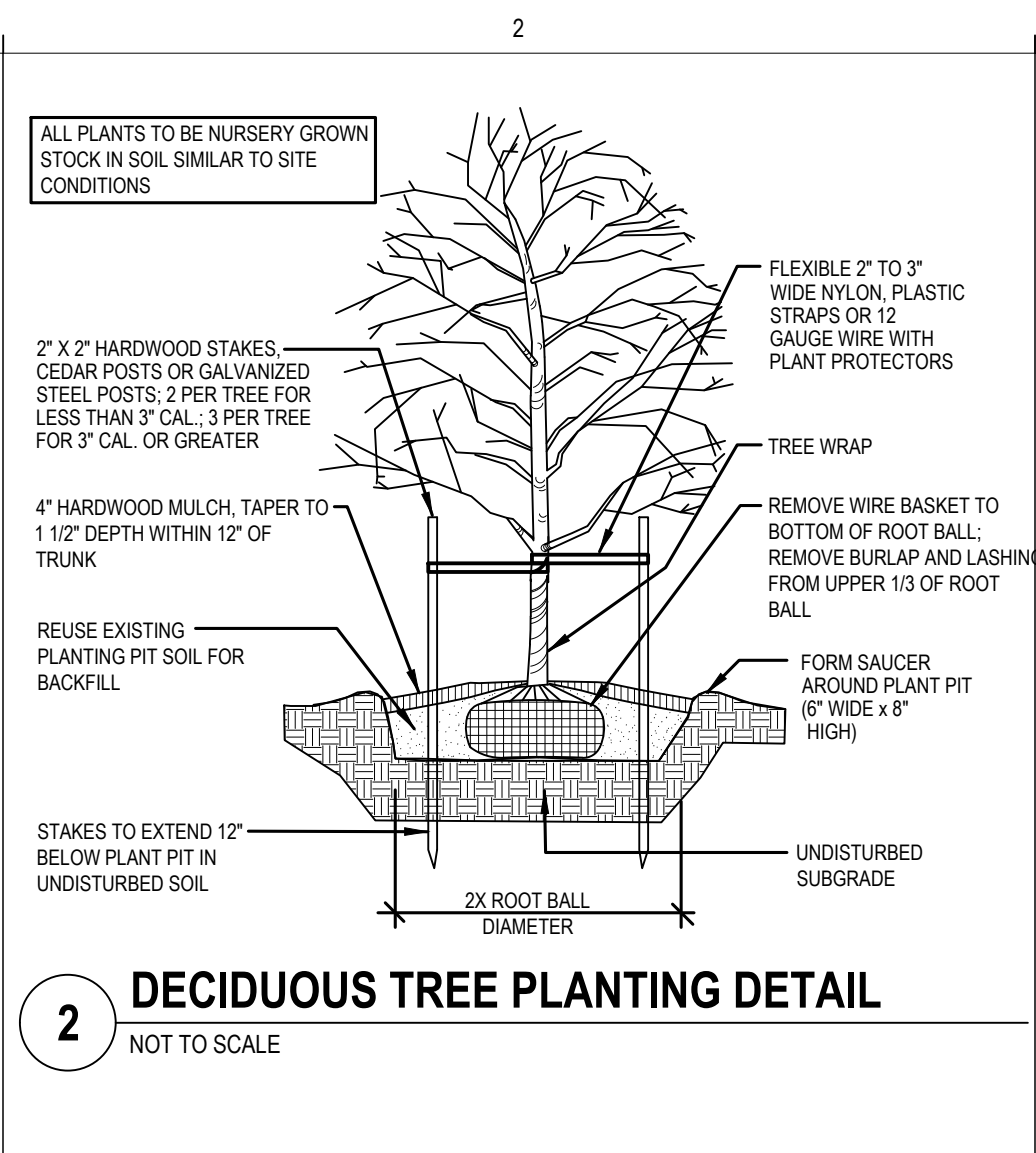
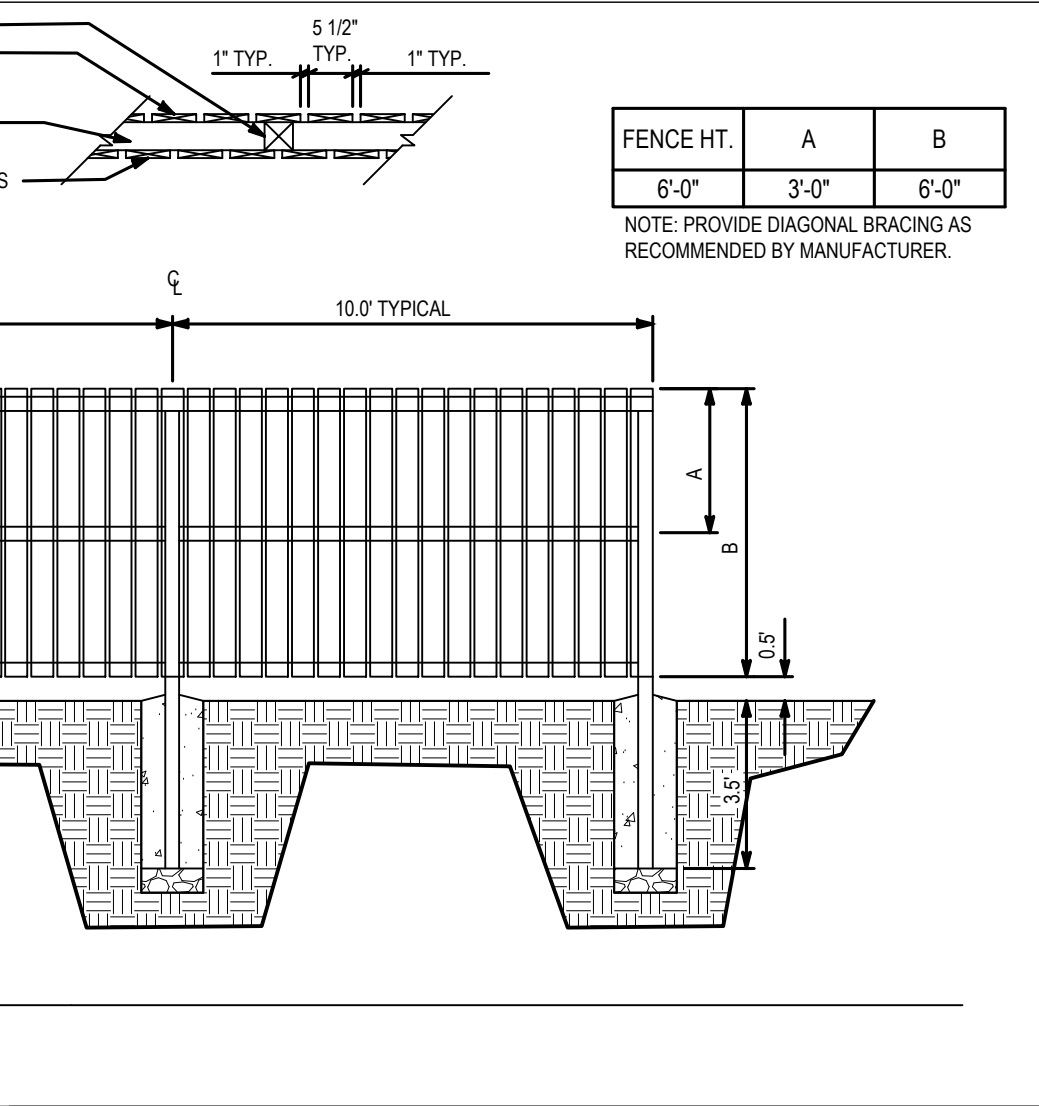
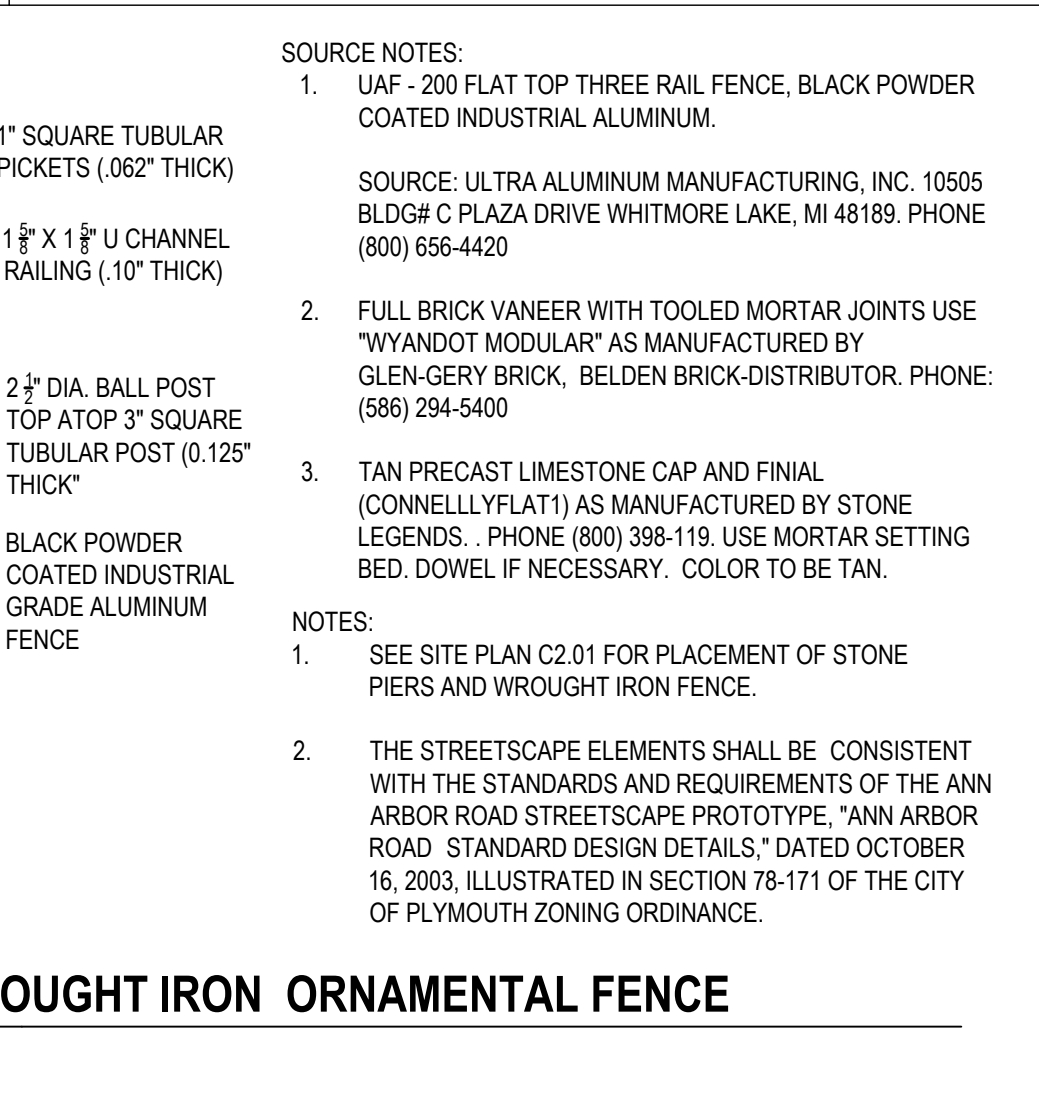
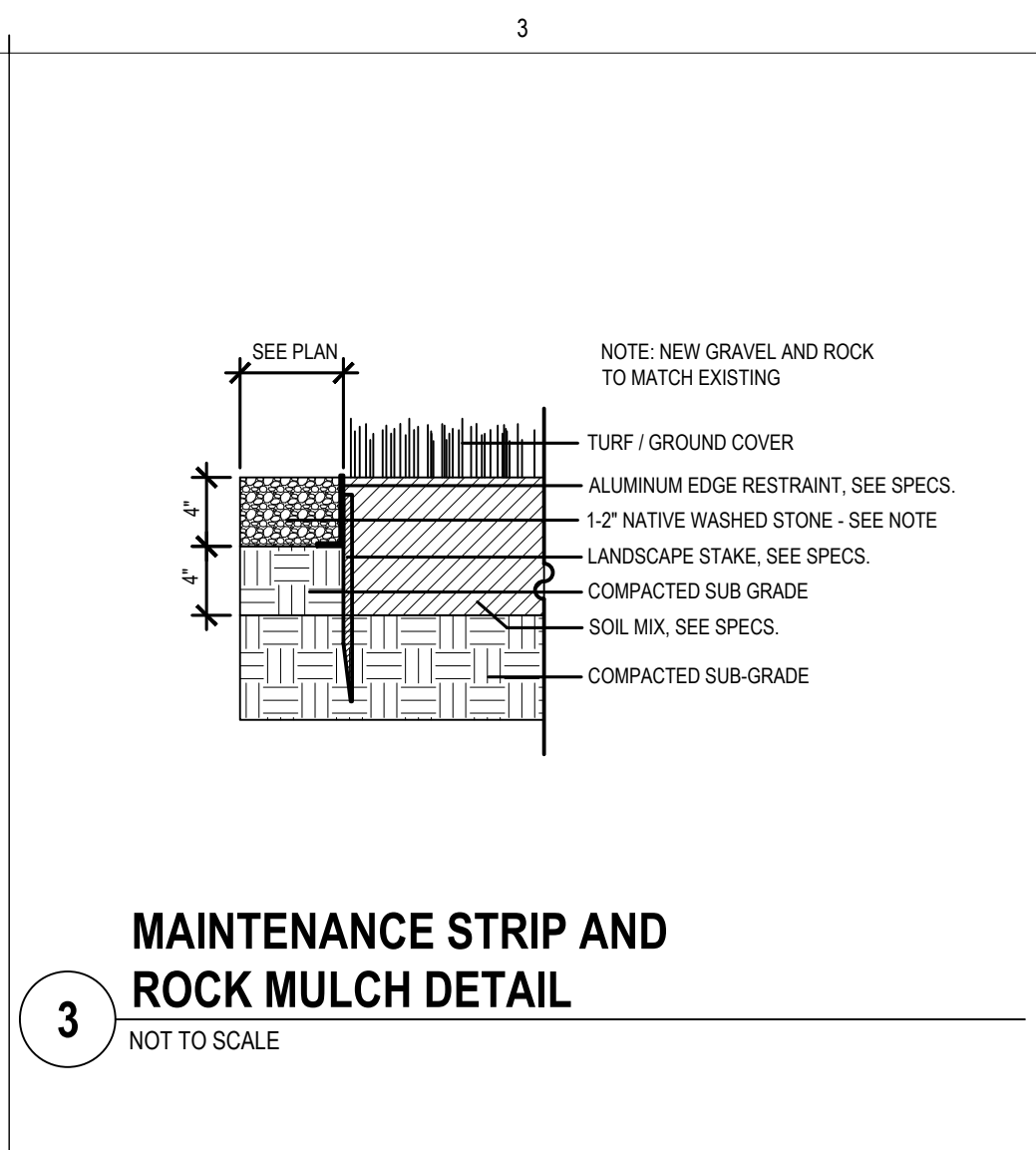
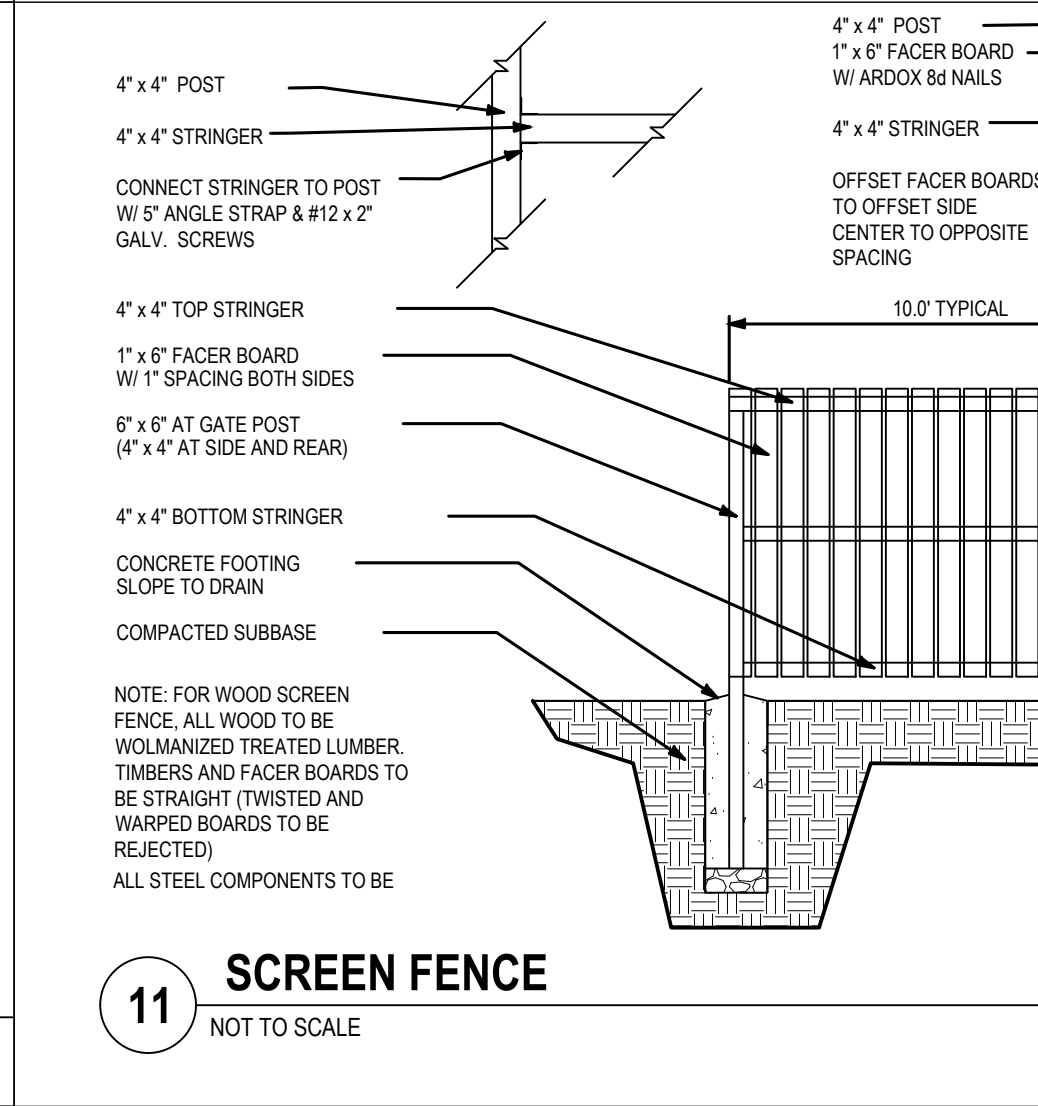
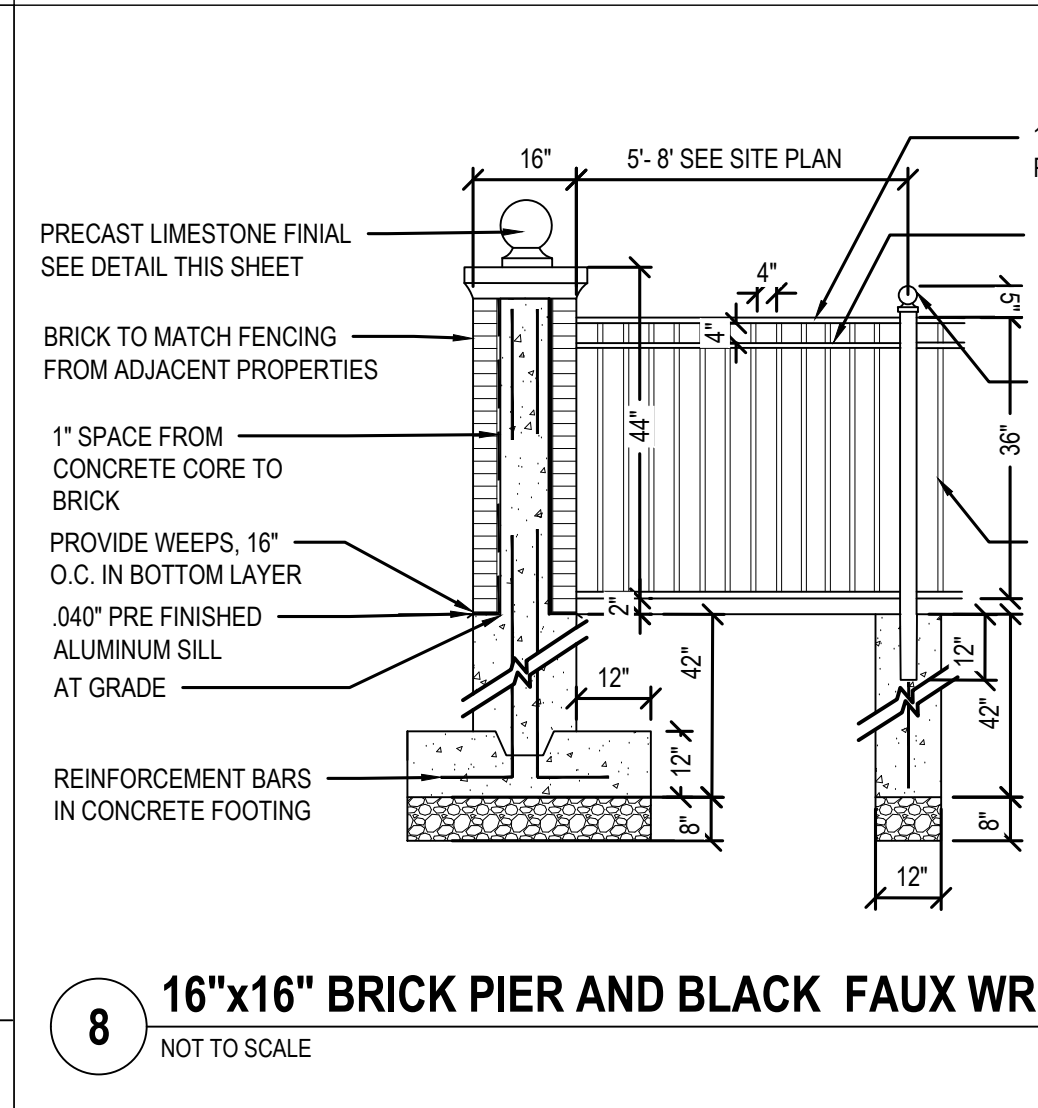
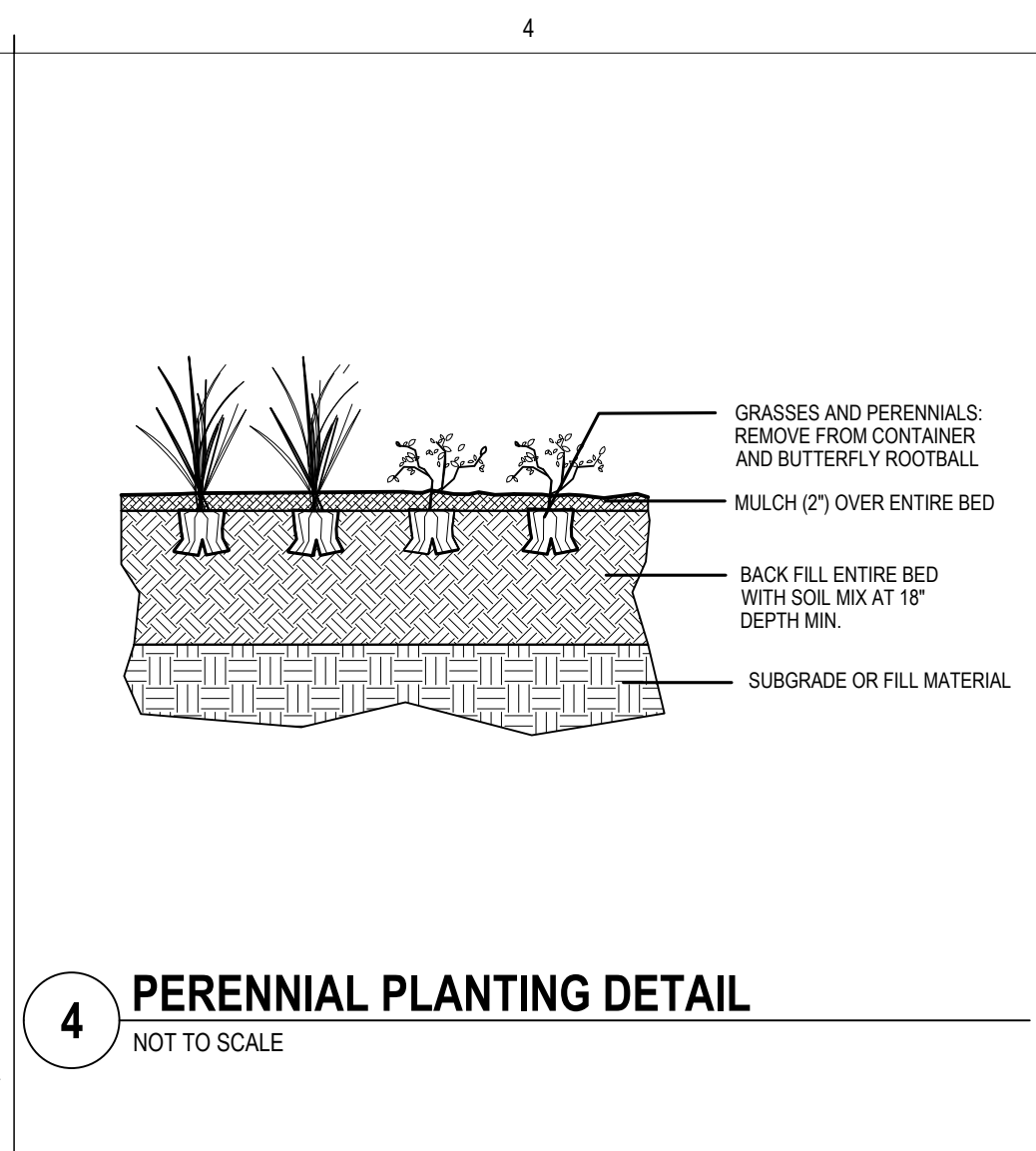
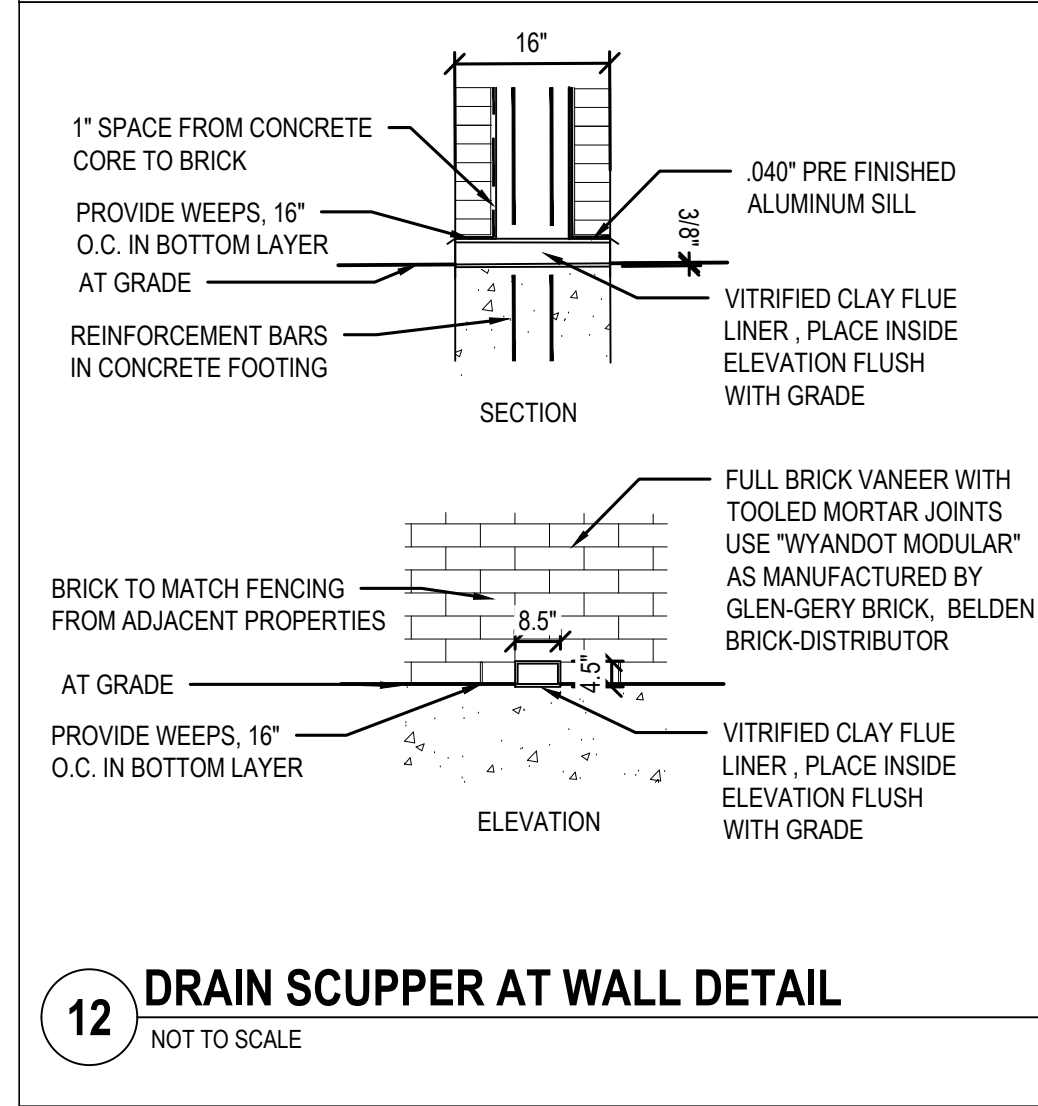
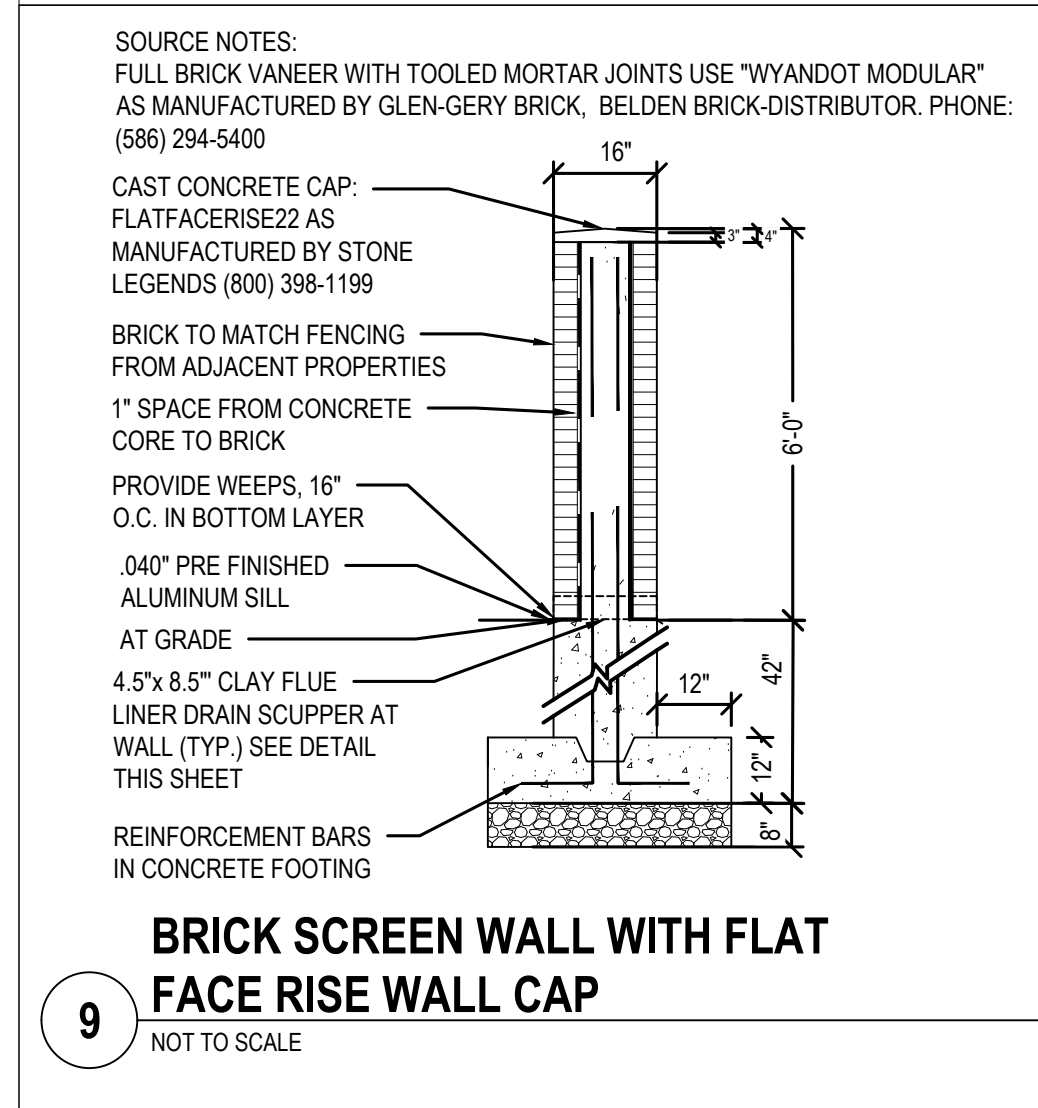
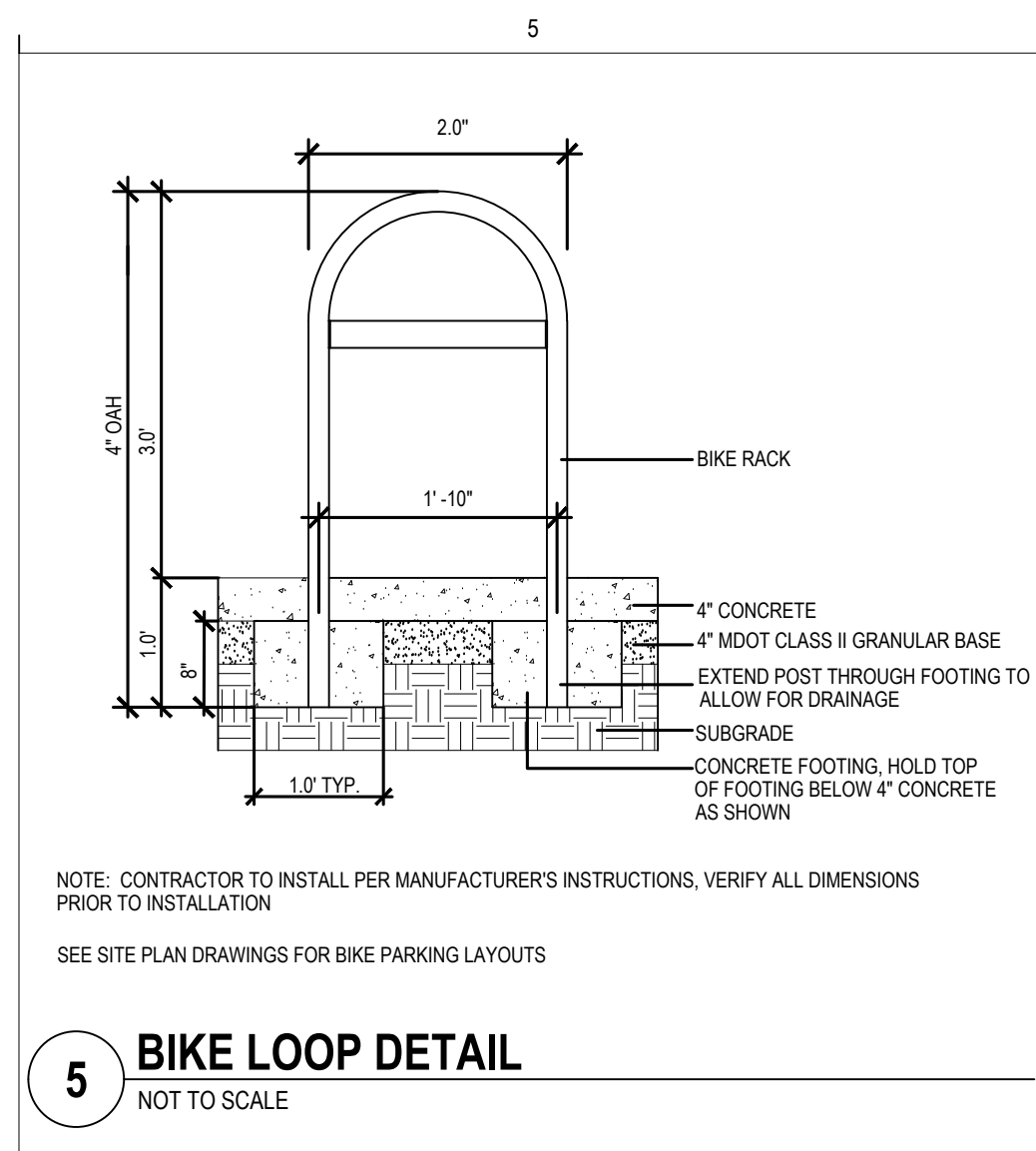


2 TIME CLOCK DIAGRAM
 SCALE: NOT TO SCALE



1 LIGHTING FLOOR PLAN
 SCALE: 3/8" = 1'-0"

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SCOOTER'S COFFEE
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 1490 WEST ANN ARBOR RD., PLYMOUTH, MI 48170
 1811 4 Mile Rd NE, Grand Rapids, MI 49525 (616) 361-2654 www.progressiveae.com

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 MDOT REVIEW 12/01/2021
REVISIONS
 NO. DATE DESCRIPTION
 FILE NUMBER 91880004
 PROJECT MANAGER JPM
 PROFESSIONAL DRAWN BY SRV
 CHECKED BY
LANDSCAPE DETAILS L2.01



CITY OF PLYMOUTH

201 S. Main
Plymouth, Michigan 48170

www.plymouthmi.gov

Phone 734-453-1234
Fax 734-455-1892

City of Plymouth Planning Commission 2021 Annual Report

The City of Plymouth Planning Commission is made up of nine members. They regularly meet on the second Wednesday of the month at 7:00 pm in the Commission Chambers at City Hall located at 201 S. Main. Due to the COVID-19 pandemic the Commission met online via Zoom January through December. A typical meeting consists of public comments, review of the previous meetings minutes, commissioner comments, public hearings, new and/or old business, and reports and correspondence from staff. Planning Commission members for the 2021 year included: Karen Sisolak (Chair), Jennifer Kehoe (Vice-Chair) (retired in October), Joe Hawthorne, Shannon Adams, Scott Silvers, Chuck Myslinski (retired in April), Adam Offerman (retired in August), Tim Joy, Hollie Saraswat, and Eric Stalter (appointed in October).

The Planning Commission met fifteen times during 2021. Of those fifteen meetings, twelve were regularly scheduled meetings. This meets the requirements of the Michigan Planning Enabling Act (MPEA) for the minimum number of meetings (4).

The main purpose of this report is to meet the requirements of the MPEA. However, this report increases information sharing between staff, boards, commissions, and the City Commission. This report anticipates upcoming issues and asks the Planning Commission to identify priorities so that staff may appropriately allocate time and resources. Lastly, it is the opportunity to reflect on the hard work of the past year and thank our dedicated appointed and elected officials for their support of the City’s planning and zoning efforts.

The Planning Commission’s primary accomplishments for the year were completing nine site plan reviews and amending the multi-family residential district.

Tables of Contents

Planning Commission Goals.....	2
Master Plan Review.....	2
Master Plan Implementation Matrix.....	3
Zoning Ordinance Amendments.....	4
Development Reviews.....	5
Variance Requests.....	6
Action by City Commission.....	7
Zoning Map.....	7
Trainings.....	7
Joint Meetings.....	7

Planning Commission 2021 Goals

The goals adopted on January 13, 2021 are below:

1. Focus on education by scheduling four educational, working sessions on the following dates: February 24, March 24, October 27, and November 17.
 - a. COMPLETE: Met on February 24, March 24, and October 27 (special meeting).
2. Draft a Form Based Code test case.
 - a. IN PROGRESS: Discussed MAP training video on FBCs on March 24.
3. Approve a mixed use, high density zoning ordinance.
 - a. IN PROGRESS: This goal evolved and got combined with form based code initiatives. Initial presentations were made to the Planning Commission on February 10 with subsequent discussions on March 10, April 14, June 9, and July 14.
4. Review existing ordinances for amendments related to residential building heights and habitable space within accessory buildings.
 - a. IN PROGRESS: Held joint educational working session with ZBA on February 24.

Master Plan Review

The Planning Commission and City Commission adopted the Master Plan update on August 15, 2018 and September 17, 2018, respectively.

Below are the Master Plan goals

CC Strategic Plan Goal Topics	Guiding Master Plan Goals for Land Use
Goal I: Quality of Life	<ul style="list-style-type: none">• Encourage appropriate home sizing & massing• Create lifelong neighborhoods of diverse housing for various income levels• Maintain and enhance the tree canopy• Encourage historic preservation
Goal II: Financial Stability	<ul style="list-style-type: none">• Plan for a variety of land uses that creates a dynamic environment supportive of residences, community institutions, and businesses
Goal III: Economic Vitality	<ul style="list-style-type: none">• Promote a welcoming environment for commercial business & industry• Encourage environmentally sensitive/context sensitive and sustainable development
Goal IV: Service Infrastructure	<ul style="list-style-type: none">• Improve street mobility, connectivity & safety• Plan for vehicular needs, including parking

Reflection:

To accomplish the various goals outlined in the document, the Planning Commission needs to identify their top priority (topic) out of the Implementation Matrix of the Master Plan and the Master Plan Goals for Land Use. Once this is identified, the Planning Commission, with the help of Community Development staff and approval of the City Commission, can take steps to implement those goals. The next page includes some of the actions identified in the Master Plan Implementation Matrix that could be selected as accomplishable tasks during 2022.

Master Plan Implementation Matrix

Below is a portion of the Implementation Matrix from the Master Plan. Included are the items that have been designated as “Immediate” or “Short Term” priorities and the Planning Commission is one of the responsible parties.

Action	Priority Term	City Commission Goal Area				Responsibility	Funding
		I	II	III	IV		
Regulatory and Policy Change							
<i>Redevelopment Ready Communities</i>							
Ensure clear definitions and requirements are included in necessary sections of the ordinance	Short	X				PC, CDD	CDD
Review the Zoning Map annually, update if and as necessary	Cont.	X				PC	CDD
Review and clarify special land use approval processes	Short				X	PC, CDD	CDD
Ensure industrial districts allow for compatible new economy-type businesses	Short				X	PC	CDD
Allow for non-traditional housing types in appropriate areas	Short	X		X		PC	CDD
<i>Site Design</i>							
Adopt clear, concise, enforceable ordinance requirements for landscaping, signage, lighting, parking, and access management for Commercial/Business districts	Short	X		X		PC	CDD
Adopt standards that encourage shared parking access and locates parking behind buildings	Short				X	PC	CDD
Adopt ordinance requirements that accommodate pedestrian activity within and around development	Short				X	PC	CDD
Adopt flexible parking standards	Short				X	PC	CDD
<i>Residential</i>							
Monitor and encourage appropriate home sizing and massing	Immed.	X				PC, CDD	CDD
Research requirements that would promote housing options for lifetime neighborhoods (i.e. ancillary dwelling units)	Short	X		X		PC, CDD	CDD
<i>Environmental</i>							
Maintain and enhance the City's tree canopy	Immed.	X				PC, CDD, DMS	CDD, DMS
Adopt standards that require low-impact development, sustainability, and energy conservation practices.	Short	X				PC	CDD
<i>Transportation</i>							
Adopt Complete Streets policies	Short	X			X	PC, CC	CDD
Partnerships, Programs, and Promotion							
Become a Redevelopment Ready Community through MEDC	Short			X		CDD, PC, CC	CDD, CC
Identify priority redevelopment sites/transitional properties and determine desired future use and development	Cont.	X				PC, CDD	CDD
Develop a clear vision for development outcomes and criteria for priority sites	Short	X				PC, CDD	CDD

Zoning Ordinance Amendments

The Planning Commission approved one zoning ordinance text amendment during the 2021 calendar year. That was the multi-family residential district.

Community Development staff expects 2022 to include continued discussion and research into zoning ordinance amendments. The ordinances listed below include some of the sections the Planning Commission may wish to examine and discuss further.

1. Landscaping requirements (Section 78-203)
2. Fences in front yards (Section 78-208)
3. Creation of non-conforming parcels (Section 78-351)
4. City-wide parking requirements (Section 78-270 through 78-275)
5. Projections into yards (Section 78-217)
6. Permitted and special land uses within each zoning district (Various sections)
7. FAR for zoning districts that allow single family as a special land use (Various sections)
8. Habitable space in detached garages
9. What does and does not contribute to lot coverage
10. What does and does not contribute to floor area ratio
11. Temporary uses
12. Mobile and temporary sales

The Planning Commission, through their 2022 Goal Setting session, may choose to address some, all, or other ordinances during the 2022 calendar year. There may be some ordinances that can be “batched” together to expedite the ordinance amendment process. Additionally, staff is suggesting setting a priority and only discussing ordinances that meet the priority.

Development Reviews

Project Type	Location	Description	Meeting Outcome	Fwd. to CC?	Date of Action
Text amendment and rezoning	Old Village/North Main	Create new mixed use, high density district and rezone affected parcels stated in the future land use map to said district	Tabled	No	Feb. 10, Mar. 10, Apr. 14, Jun. 9, Jul. 14
PUD amendment	550 N Holbrook	Amendment to allow building heights greater than 25-feet	Approved with conditions	Yes	Apr. 14, May 12
Site plan review	296 S. Main 006 02 0206 004	Permanent, year-round outdoor dining space adjacent to the Penn Grill in the alley behind Kilwin's	Approved	N/A	May 12
Site plan review	1250 S. Main	Adaptive reuse for Canzano Salon	Approved with conditions, fwd. to ZBA	N/A	May 12
Site plan review	690 Junction	New construction building and site improvements for Consumers Energy	Approved with conditions	N/A	Mar. 11
Text amendment	City-wide	Update RM-1, RM-2 zoning ordinance to accommodate modern housing types	Approved	Yes	Aug. 11, Sept. 8
Policy review	N/A	Planning Commission bylaws	Approved	N/A	Aug. 11, Sept. 8, Oct. 13
Site plan review and special land use	500 Forest	Front entrance reconfiguration and permanent enclosure of existing outdoor dining	Approved with conditions	N/A	Oct. 13, Oct. 27
Site plan review and special land use	844 Penniman	Building addition and permanent expansion of outdoor dining area	Approved with conditions	N/A	Oct. 13, Nov. 10
Site plan review	1115 S. Main	Addition onto the existing building	Approved with conditions, fwd. to ZBA Dec. 2	N/A	Oct. 13, Oct. 27
Site plan review and special land use	1490 W. Ann Arbor Road	New construction drive-through coffee shop	Approved with conditions	N/A	Oct. 13, Dec. 8
Site plan review	885 Fralick	Reconfiguration of Westborn Market parking lot	Tabled	N/A	Dec. 8

Variance Requests

Variance Type	Location	Description	Meeting Outcome	Date of Action
Use	606 Maple	Habitable space in detached garage	Denied	Jan. 7
Non-Use	1071 N. Holbrook	Rear yard lot coverage	Approved	Jan. 7
Non-Use	365 Joy	Front yard setback	Approved with conditions	Jan. 7
Non-Use	696 Forest	Front yard setback along Linden	Approved with conditions	Feb. 11
Non-Use	925 Fairground	Front yard setback	Approved with conditions	Feb. 16
Non-Use	1294 Maple	Side yard setback	Approved with conditions	Mar. 4
Non-Use	629 Herald	Front yard setback	Approved with conditions	Mar. 4
Non-Use	271 S. Main	Windows facing interior lot line within the side yard setback	Approved	Apr. 1
Non-Use	921 Sutherland	Garage height	Denied	Apr. 1
Non-Use	933 Church	Front yard setback	Approved with conditions	May 6
Non-Use	1012 William	Front yard fence height	Approved with conditions	Jun. 3
Non-Use	290 E. Pearl	Front yard setback for attached front-facing garage	Approved	Jun. 3
Non-Use	690 Junction	Front yard setback and front yard fence height	Approved	Jun. 3
Non-Use	1250 S. Main	Landscaping	Approved with conditions	Jun. 3
Non-Use	1112 Hartsough	Distance between house and garage and side yard setback for detached garage	Approved with conditions	Jul. 1
Non-Use	148 E. Spring	Side yard setback and front yard setback for porch	Approved with conditions	Sep. 2
Non-Use	123 N. Union	Side yard setback	Approved with conditions	Sep. 2
Non-Use	718 Burroughs	Generator location	Approved with conditions	Oct. 7
Non-Use	885 Fralick	Landscape buffer along Fralick, private parking area exceeding six spaces, locating parking area not in the rear yard, parking area exceeding 19-foot maximum depth	Approved	Oct. 7
Non-Use	1115 S. Main	Landscape buffer and AC screening	Approved with conditions	Dec. 2

Actions by City Commission

The following list includes all the planning and development related actions taken by the City Commission during 2021.

Description	Date of Action
Beck Road Business Corridor Improvement Project – Resolution of Support – approved	April 5
Wayne County Stormwater Standards Ordinance amendment – first reading	June 21
Wayne County Stormwater Standards Ordinance amendment – second reading + approval	July 6
Starkweather School PUD amendment – first reading	July 6
Starkweather School PUD amendment – second reading + approval	July 19
GIS Tax Map (Plat Map) – contract approved	Sept. 20
City Planner retainer renewal – contract approved	Oct. 4
Downtown patios – extension to December 31, 2021	Oct. 18
RM-1, RM-2 text amendment – first reading	Oct. 18
RM-1, RM-2 text amendment – second reading + approval	Nov. 1

Zoning Map

There were no changes made to the Zoning Map during 2021.

Trainings

Due to COVID-19, training sessions were provided virtually this year. Training sessions included a presentation from the Building Official on building height and new construction zoning review and discussions on form based codes, Planning Commission rules and conduct, and planned unit developments at the conclusion of watching MAP training videos.

Potential training(s) in 2022 include additional Carlisle-Wortman Associates session(s) and Michigan Municipal League (MML) and Michigan Association of Planning (MAP) conferences and sessions.

Joint Meetings

There was a joint meeting with the ZBA on February 24. This meeting was an educational working session that covered building height, accessory structure height, and habitable space.