



# City of Plymouth Zoning Board of Appeals Regular Meeting Agenda

Thursday, April 7, 2022 – 7:00 p.m.

City Hall Commission Chambers & Online Zoom Webinar

City of Plymouth  
201 South Main Street  
Plymouth, Michigan 48170

[www.plymouthmi.gov](http://www.plymouthmi.gov)  
Phone 734-453-1234  
Fax 734-455-1892

<https://us02web.zoom.us/j/82291631675>

Passcode: 103550

Webinar ID: 822 9163 1675

- 1) **CALL TO ORDER**
  - a) Roll Call
- 2) **CITIZEN COMMENTS**
- 3) **APPROVAL OF THE MINUTES**
  - a) Approval of the March 3, 2022, regular meeting minutes
- 4) **APPROVAL OF THE AGENDA**
- 5) **OLD BUSINESS**
- 6) **NEW BUSINESS**
  - a) **Z 22-02:** 712 Fairground, non-use variance for front yard setback along Joy
  - b) **Z 22-03:** 170 Blunk, non-use variance for garage height
- 7) **BOARD MEMBER COMMENTS**
- 8) **REPORTS AND CORRESPONDENCE**
- 9) **ADJOURNMENT**

Citizen Comments - This section of the agenda allows up to 3 minutes to present information or raise issues regarding items not on the agenda. Upon arising to address the Commission, speakers should first identify themselves by clearly stating their name and address. Comments must be limited to the subject of the item.

Persons with disabilities needing assistance should contact the City Clerk's office at 734-453-1234 ext. 234 Monday through Friday from 8:00 a.m. -4:30 p.m., at least 24 hours prior to the meeting. An attempt will be made to make reasonable accommodations.

# City of Plymouth Strategic Plan 2022-2026

## GOAL AREA ONE – SUSTAINABLE INFRASTRUCTURE

### OBJECTIVES

1. Identify and establish sustainable financial model(s) for major capital projects, Old Village business district, 35<sup>th</sup> District Court, recreation department, and public safety
2. Incorporate eco-friendly, sustainable practices into city assets, services, and policies; including more environmentally friendly surfaces, reduced impervious surfaces, expanded recycling and composting services, prioritizing native and pollinator-friendly plants, encouraging rain gardens, and growing a mature tree canopy
3. Partner with or become members of additional environmentally aware organizations
4. Increase technology infrastructure into city assets, services, and policies
5. Continue sustainable infrastructure improvement for utilities, facilities, and fleet
6. Address changing vehicular habits, including paid parking system /parking deck replacement plan, electric vehicle (EV) charging stations, and one-way street options

## GOAL AREA TWO – STAFF DEVELOPMENT, TRAINING, AND SUCCESSION

### OBJECTIVES

1. Create a 5-year staffing projection
2. Review current recruitment strategies and identify additional resources
3. Identify/establish flex scheduling positions and procedures
4. Develop a plan for an internship program
5. Review potential department collaborations
6. Hire an additional recreation professional
7. Review current diversity, equity, and inclusion training opportunities
8. Seek out training opportunities for serving diverse communities

## GOAL AREA THREE – COMMUNITY CONNECTIVITY

### OBJECTIVES

1. Engage in partnerships with public, private and non-profit entities
2. Increase residential/business education programs for active citizen engagement
3. Robust diversity, equity, and inclusion programs
4. Actively participate with multi-governmental lobbies (Michigan Municipal League, Conference of Western Wayne, etc.)

## GOAL AREA FOUR – ATTRACTIVE, LIVABLE COMMUNITY

### OBJECTIVES

1. Create vibrant commercial districts by seeking appropriate mixed-use development, marketing transitional properties, and implementing Redevelopment Ready Communities (RRC) practices
2. Improve existing and pursue additional recreational and public green space opportunities and facilities for all ages
3. Develop multi-modal transportation plan which prioritizes pedestrian and biker safety
4. Improve link between Hines Park, Old Village, Downtown Plymouth, Plymouth Township, and other regional destinations
5. Maintain safe, well-lit neighborhoods with diverse housing stock that maximizes resident livability and satisfaction
6. Modernize and update zoning ordinance to reflect community vision
7. Implement Kellogg Park master plan



City of Plymouth  
Zoning Board of Appeals  
Regular Meeting Minutes  
Thursday, March 3, 2022 - 7:00 p.m.

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City of Plymouth  
201 S. Main  
Plymouth, Michigan 48170-1637

www.plymouthmi.gov  
Phone 734-453-1234  
Fax 734-455-1892

**1. CALL TO ORDER**

Chair Joe Elliott called the meeting to order at 7:00 p.m.

Present: Chair Elliott, Vice Chair Jim Burrows, Members Mike Devine, Dave Latawiec, Mike Pappas  
Also present: Assistant Community Development Director Greta Bolhuis

**2. CITIZENS COMMENTS**

There were no citizen comments.

**3. APPROVAL OF THE MEETING MINUTES**

Burrows offered a motion, seconded by Pappas, to approve the minutes of the December 2, 2021 meeting.

There was a roll call vote.

Yes: Burrows, Devine, Latawiec, Pappas, Elliott

MOTION PASSED 5-0

**4. APPROVAL OF THE AGENDA**

Burrows offered a motion, seconded by Pappas, to approve the agenda for March 3, 2022.

There was a roll call vote.

Yes: Burrows, Devine, Latawiec, Pappas, Elliott

MOTION PASSED 5-0

**5. ELECTION OF OFFICERS**

Devine nominated Elliott for the position of Zoning Board of Appeals Chair for calendar year 2022. There were no other nominations.

There was a roll call vote.

Yes: Burrows, Devine, Latawiec, Pappas, Elliott

MOTION PASSED 5-0

Devine nominated Burrows for the position of Zoning Board of Appeals Vice Chair for calendar year 2022. There were no other nominations.

There was a roll call vote.

Yes: Burrows, Devine, Latawiec, Pappas, Elliott

MOTION PASSED 5-0

## **6. OLD BUSINESS**

There was no old business.

## **7. NEW BUSINESS**

- a. Z22-01 – 190 Hamilton, non-use variance for front yard setback for covered porch and bedroom addition

Lisa Vendittelli presented her case and builder Jacob Rizer was in attendance to answer any questions. The applicant explained that she wanted to keep the character of the home while expanding the front room to accommodate a larger, usable bedroom.

### ***Citizen Comments***

There were no citizen comments.

### ***Board Comments***

Board members discussed the proposed project and commented that, while the covered porch addition might be acceptable, the bedroom addition could be placed elsewhere on the home without a variance. They explained their decision couldn't be about the circumstances and situations of the property owner but must be about the property itself.

### ***Motion***

Devine offered a motion, seconded by Burrows, to approve a variance of 6.3' of the south corner of the porch and 6.9' of the north corner of the proposed addition.

### ***Findings of Fact***

There is no practical difficulty.  
The project does not warrant a variance.

There was a roll call vote.

No: Burrows, Devine, Latawiec, Pappas, Elliott  
MOTION FAILED 5-0

- b. ZBA Bylaws

The group reviewed the bylaws, which are a requirement of the Redevelopment Ready Communities.

Devine offered a motion, seconded by Burrows, to adopt the proposed ZBA bylaws as amended. The amendments are as follows:

- Add "of 6" to page number footer
- Add "at a public hearing" to 2.E
- Correct section number in 4.E.8
- Add 5.G to say, "Variances expire if not acted upon in one year."
- Add "will be drafted and" to 6.A after "regularly scheduled meetings"
- Change "if" to "whether" in 6.D
- Add language to give the applicant an option to postpone if fewer than five members are in attendance in Section 6.D
- Change "two-thirds of the" to "four" in 6.F

Devine and Burrows agreed with the proposed amendments

There was a roll call vote.

Yes: Burrows, Devine, Latawiec, Pappas, Elliott

MOTION PASSED 5-0

#### **8. BOARD MEMBER COMMENTS**

Members welcomed Dave Latawiec to the board.

Devine asked Bolhuis about training opportunities. She replied the group would likely train with Northville at some point.

#### **9. REPORTS AND CORRESPONDENCE**

There were no reports or correspondence.

#### **10. ADJOURNMENT**

A motion to adjourn was offered at 7:37 p.m. by Burrows and seconded by Pappas.

There was a roll call vote.

Yes: Burrows, Devine, Latawiec, Pappas, Elliott

MOTION PASSED 5-0

DRAFT



# City of Plymouth Zoning Board of Appeals Memorandum

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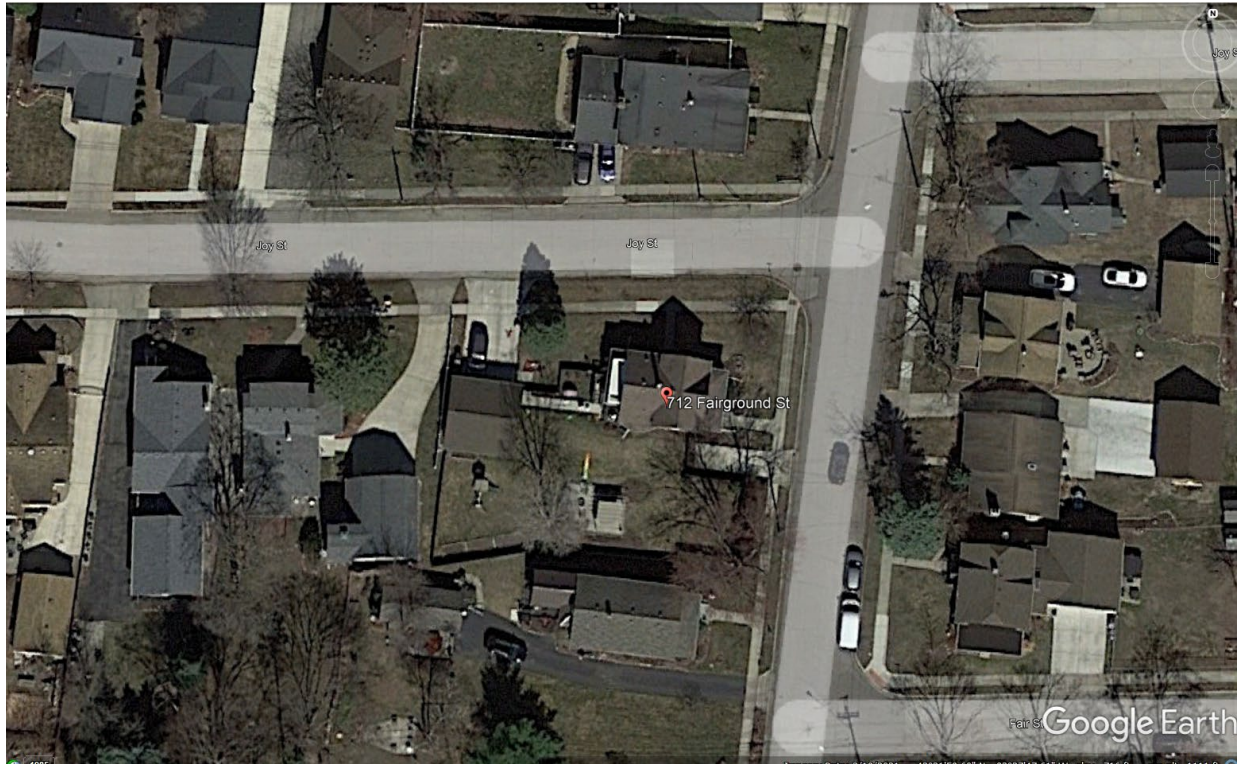
TO: Zoning Board of Appeals Commissioners  
FROM: Greta Bolhuis, Assistant Community Development Director  
DATE: March 29, 2022  
RE: 712 Fairground, Non-Use Variance Request

Kristin McHale-Johnson, owner, is requesting a non-use variance to construct a rear and second story addition in the front yard setback. The property is approximately 92 feet wide by 123 feet deep. The property is approximately 11,326 square feet and is zoned R-1, Single Family Residential.

Section 78-191 (o) states "The established front setback for structures within ... R-1 ... zoning districts shall be at least 90 percent of the average front yard setback of surrounding buildings." A front yard setback along Joy Street of 14.4 feet is proposed. A variance of 3.6 feet is required for the proposed addition.

Please note that the construction drawings have been incorrectly labeled as having an 11' 5" front yard setback along Joy. The Building Official has field verified that the proposed front yard setback is 14' 5" (14.4').

Should you have any questions regarding this agenda item, please contact me directly.



RECEIVED

MAR 11 2022



Z 22-02 712 Fairground  
Front yard setback  
ZBA Mtg 4/7/22

CITY OF PLYMOUTH  
COMMUNITY DEVELOPMENT

## DIMENSIONAL (NON-USE) VARIANCE APPLICATION

Community Development Department

201 S. Main Street Plymouth, MI 48170 Ph. 734-453-1234 ext. 232

Website: [www.plymouthmi.gov](http://www.plymouthmi.gov)

Type of Variance Request: DIMENSIONAL – Common regulations subject to dimensional (non-use) variance requests: setbacks, signs, height, parking regulations, lot coverage, and bulk or landscaping restrictions. Uniqueness: odd shape, small size, wetland, creek, natural features, big trees or slopes.

<u>712 Fairground</u>		<u>3-11-22</u>	
Address of Property		Date of Application	
<u>Kristin-McHale Johnson</u>		<u>same</u>	
Applicant Name		Property Owner	
<u>712 Fairground</u>	<u>Plymouth</u>	<u>MI</u>	<u>48170</u>
Address	City	State	Zip
<u>kejohnson2@gmail.com</u>	<u>248-259-3931</u>		
Email	Phone		

Three Basic Functions of the ZBA:

1. Interpreting the zoning ordinance (text and map) and nonconforming situations.
2. Deciding appeals on administrative decisions, special land uses, or PUDs.
3. Granting variance requests.

Standards for Dimensional (Non-Use) Variance: [Click here to see full ordinance language.](#)

1. Ordinance unreasonably prevents the owner from using the property for what it is zoned
2. Variance will do substantial justice to the applicant, and the surrounding community
3. Problem is due to the unique circumstances of the property
4. Problem is not self-created

A quorum (3 members) is required for approval of all non-use variance requests.

The Zoning Board of Appeals meets the first Thursday of each month at 7:00PM. The completed application and necessary/applicable plans must be filed with a fee of \$250.00 for single family projects or \$500.00 for multi-family and non-residential. Visit the City's website for submittal deadlines and meeting dates: [Zoning Board of Appeals](#). Submit ten (10) hardcopies of the application and plans including but not limited to survey, plot map, building plans, and photos. One complete digital set of application materials shall be submitted on a flashdrive or emailed to <mailto:plans@plymouthmi.gov> (maximum file size is 100 MB).

The Zoning Board of Appeals will not accept incomplete applications. Signature of property owner and applicant, as well as notarization is required for every application. There are notaries located in City Hall. The Community Development Department has the right to remove an item from the agenda due to incompleteness.



Article and Section of the Zoning Ordinance for which an appeal or variance is being requested:

Section 78-190

I (We) hereby appeal to the Zoning Board of Appeals for a variance to: Rebuild the second floor per plans on an existing non-conforming house. We are asking for a front yard setback variance. We are on a corner lot and the front of the house conforms but the side setback does not. It is still considered "front setback" because we are on a corner lot. **Description of Property**

Current zoning classification: Single family

Current use of structure(s) on premises: Primary residence

Is it a corner or interior lot? Corner

Size and area of lot: 92' x 123' - 11,326 sf

Total square footage of existing main structure(s): 1,353

Total square footage of accessory structure(s): 576

Existing lot coverage (percentage) of all buildings and structures: 17%

Height of existing main and/or accessory structures: ~~22'11"~~ ?

**Description of Proposed Structures**

Dimensions and area of structure or addition to be constructed: 6' x 7' - 42sf, 2'6" x 10' - 26sf

Front yard setback after completion (measured from property line): 14'5"

Rear yard setback after completion (measured from property line): 46'

Side yard setback after completion (measured from property line): 39'

Height of proposed structure: 29'

Lot coverage (percentage) after completion: 17.6

Residential Only: Floor Area Ratio (FAR) after completion (shall not exceed 0.4): \_\_\_\_\_

A scaled drawing or boundary survey depicting the above information.

Please answer all of the following questions as they relate to the requested variance, use additional sheets as necessary:

1. What are the hardships to preventing compliance with the ordinance? Are these hardships an exception or unique to the property compared to other properties in the neighborhood/City? \_\_\_\_\_

The existing second floor bedrooms and closets are very small because of the way the roof is designed. Because of the knee walls and roof slope there isn't proper head room, closet space and room sizes for a growing family relative to other newer homes. House was built in 1922.

2. What effect will the variance have on neighboring properties? Will the variance alter the essential character of the area? \_\_\_\_\_

We would only be changing the footprint of the house by adding the 2'6" bumpout on the rear of the home. The second floor footprint essentially stays the same. We would be changing the exterior siding to James Hardie siding and changing the roof but keeping the style of the home the same.

3. Is the hardship which prevents you from complying with the ordinance self-imposed? How did the hardship come about? (NOTE: The ZBA has generally found that purely aesthetic consideration and self-created hardships are unacceptable grounds for a variance.) \_\_\_\_\_

The house is existing non conforming so it isn't self imposed. We are keeping the integrity of the house the same but are tweaking the 1st + 2nd floor plans to allow for a second back upstairs and a larger kitchen.

4. Why the property could not be reasonably used for the purposes permitted in that zone? \_\_\_\_\_

More space is desired for a growing family. We essentially would be working with the existing square footage but changing the floor plans. We would only be adding 67 sq. ft to the overall first floor plan.

I hereby depose and say that all the above statements and the statements contained in the papers submitted herewith are true and correct:

X [Signature]  
Signature of Property Owner

same  
Signature of Applicant

Subscribed and sworn before me this 3rd day of March, 2022

Amy VanMale  
Notary Public

AMY ELIZABETH VANMALE  
NOTARY PUBLIC - STATE OF MICHIGAN  
COUNTY OF WAYNE  
My Commission Expires July 20, 2025  
3

My Commission expires 7-20-25

Effective Date: 4/11/2018

## FRONT YARD SETBACK WORKSHEET

House Address: 379 JOY	House Address: 365 JOY	House Address: 353 JOY	House Address: 337 JOY	Your House Address: 712 FAIRBANK	House Address:	House Address:	House Address:
23'	12' 4"	19' 4"	25' 8"	DO NOT INCLUDE SETBACK			
1 FOOT BETWEEN SIDEWALK AND PROPERTY LINE				1 FOOT BETWEEN SIDEWALK AND PROPERTY LINE			
SIDEWALK	SIDEWALK	SIDEWALK	SIDEWALK	SIDEWALK	SIDEWALK	SIDEWALK	SIDEWALK

**Please label all addresses and front yard setbacks on above picture.**

What you need to do is get all the front yard setbacks within 200 ft. of your property and on the same side of the street. Add up all then divide by how many homes you used. Then multiply by .90. You must provide this information along with your building applications and plans.

\*\*Front yard property begins one foot in from the sidewalk.

\*\*\* If there is a porch on the home:  
 Covered porch: measure to the porch.  
 Uncovered porch: measure to the house foundation

\*\*\*\*There may be more or less homes in your equation than shown in the above picture depending on the width of lots in your area. Be sure to measure all setbacks within 200 ft. of your property.

Total sum of neighboring front yard setbacks = 80' 4"

Total number of homes used = 4

Sum of setbacks divided by homes used = 20' 1"

Then multiply this number by .90

**PROPOSED FRONT YARD SETBACK: 14' 5"**      **The allowed front yard setback for your property = 18'**

**Excerpt from the City of Plymouth Ordinance:** The established front setbacks for structures within established R-1, RT-1, MU O-1 and O-2 zoning districts shall be at least 90 percent of the average front yard setback of surrounding buildings. The average setback and front building line shall be determined by examining existing buildings located on the same side of the street and within 200 feet of the subject parcel. **If the resulting setback is less than 15 feet, then the allowed setback shall be no less than the allowed setback average.** The building official may exclude structures used in calculating average front setbacks when the structure deviates by more than 25 feet forward or back from the average setbacks of other structures found within 200 ft.



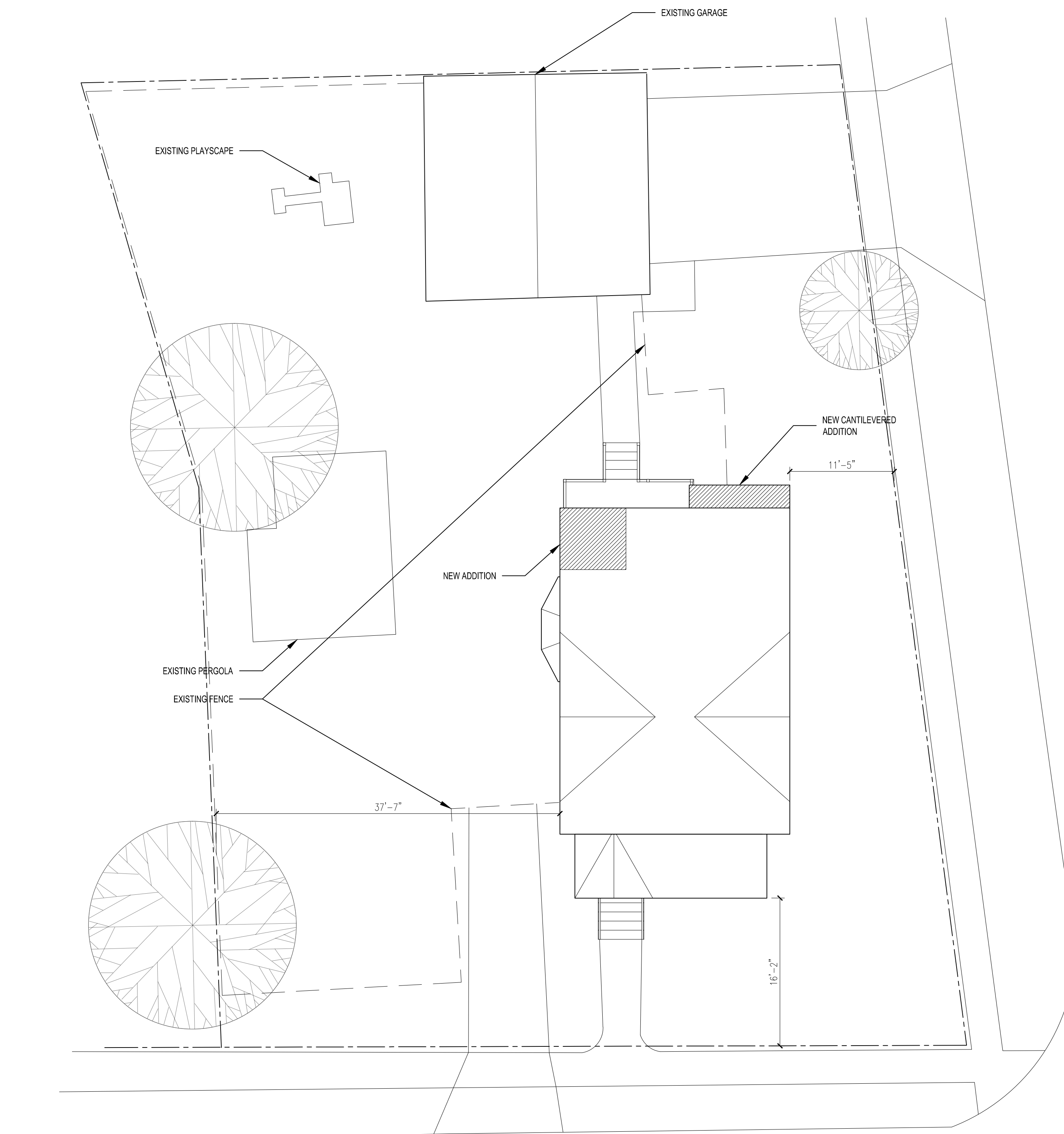
FORESTAGROUP.COM  
 33532 FIVE MILE RD.  
 LIVONIA, MI 48154  
 P. 248.471.2900

**NOTES**

CO-ORDINATE ALL PLANS WITH CONSTRUCTION MANUAL.  
 ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION.  
 G.C. IS RESPONSIBLE FOR OBTAINING, REVIEWING, AND DISTRIBUTING ALL DRAWINGS, DETAILS, AND EQUIPMENT AND MATERIAL SPECS.  
 G.C. SHALL PROVIDE CONSTRUCTION SCHEDULES, WEEKLY UPDATES, AND PHOTOS OF THE PROJECT THROUGHOUT THE DURATION OF CONSTRUCTION.  
 G.C. SHALL FIELD VERIFY ALL EXISTING CONDITIONS & IMMEDIATELY NOTIFY ARCHITECT OF ANY INCONSISTENCIES.  
 G.C. SHALL PROVIDE ON-SITE STORAGE FOR ALL EQUIPMENT AND MATERIAL DELIVERIES DURING CONSTRUCTION.  
 ALL REQUEST FOR INFORMATION MUST BE SUBMITTED ELECTRONICALLY.  
 WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMIT(S).  
 DO NOT SCALE DRAWINGS.  
 COPYRIGHT 2019  
 FORESTA ARCHITECTS, LLC.

**PROJECT INFORMATION**

OWNER	KRISTIN JOHNSON 712 FAIRGROUND ST PLYMOUTH, MI 48170
CODE	2015 MICHIGAN BUILDING CODE 2015 MICHIGAN PLUMBING CODE 2015 MICHIGAN MECHANICAL CODE 2017 NATIONAL ELECTRICAL CODE ICC/A117.1-2009 IFC 2015, NFPA
USE GROUP	RESIDENTIAL (R)
CONSTRUCTION TYPE	V-B
NOTES	THESE CONSTRUCTION DOCUMENTS WERE PREPARED WITH THE CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLETE WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS, AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHEREVER REQUIRED, SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE WITH THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.  G.C. SHALL VERIFY WORK WITH LANDLORD LEASE AGREEMENT.  ALL EQUIPMENT/MATERIAL CUT SHEETS AND SPECS SHALL BE INCLUDED AS PART OF THESE PLANS. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO REVIEW AND DISTRIBUTE TO ALL TRADES AS REQUIRED.



**SITE PLAN**

1/8" = 1' - 0"

**PROJECT**

20217

JOHNSON RESIDENCE  
 712 FAIRGROUND ST  
 PLYMOUTH, MI 48170

**SEAL**

**DATE**

06.08.2021

NO.	DESCRIPTION	DATE

**SUBMITTAL**

**SHEET NAME**

SITE PLAN

**SHEET #**

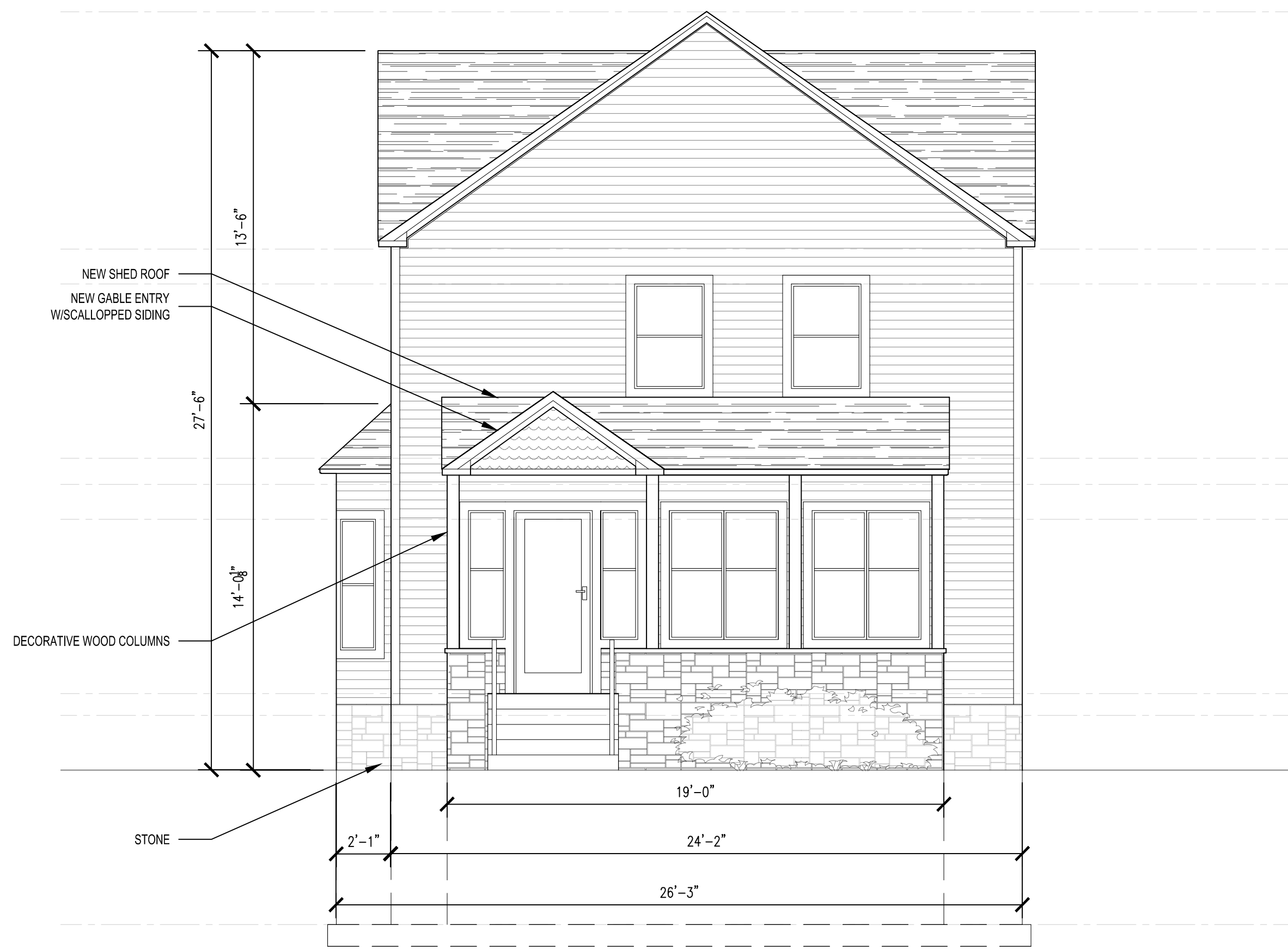
T1



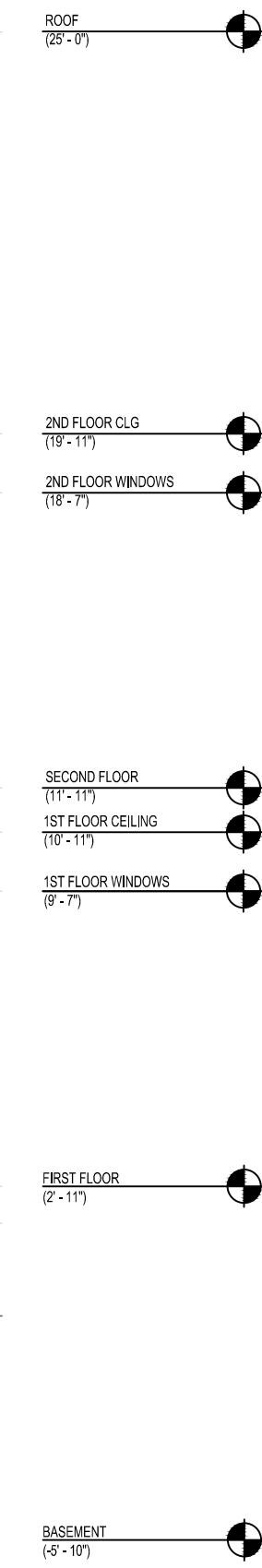
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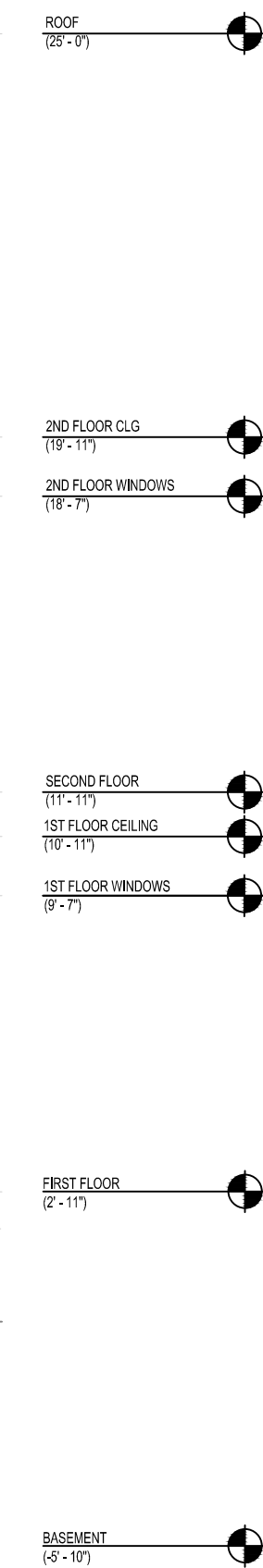
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**EAST ELEVATION**  
 1/4" = 1' - 0"



**NORTH ELEVATION**  
 1/4" = 1' - 0"



**WEST ELEVATION**  
 1/4" = 1' - 0"



**SOUTH ELEVATION**  
 1/4" = 1' - 0"

**PROJECT**

20217

JOHNSON RESIDENCE  
 712 FAIRGROUND ST  
 PLYMOUTH, MI 48170

**SEAL**

**DATE**

12.03.2020  
 NO. DESCRIPTION DATE

**SUBMITTAL**

**SHEET NAME**

ELEVATIONS

**SHEET #**

**A2**

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**PROJECT**

20217

JOHNSON RESIDENCE  
712 FAIRGROUND ST  
PLYMOUTH, MI 48170

**SEAL**

**DATE**

01.07.2021

NO.	DESCRIPTION	DATE

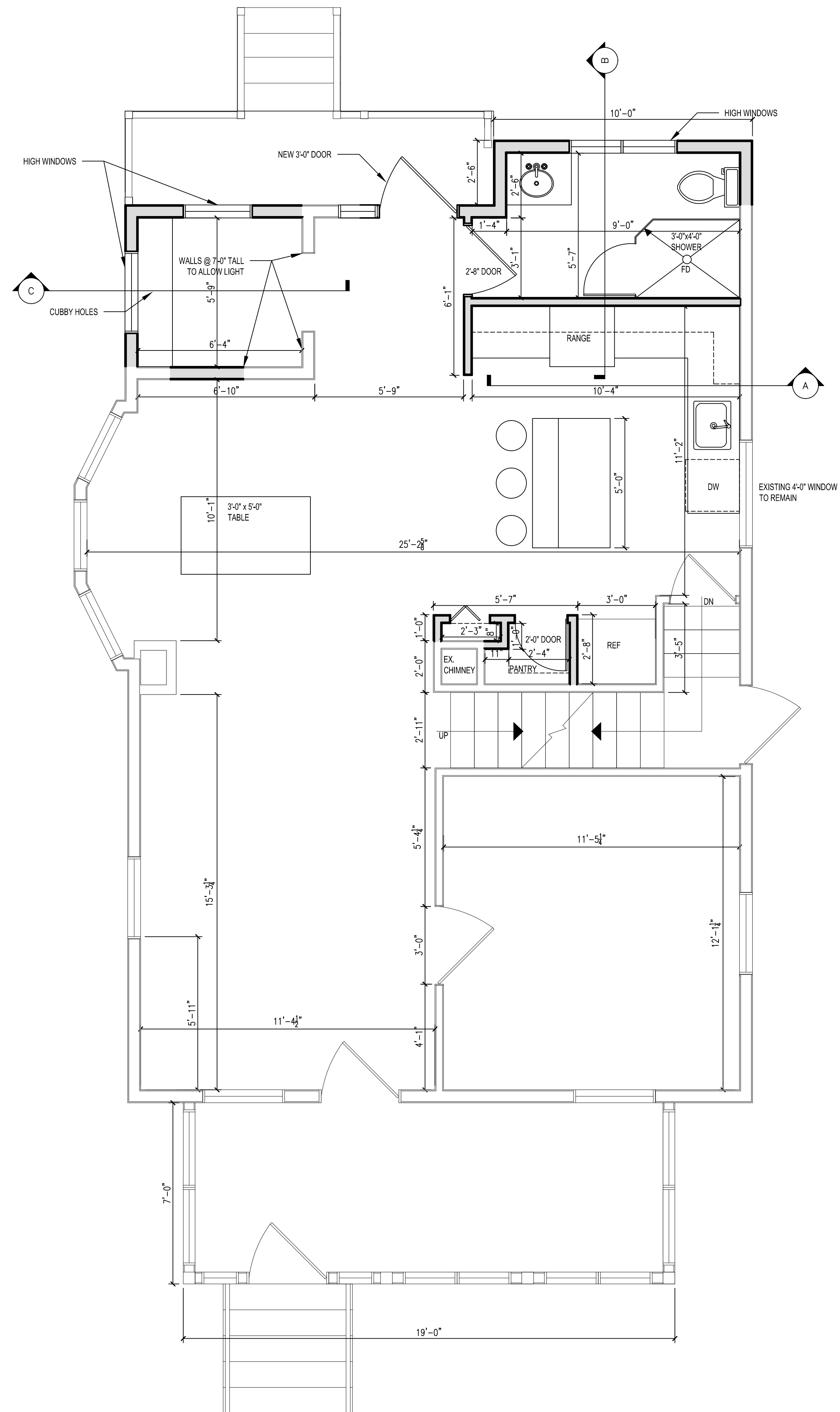
**SUBMITTAL**

**SHEET NAME**

PROPOSED FLOOR PLAN

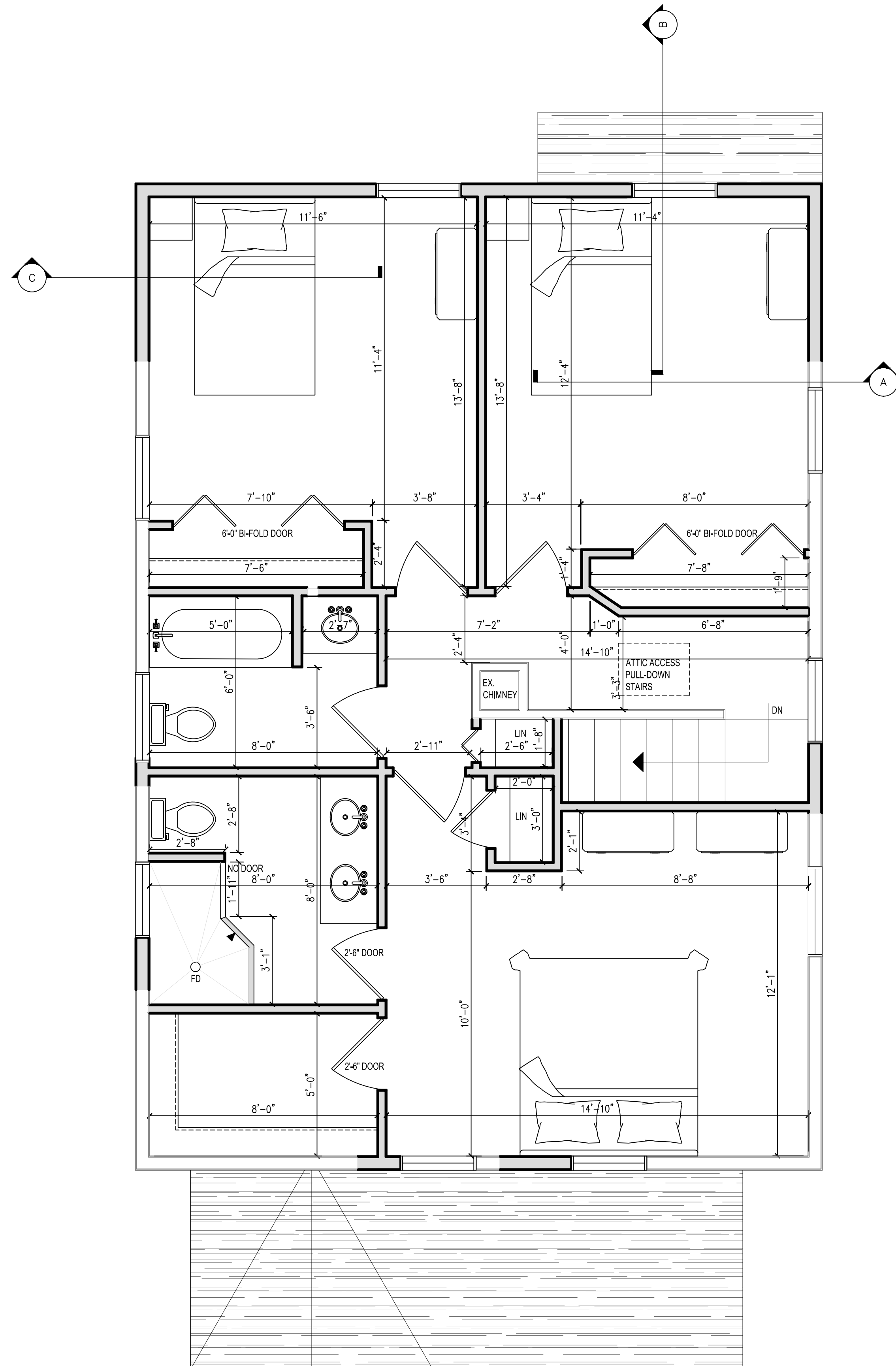
**SHEET #**

A3



**PROPOSED FIRST FLOOR PLAN**

3/8" = 1' - 0"



**PROPOSED SECOND FLOOR PLAN**

3/8" = 1' - 0"

## ELECTRICAL NOTES

1 ALL ELECTRICAL TO BE BUILT TO CODE

## LIGHTING FIXTURES

NO.	QTY.	DESC.	MANUF.	MODEL	LAMP	WATT
'A'	7	GENERIC LIGHTING FIXTURE	BY OWNER	TO BE DECIDED BY OWNER	LED	60 W
'B'	8	RECESSED DOWNLIGHT W/ SPEC CLR TRIM	BY OWNER	TO BE DECIDED BY OWNER	LED	32 W
'C'	3	SCONCE RESTROOM LIGHTING	BY OWNER	TO BE DECIDED BY OWNER	LED	
'D'	1	CHANDELIER	BY OWNER	TO BE DECIDED BY OWNER	LED	
'XR'	2	EXTERIOR GRADE SCONCE	BY OWNER	TO BE DECIDED BY OWNER	LED	

## RCP LEGEND

	RECESSED CAN LIGHT, MODEL TBD.
	SINGLE LIGHT SWITCH, GANG WHERE APPLICABLE, TYP.
	120V DUPLEX OUTLET
	120V GFI DUPLEX OUTLET, EXTERIOR GRADE FIXTURES WHERE APPLICABLE.
	WALL SCONCE LIGHT FIXTURE, MODELS TBD., EXTERIOR GRADE FIXTURES WHERE REQ'D.

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## PROJECT

20217

JOHNSON RESIDENCE  
712 FAIRGROUND ST  
PLYMOUTH, MI 48170

## SEAL

## DATE

03.19.2021

NO.	DESCRIPTION	DATE

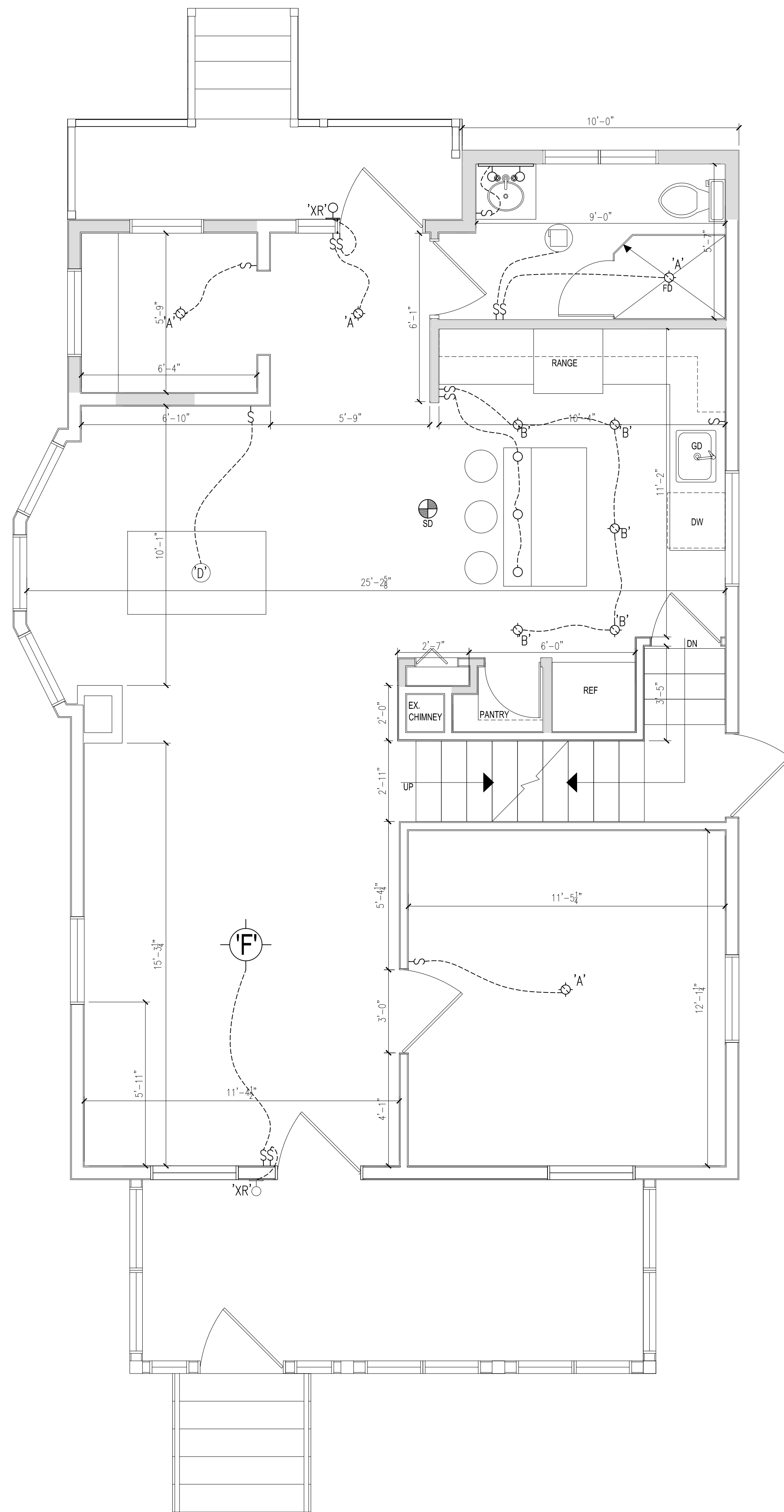
## SUBMITTAL

## SHEET NAME

LIGHTING PLAN

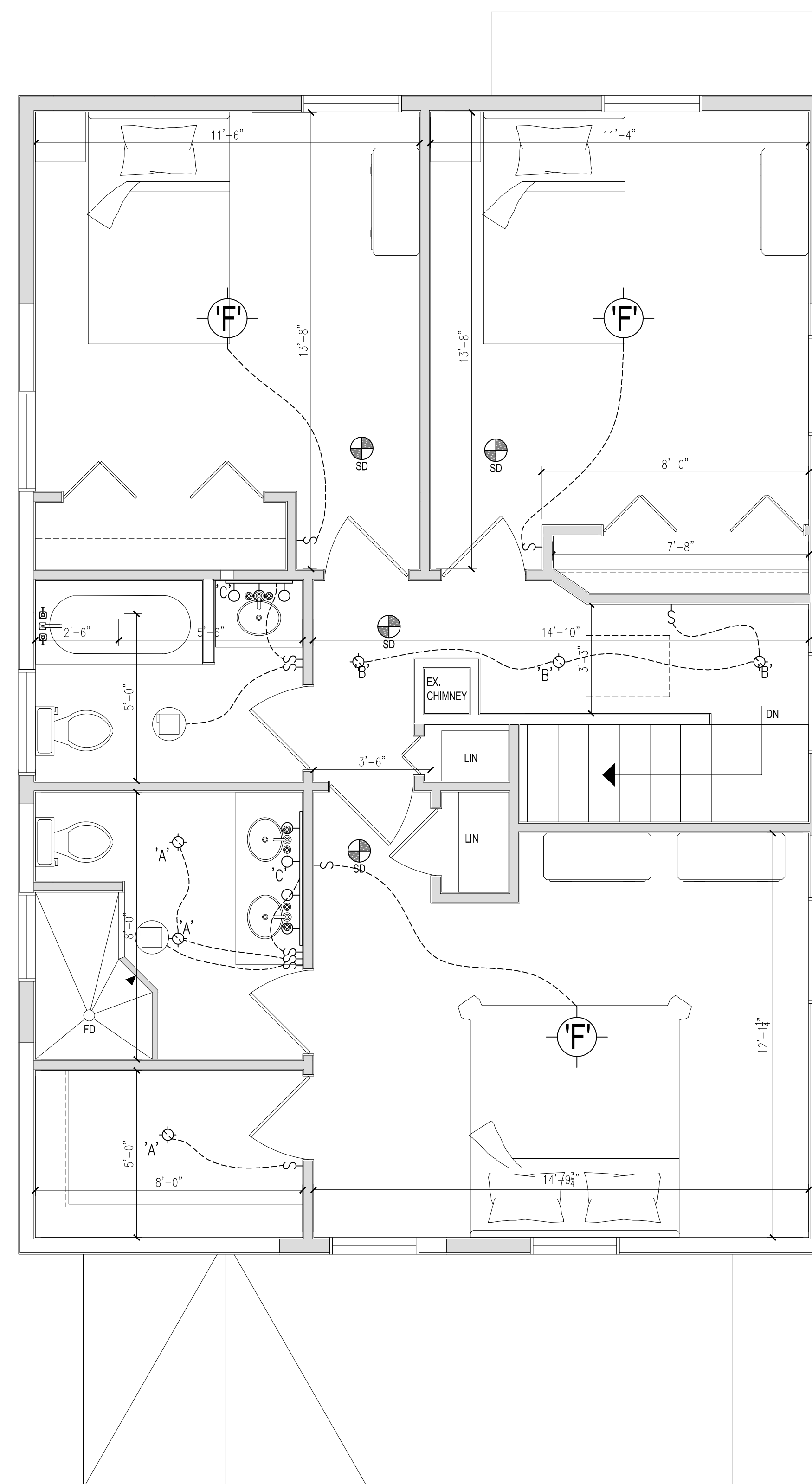
## SHEET #

A4



FIRST FLOOR LIGHTING PLAN

3/8" = 1' - 0"



SECOND FLOOR LIGHTING PLAN

3/8" = 1' - 0"



FORESTAGROUP.COM  
33532 FIVE MILE RD.  
LIVONIA, MI 48154  
P. 248.471.2900

**NOTES**

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- DO NOT SCALE DRAWINGS.
- COPYRIGHT 2019  
FORESTA ARCHITECTS, LLC.

**PROJECT**

20217

JOHNSON RESIDENCE  
712 FAIRGROUND ST  
PLYMOUTH, MI 48170

**SEAL**

**DATE**

03.19.2021

NO.	DESCRIPTION	DATE

**SUBMITTAL**

**SHEET NAME**

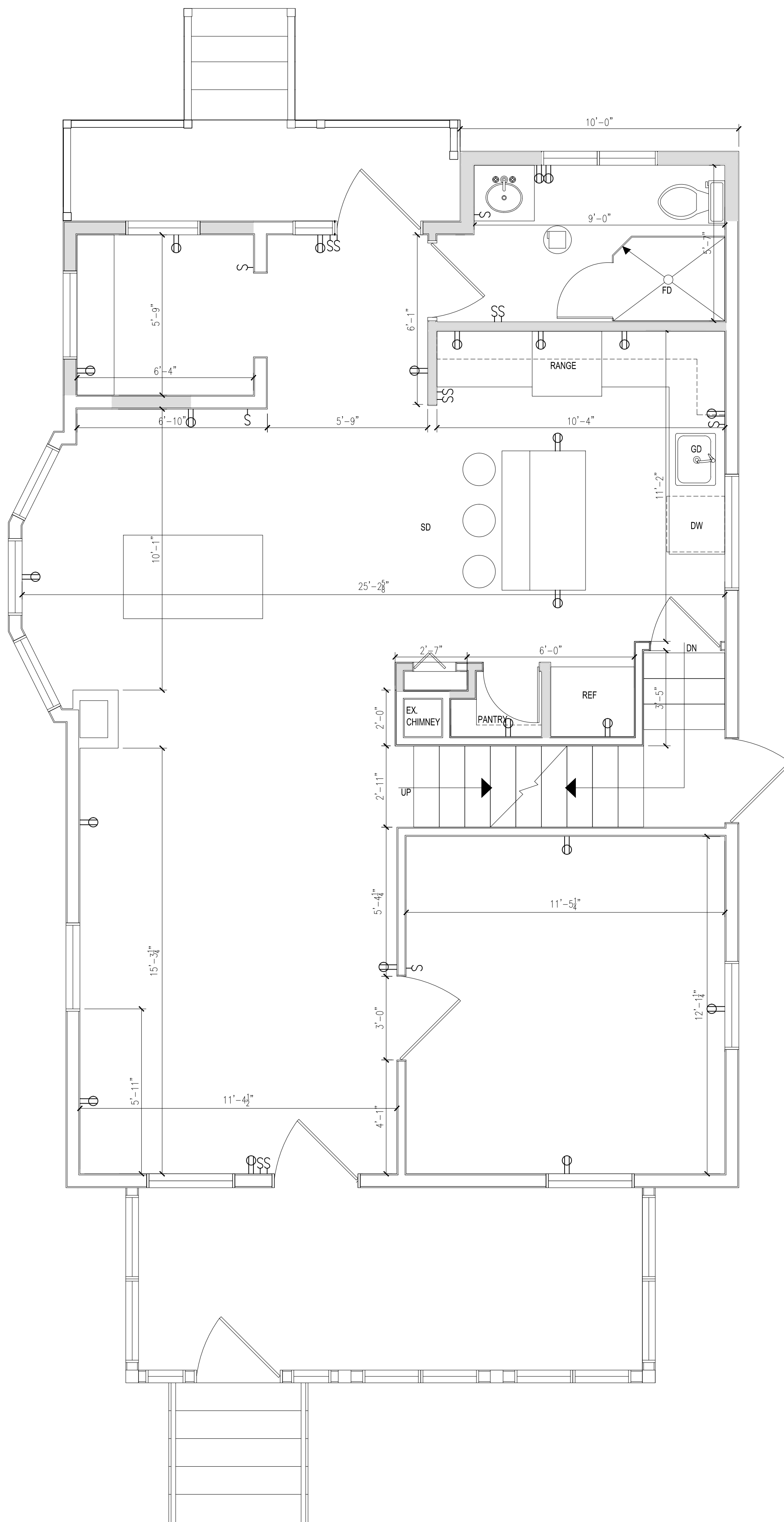
POWER PLAN

**SHEET #**

A5

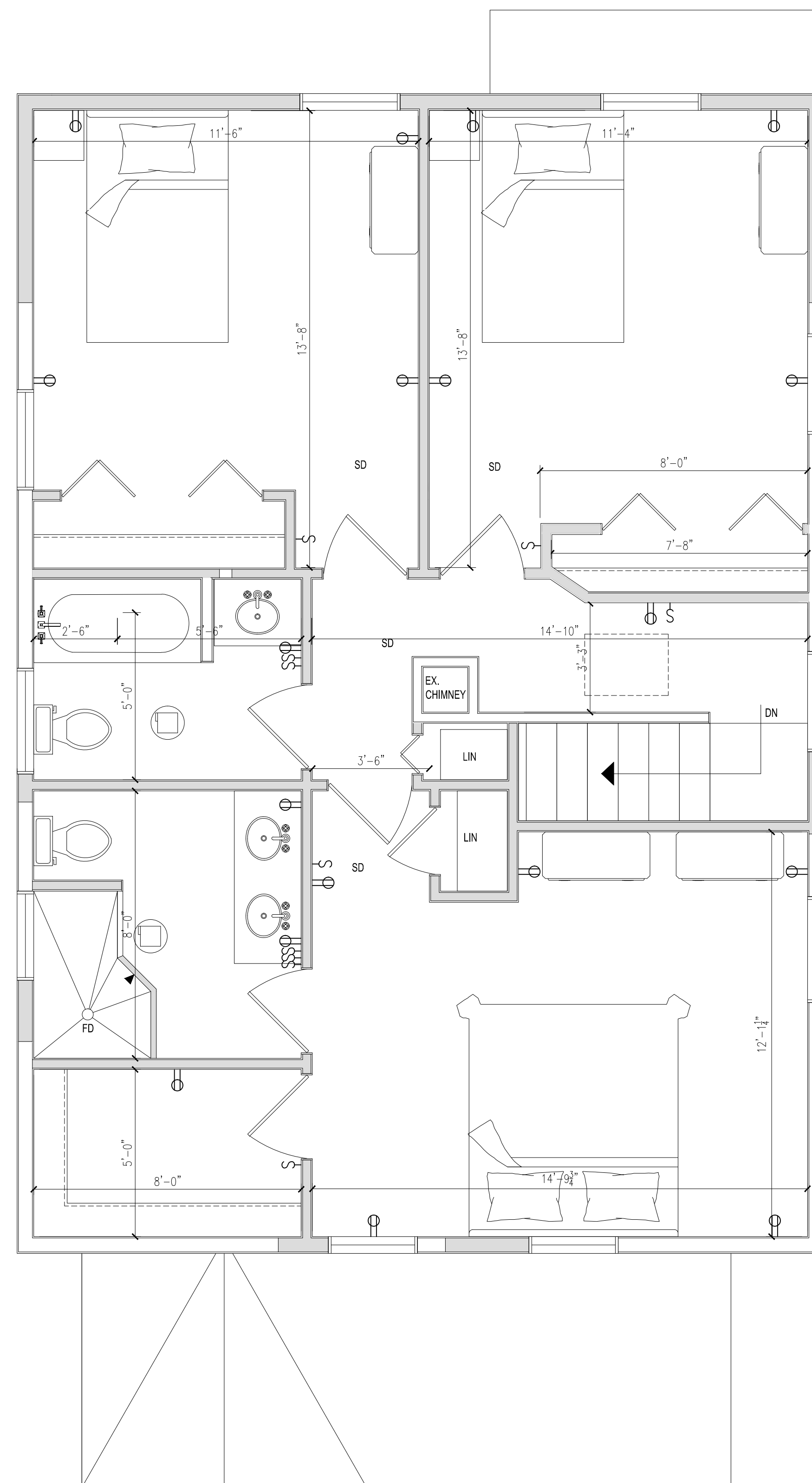
ELECTRICAL SPECIFICATIONS

1. MATERIAL - GENERAL: ALL ELECTRICAL MATERIALS SHALL BE NEW, UNLESS NOTED AND SHALL BE NATIONAL ELECTRICAL CODE STANDARD UNLESS BETTER GRADE IS MENTIONED HEREIN, AND SHALL BEAR THE UNDERWRITERS' LABORATORIES LABEL.
2. CODES & ORDINANCES: THE ELECTRICAL CONTRACTOR SHALL COMPLY WITH, AND ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, ORDINANCES, REGULATIONS, AS WELL AS THE RULES AND STANDARDS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS, THE NATIONAL ELECTRIC CODES, THE NATIONAL ELECTRIC SAFETY CODE, A.I.E.E. AND OSHA.
3. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND CERTIFICATES OF INSPECTION FOR WORK HEREIN SPECIFIED. THE COST OF SUCH PERMITS AND CERTIFICATES SHALL BE INCLUDED IN HIS BID PROPOSAL.
4. ELECTRICAL CONTRACTOR SHALL VISIT THE EXISTING SITE AND SHALL EXAMINE TO HIS SATISFACTION, ALL OF THE PHYSICAL CONDITIONS THAT AFFECT HIS CONTRACT PRICE. NO ADDITIONS TO HIS CONTRACT PRICE WILL BE PERMITTED DUE TO IGNORANCE OF EXISTING CONDITIONS.
5. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY LIGHTING AND RECEPTACLES TO MEET OSHA REQUIREMENTS.
6. LIGHTING PANEL: LIGHTING PANEL SHALL BE 120 / 208 VOLT, 3 PHASE, 4 WIRE AND ALL BREAKERS SHALL BE BOLTED TYPE. TWO AND THREE POLE BREAKERS SHALL BE COMMON TRIP. HANDLE TIES ARE NOT ACCEPTABLE.
7. BUSSING: SHALL BE ARRANGED SO THAT ODD NUMBERED BREAKERS ARE ON THE LEFT SIDE AND EVEN NUMBERED BREAKERS ARE ON THE RIGHT SIDE. CIRCUITS 1 AND 2, 3 AND 4, 5 AND 6, ETC. SHALL BE ON PHASE A, B, AND C RESPECTIVELY. WITH THIS SEQUENCE MAINTAINED, THE INSIDE CABINET DOOR SHALL HAVE A TYPED DIRECTORY IN FRAME UNDER CLEAR PLASTIC. PANEL BOARDS SHALL BE MANUFACTURED BY SQUARE D, ITE, WESTINGHOUSE OR GENERAL ELECTRIC.
8. WIRING DEVICES, RECEPTACLES AND SWITCHES: SHALL BE 20 AMP, RATING COMMERCIAL SPECIFICATION GRADE. HUBBELL OR AH&H, PASS & SEYMOUR OR EQUAL. ALL DEVICES IN KITCHEN AREA SHALL BE GROUND FAULT INTERRUPTER TYPE.
9. ALL DEVICE PLATES TO BE STAINLESS STEEL, HUBBELL TYPE 302 OR EQUAL. PROVIDE WEATHERPROOF DEVICES WHERE INDICATED ON PLANS.
10. LIGHTING FIXTURES: NEW FIXTURES - SHALL BE UNDERWRITERS LABEL AND BE OF A TYPE APPROVED BY CITY INSPECTION AUTHORITIES. RECESSED FIXTURES INSTALLED IN FURRED SPACES SHALL BE CONNECTED BY A MEANS OF FLEXIBLE CONDUIT AND "AF" WIRE RUN TO A BRANCH CIRCUIT OUTLET BOX WHICH IS INDEPENDENT OF THE FIXTURE.
11. CONDUIT: RIGID CONDUIT SHALL BE HOT DIPPED GALVANIZED OR SHERARDIZED. ELECTRIC METALLIC TUBING SHALL BE HOT DIPPED GALVANIZED OR ELECTRO-GALVANIZED. ALL CONDUITS SHALL BE CONCEALED WHERE POSSIBLE.
12. OUTLET BOXES: OUTLET BOXES AND COVER THEREFORE, IN GENERAL, SHALL BE GALVANIZED OR SHERARDIZED ONE PIECE KNOCKOUT TYPE. LIGHTING FIXTURE OUTLETS SHALL BE PROVIDED WITH 3/8" FIXTURE STUDS AND PLASTER RINGS. OUTLET BOXES FOR WIRING DEVICES, I.E. SWITCHES, RECEPTACLES, ETC. SHALL BE 4" SQUARE MINIMUM, FITTED WITH DEVICE COVER TO SUIT. OUTLET BOXES SHALL BE FASTENED BY MEANS OF SCREWS OR SHALL BE SUPPORTED BY MEANS OF APPROVED HANGERS. FIXTURES SUPPORTING OUTLET BOXES TO BE SUPPORTED FROM BUILDING STRUCTURE, NOT CEILING.
13. WIRE AND CABLE: WIRES AND CABLE SHALL BE INSULATED COPPER WIRE WITH FIRE RESISTANT OUTER COVERING. IT SHALL BE PROPERLY CODED WITH WHITE NEUTRAL, ACCORDING TO THE N.E.C. SIZES THROUGH NO. 10 AWG SHALL BE TYPE "TW", SIZE NO. 8 AWG AND LARGER SHALL BE TYPE "THW." WIRE SMALLER THAN NO. 12 AWG SHALL NOT BE USED.
14. PROVIDE RACEWAY SYSTEM FOR TELEPHONE, SECURITY AND TELEVISIONS UP TO ACCESSIBLE CEILINGS. ALL WIRE AND INSTRUMENTS SHALL BE BY THE OWNER.
15. THE CONTRACTOR SHALL SEE THAT ALL NECESSARY CUTTING IN WALLS AND FLOORS IS NEATLY AND CAREFULLY DONE AND REPAIRED IN AN APPROVED AND WORKMANLIKE MANNER.
16. SHOULD ANY FIELD CONDITIONS PREVENT THE RUNNING OF CONDUIT, ETC., AS SHOWN ON THE PLANS, THE CONTRACTOR IS REQUIRED TO MAKE ANY MINOR DEVIATIONS THEREFORM, AS DETERMINED BY THE ARCHITECT WITHOUT ADDITIONAL COST.
17. THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF OTHER SUBCONTRACTORS ON THE JOB.
18. ALL CONDUITS SHALL BE CONCEALED WHEREVER POSSIBLE, EXPOSED CIRCUITS SHALL BE PAINTED COLOR AS SELECTED BY ARCHITECT.
19. ALL FUSIBLE AND NON-FUSIBLE DISCONNECTS SHALL BE HEAVY DUTY TYPE, NEMA 1 ENCLOSURE OR NEMA 3R (WEATHERPROOF), EACH OF A HORSEPOWER OR CURRENT RATING FOR THE SPECIFIED SERVICE INDICATED ON THE PLANS.
20. MOTOR STARTERS: PROVIDE AND FOR ALL SINGLE PHASE MOTORS, MANUAL TYPE STARTERS WITH THERMAL OVERLOAD PROTECTION AS REQUIRED. PROVIDE AND INSTALL FOR ALL THREE PHASE MOTORS, MAGNETIC, ACROSS-THE-LINE TYPE STARTERS. THREE PHASE STARTERS FOR AUTOMATICALLY CONTROLLED MOTORS SHALL BE PROVIDED WITH "START - STOP" PUSH BUTTONS IN COVER, OR WITH REMOTE PUSHBUTTONS IF SO INDICATED ON PLANS. VERIFY AUXILIARY CONTACT AND ETC. REQUIRED WITH MECHANICAL CONTROL SUBCONTRACTORS. STARTERS SHALL BE COMBINATION TYPE WHEREVER DISCONNECT SWITCHES ARE REQUIRED.
21. NAMEPLATES: EQUIPMENT FOLLOWING SHALL BE IDENTIFIED WITH ENGRAVED BAKELITE NAMEPLATES: MOTOR STARTERS, DISCONNECT SWITCHES. PLASTIC TYPE NOT APPROVED.
22. ON COMPLETION OF ELECTRICAL WORK, THE INSTALLATION SHALL BE ENTIRELY FREE FROM GROUNDS AND SHORT CIRCUITS. ALL CIRCUITS SHALL BE RUNG OUT, AND PROPERLY TICKETED.
23. ALL CONTROL WIRING FOR H.V.A.C. SYSTEM SHALL BE BY OTHERS.
24. TIMESWITCH: TIME SWITCH SHALL BE SYNCHRONOUS MOTOR TYPE WITH BYPASS AND OMITTING DEVICES WHICH SHALL BE AS MANUFACTURED BY SANGAMA, TORK OR APPROVED EQUAL.
25. ELECTRICAL CONTRACTOR SHALL GUARANTEE AGAINST MECHANICAL AND ELECTRICAL DEFECTS OF ANY OR ALL EQUIPMENT, MATERIALS, AND WORKMANSHIP COVERED BY THESE SPECIFICATIONS AND SHALL MAKE GOOD, REPAIR OR REPLACE, AT HIS OWN EXPENSE, ANY DEFECTIVE EQUIPMENT, MATERIAL OR WORK OR PART WHICH MAY SHOW ITSELF WITHIN A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF WORK.



FIRST FLOOR POWER PLAN

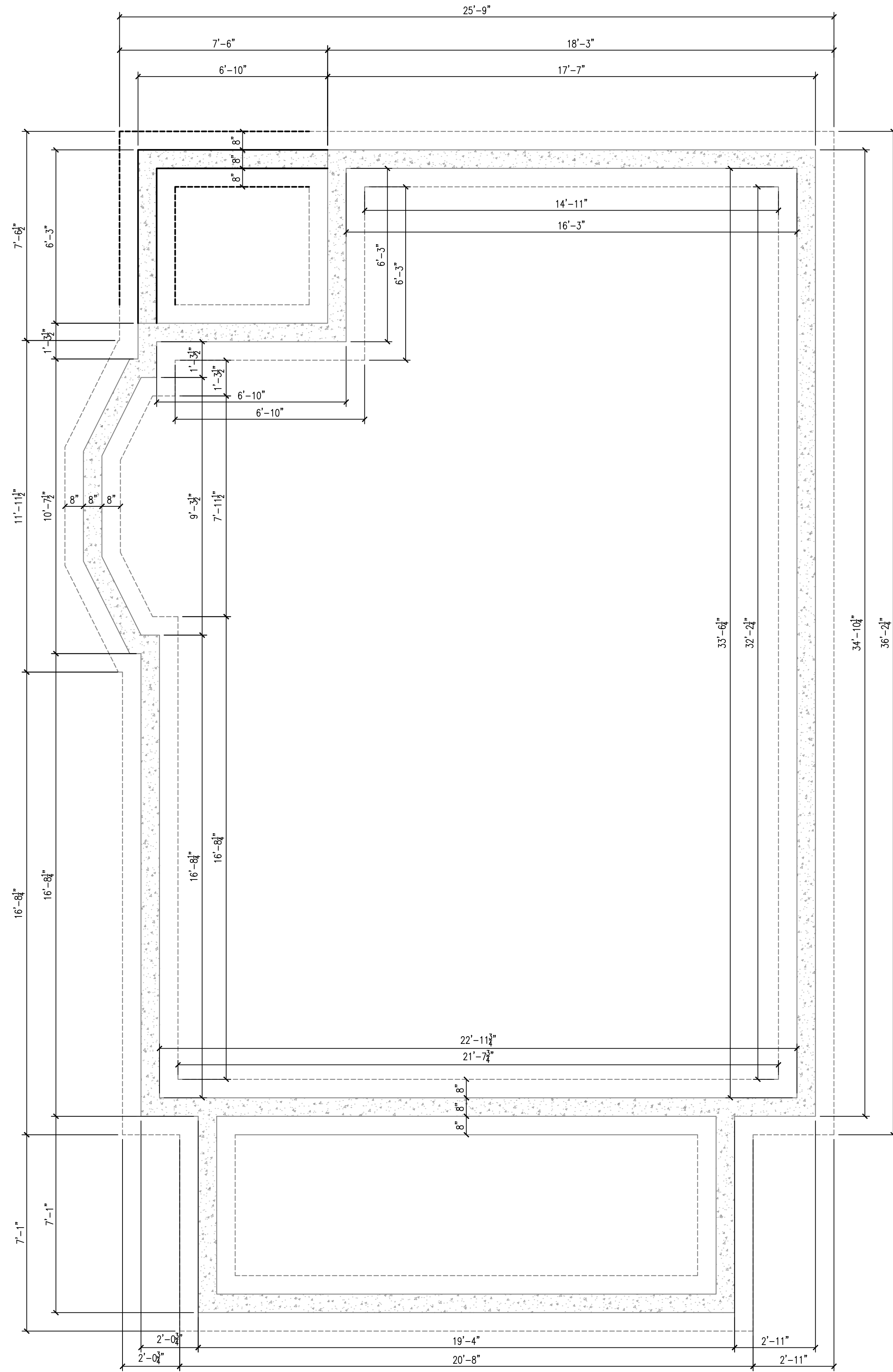
3/8" = 1' - 0"



SECOND FLOOR POWER PLAN

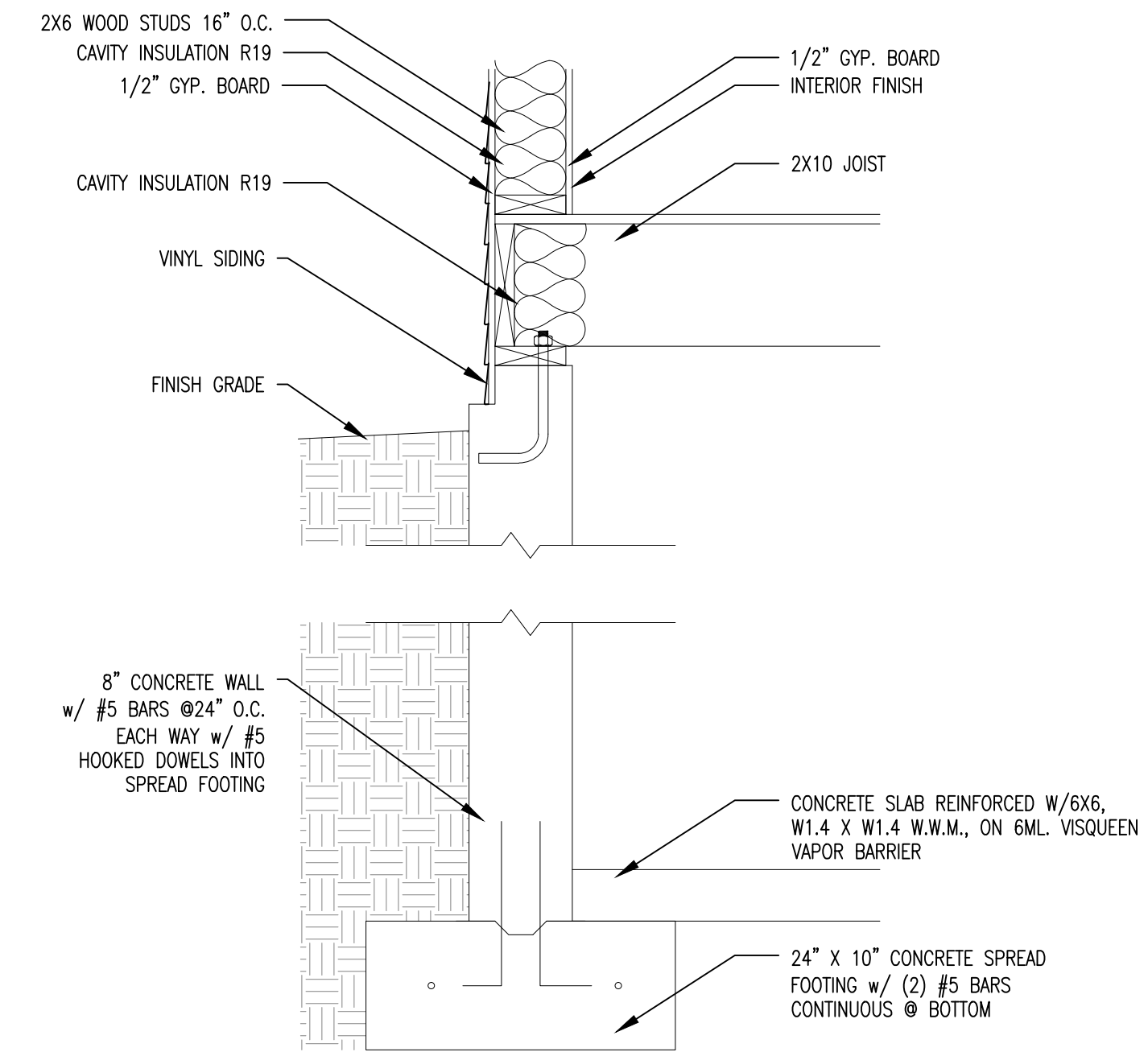
3/8" = 1' - 0"





**FOUNDATION PLAN**

3/8" = 1' - 0"



**WALL DETAIL**

1" = 1' - 0"

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FORESTA ARCHITECTS, LLC.

**PROJECT**

20217

JOHNSON RESIDENCE  
 712 FAIRGROUND ST  
 PLYMOUTH, MI 48170

**SEAL**

**DATE**

03.19.2021

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**SUBMITTAL**

**SHEET NAME**

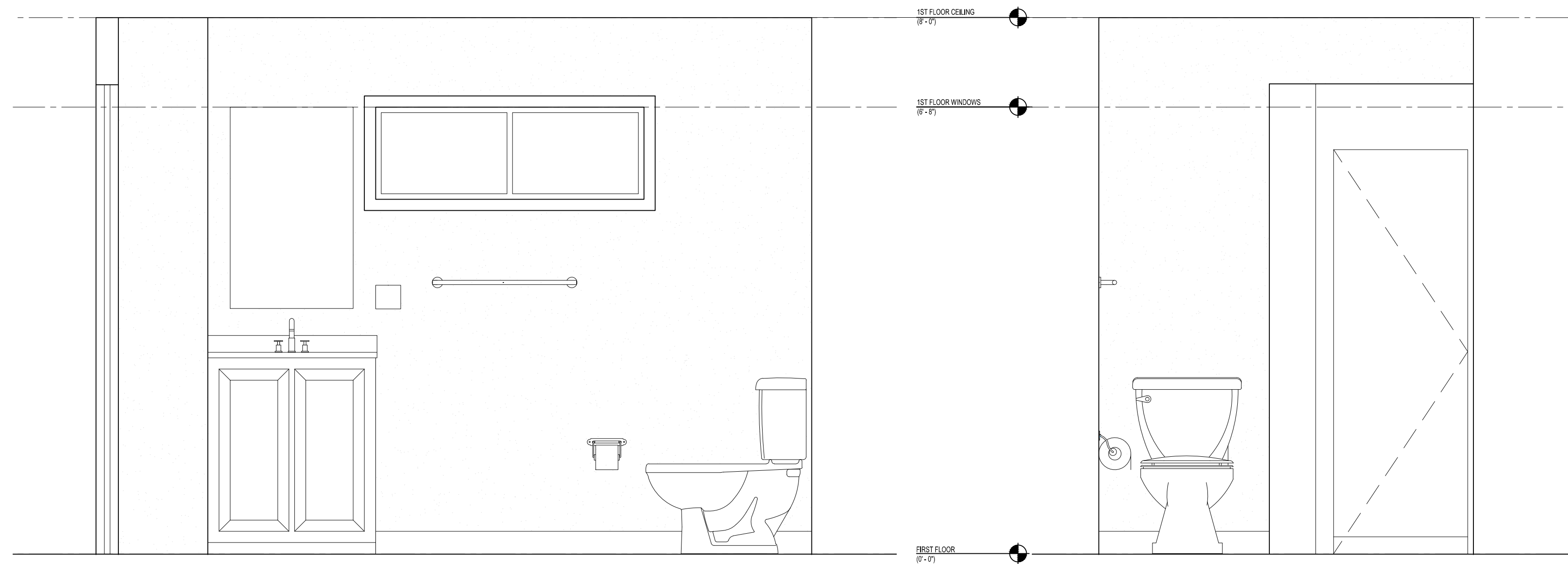
FOUNDATION PLAN

**SHEET #**

**A6**

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**BATHROOM ELEVATION A**  
 3/4" = 1' - 0"

**BATHROOM ELEVATION B**  
 3/4" = 1' - 0"

**PROJECT**

20217

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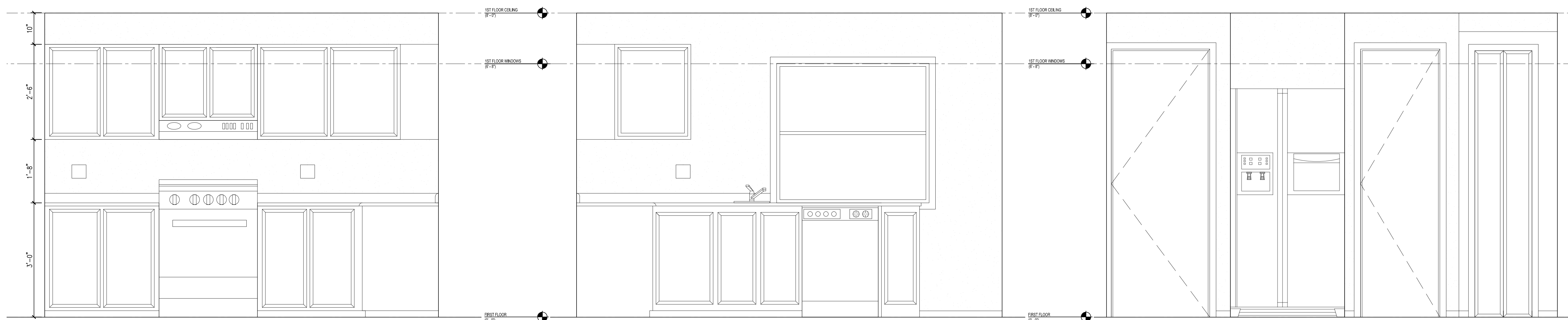
**SUBMITTAL**

**SHEET NAME**

INTERIOR ELEVATIONS

**SHEET #**

**A7**



**KITCHEN ELEVATION A**  
 3/4" = 1' - 0"

**KITCHEN ELEVATION B**  
 3/4" = 1' - 0"

**KITCHEN ELEVATION C**  
 3/4" = 1' - 0"



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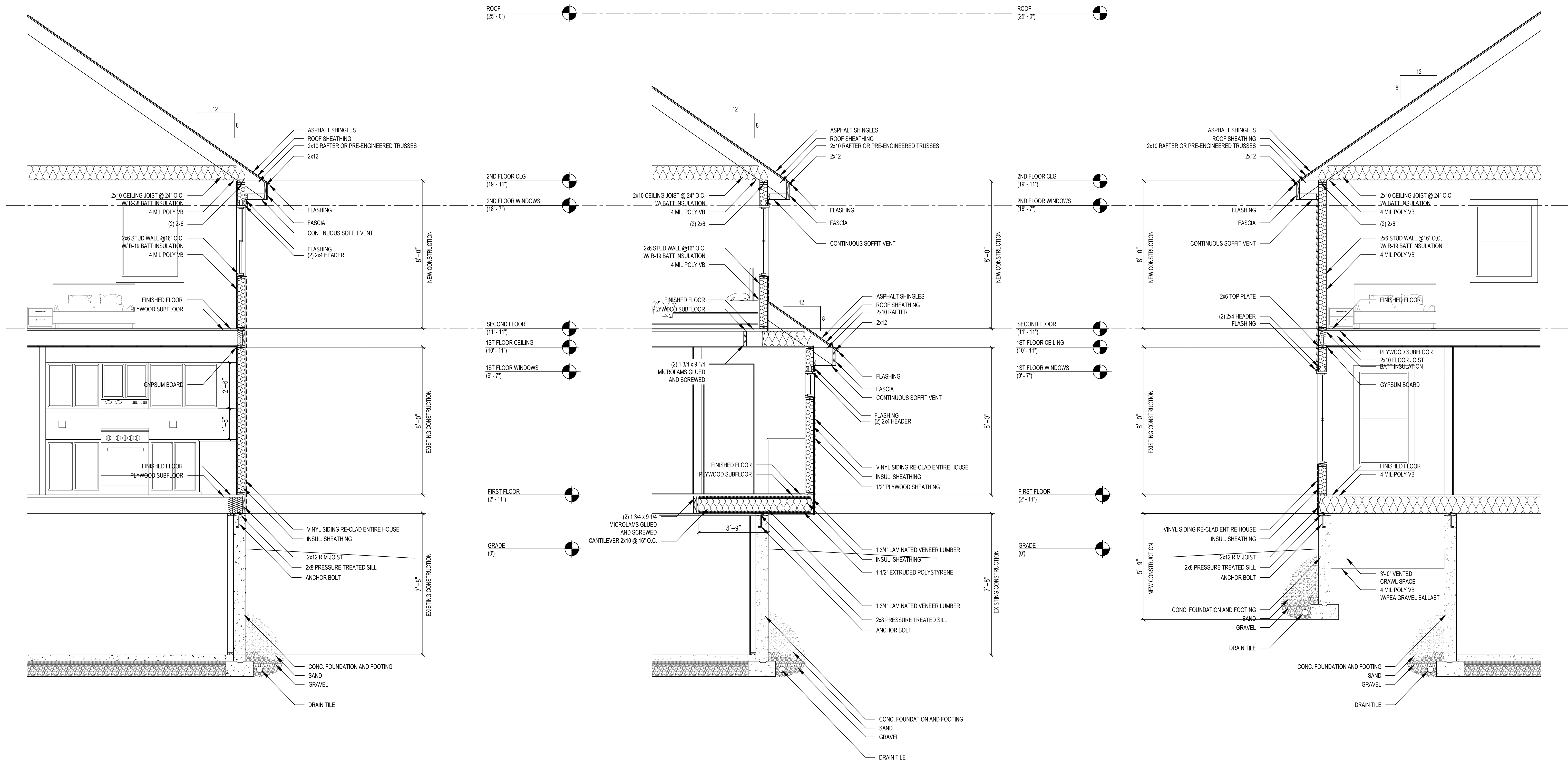
**SUBMITTAL**

**SHEET NAME**

SECTIONS

**SHEET #**

**A8**



**SECTION A**

3/8" = 1' - 0"

**SECTION B**

3/8" = 1' - 0"

**SECTION C**

3/8" = 1' - 0"



## City of Plymouth Zoning Board of Appeals Memorandum

---

City of Plymouth  
201 S. Main  
Plymouth, Michigan 48170

[www.plymouthmi.gov](http://www.plymouthmi.gov)  
Phone 734-453-1234  
Fax 734-455-1892

TO: Zoning Board of Appeals Commissioners  
FROM: Greta Bolhuis, Assistant Community Development Director  
DATE: March 29, 2022  
RE: 170 Blunk, Non-Use Variance Request

Larry Quick, owner, is requesting a non-use variance to construct a new detached garage that exceeds the maximum height allowance. The property is 51.9 feet wide by 124.2 feet deep. The property is 6,446 square feet and is zoned R-1, Single Family Residential.

Section 78-260 (8) states "No detached accessory building in any residential district shall exceed 1½ stories or 15 feet in height." A garage height of 16.83 feet is proposed. A variance of 1.83 feet is required.

Should you have any questions regarding this agenda item, please contact me directly.





Z 22-03 170 Blunk  
Garage height  
ZBA Mtg

4/7/22

RECEIVED

MAR 11 2022

# DIMENSIONAL (NON-USE) VARIANCE APPLICATION

## Community Development Department

CITY OF PLYMOUTH COMMUNITY DEVELOPMENT 201 S. Main Street Plymouth, MI 48170 Ph. 734-453-1234 ext. 232

Website: [www.plymouthmi.gov](http://www.plymouthmi.gov)

Type of Variance Request: DIMENSIONAL – Common regulations subject to dimensional (non-use) variance requests: setbacks, signs, height, parking regulations, lot coverage, and bulk or landscaping restrictions. Uniqueness: odd shape, small size, wetland, creek, natural features, big trees or slopes.

170 BLUNK		3.10.2022	
Address of Property		Date of Application	
LARRY QUICK		QUICK FAMILY TRUST	
Applicant Name		Property Owner	
170 BLUNK	PLYMOUTH	MI	48170
Address	City	State	Zip
lquick9865@YAHOO.COM	810-523-410 MOBILE		
Email	Phone		

### Three Basic Functions of the ZBA:

1. Interpreting the zoning ordinance (text and map) and nonconforming situations.
2. Deciding appeals on administrative decisions, special land uses, or PUDs.
3. Granting variance requests.

### Standards for Dimensional (Non-Use) Variance: [Click here to see full ordinance language.](#)

1. Ordinance unreasonably prevents the owner from using the property for what it is zoned
2. Variance will do substantial justice to the applicant, and the surrounding community
3. Problem is due to the unique circumstances of the property
4. Problem is not self-created

A quorum (3 members) is required for approval of all non-use variance requests.

The Zoning Board of Appeals meets the first Thursday of each month at 7:00PM. The completed application and necessary/applicable plans must be filed with a fee of \$250.00 for single family projects or \$500.00 for multi-family and non-residential. Visit the City's website for submittal deadlines and meeting dates: [Zoning Board of Appeals](#). Submit ten (10) hardcopies of the application and plans including but not limited to survey, plot map, building plans, and photos. One complete digital set of application materials shall be submitted on a flashdrive or emailed to <mailto:plans@plymouthmi.gov> (maximum file size is 100 MB).

The Zoning Board of Appeals will not accept incomplete applications. Signature of property owner and applicant, as well as notarization is required for every application. There are notaries located in City Hall. The Community Development Department has the right to remove an item from the agenda due to incompleteness.

Article and Section of the Zoning Ordinance for which an appeal or variance is being requested:

ARTICLE XXI - SECTION 7B-260(8) ACCESSORY BUILDING  
HEIGHT LIMITED TO 15'-0"

I (We) hereby appeal to the Zoning Board of Appeals for a variance to: REPLACE EXISTING  
1-CAR GARAGE WITH A NEW 2-CAR GARAGE. THE DESIGN OF THE NEW  
GARAGE IS TO MATCH THE EXISTING RESIDENCE IN DESIGN & ARCHITECTURE,  
THIS REQUIRES THAT THE NEW GARAGE HAVE SHED DORMERS THAT MATCH THE  
RESIDENCE, WHICH WILL REQUIRE A HEIGHT VARIANCE FROM 15'-0" TO 16'-10"  
Description of Property

Current zoning classification: R-1

Current use of structure(s) on premises: SINGLE FAMILY RESIDENCE

Is it a corner or interior lot? NO

Size and area of lot: 51.89 x 124.23 - 6,446.3 SF

Total square footage of existing main structure(s): 1615 SF

Total square footage of accessory structure(s): 293 SF

Existing lot coverage (percentage) of all buildings and structures: 23.0%

Height of existing main and/or accessory structures: 20'-6" +/-

**Description of Proposed Structures**

Dimensions and area of structure or addition to be constructed: 650 SF

Front yard setback after completion (measured from property line): 25'-0"

Rear yard setback after completion (measured from property line): 3'-0"

Side yard setback after completion (measured from property line): 3'-0"

Height of proposed structure: 16'-10"

Lot coverage (percentage) after completion: 28.8%

Residential Only: Floor Area Ratio (FAR) after completion (shall not exceed 0.4): 0.187

A scaled drawing or boundary survey depicting the above information.

Please answer all the following questions as they relate to the dimensional variance, use additional sheets as necessary:

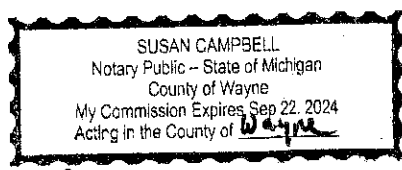
1. What are the practical difficulties preventing compliance with the ordinance? Are these practical difficulties an exception or unique to the property compared to other properties in the City? (NOTE: The ZBA cannot grant a variance because it is inconvenient or more expensive to build to ordinance or solely to satisfy aesthetic concerns.) THE DESIGN INTENT IS TO MIRROR THE EXISTING STRUCTURE WITH SHED DORMERS, LIMITING HEIGHT TO 15' REDUCES ATTIC SPACE DUE TO FRAMING OVER GARAGE REQTS.
2. What effect will the variance have on neighboring properties? NO, THE NEW GARAGE WILL MATCH THE EXISTING RESIDENCE, KEEPING THE CHARACTER OF THE NEIGHBORHOOD AND ENHANCING IT WITH AN ARCHITECTURALLY PLEASING DESIGN.
3. Is the practical difficulty which prevents you from complying with the ordinance self-imposed? How did the practical difficulty come about? (NOTE: The ZBA has generally found that purely aesthetic consideration and self-created hardships are unacceptable grounds for a variance.) NEW GARAGES NEED TO BE LARGER TO ACCOMMODATE THE LARGER VEHICLES OF TODAY. THIS NECESSITATES A TALLER GARAGE DOOR TO ACCOMMODATE THESE VEHICLES. THE TALLER STRUCTURE WILL ALSO ALLOW FOR ATTIC STORAGE NEEDED DUE TO THE SMALL RESIDENCE ON THE PROPERTY.
4. Why do the ordinance restrictions unreasonably prevent the owner from using the property for a permitted purpose? THE PROPERTY IS CURRENTLY USED AS A SINGLE FAMILY RESIDENCE AND THIS WILL NOT CHANGE. A NEW LARGER GARAGE WILL ALLOW FOR VEHICLE STORAGE AND NOT IN THE DRIVEWAY, AND PROVIDE ADDITIONAL STORAGE.

I hereby depose and say that all the above statements and the statements contained in the papers submitted herewith are true and correct:

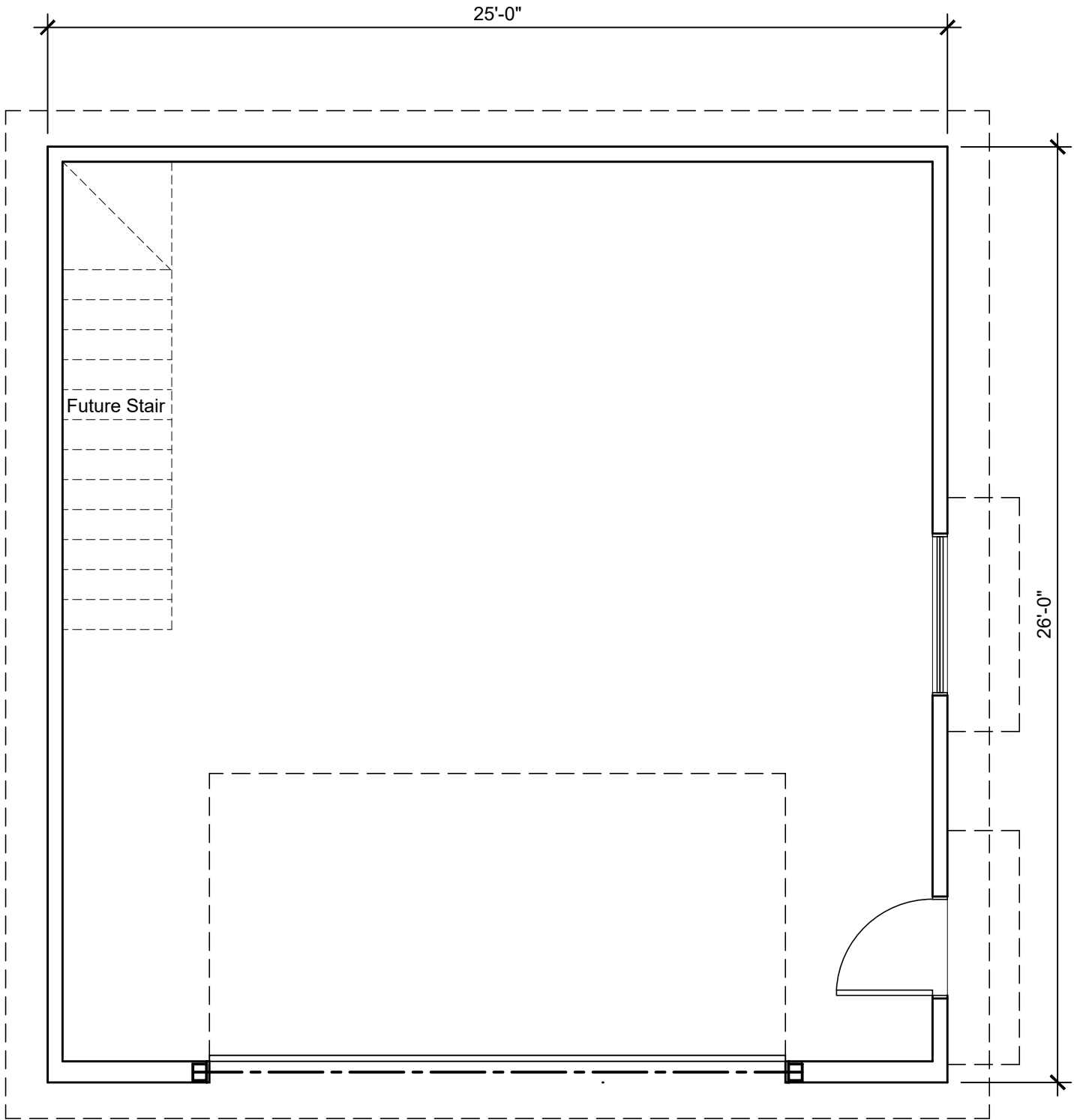
~~Signature~~ Kathleen T. Quick      ~~Signature~~ K.T. Quick  
 Signature of Property Owner      Signature of Applicant

Subscribed and sworn before me this 11th day of March, 2022

Susan Campbell  
 Notary Public  
 My Commission expires 9.22.2024

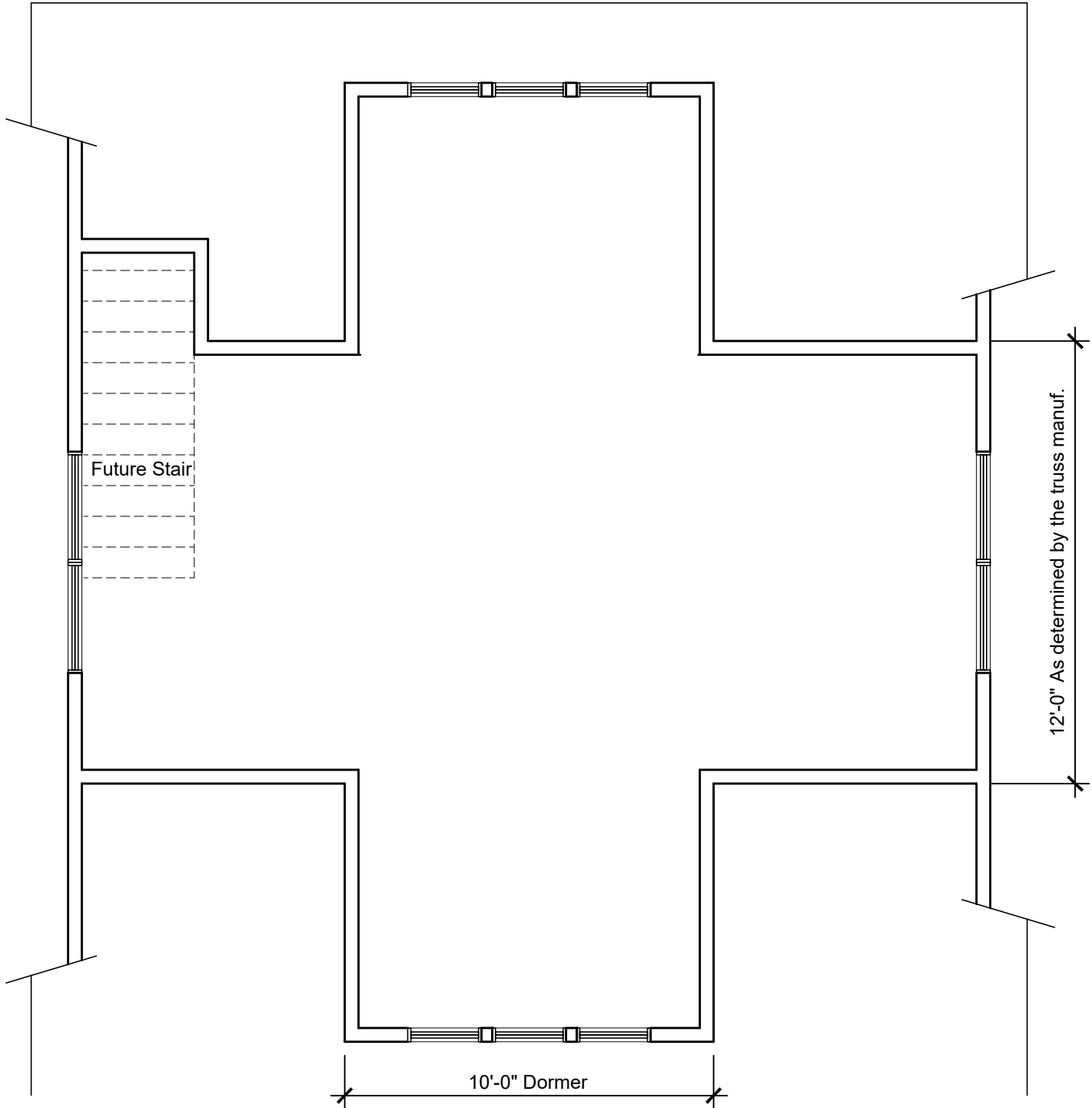






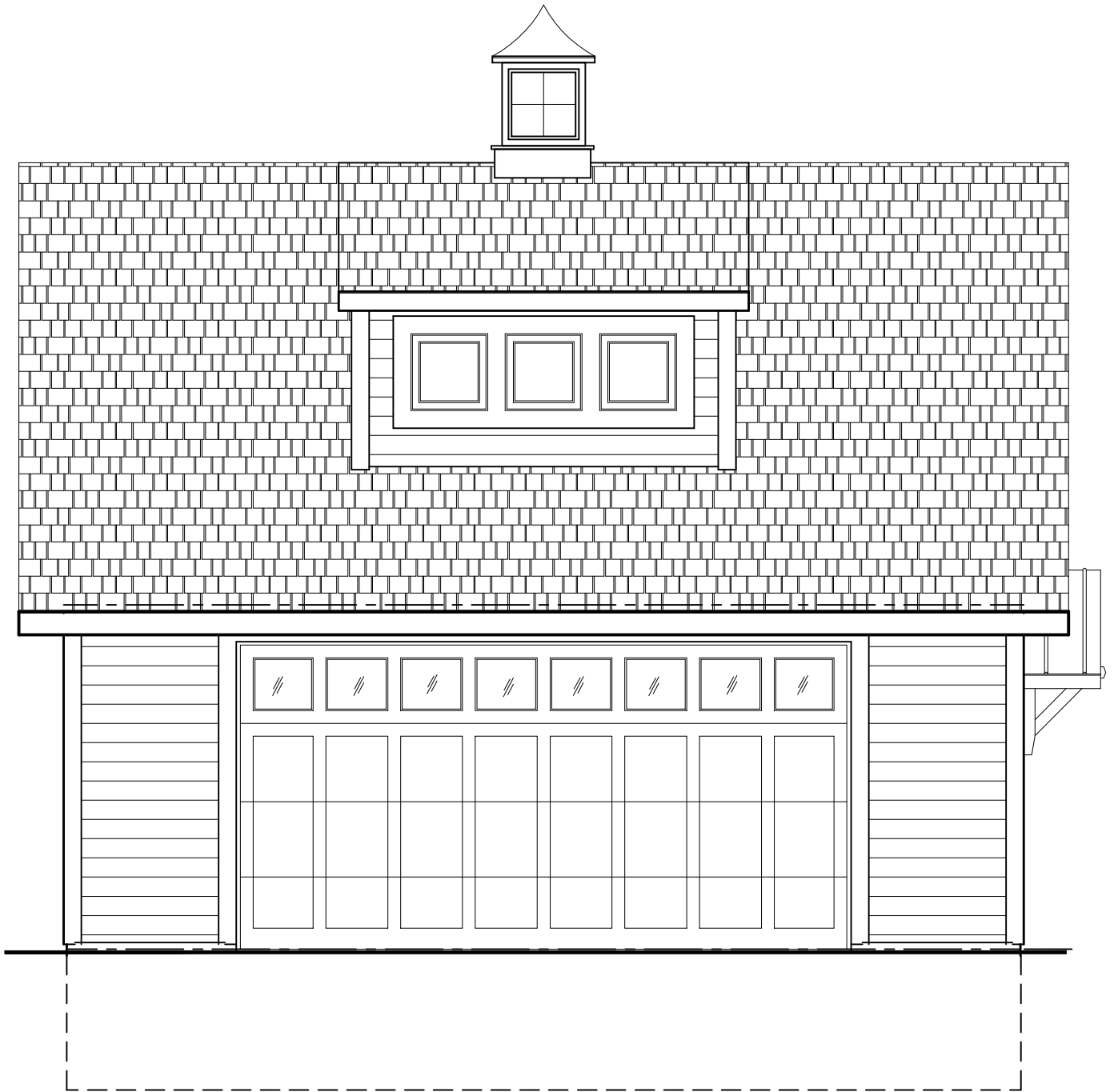
# FLOOR PLAN

SCALE: 1/4" = 1'-0"



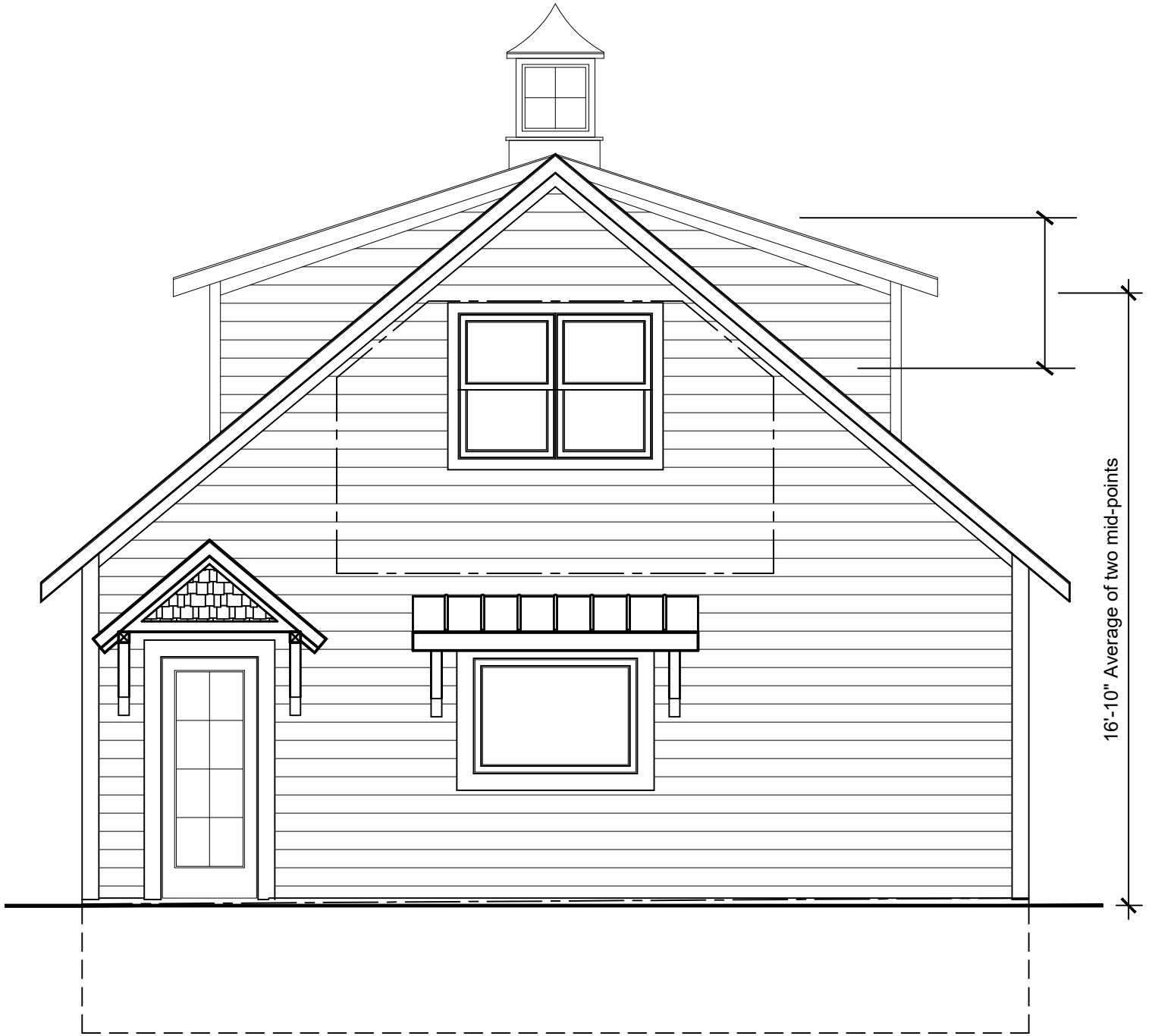
# ATTIC PLAN

SCALE: 1/4" = 1'-0"

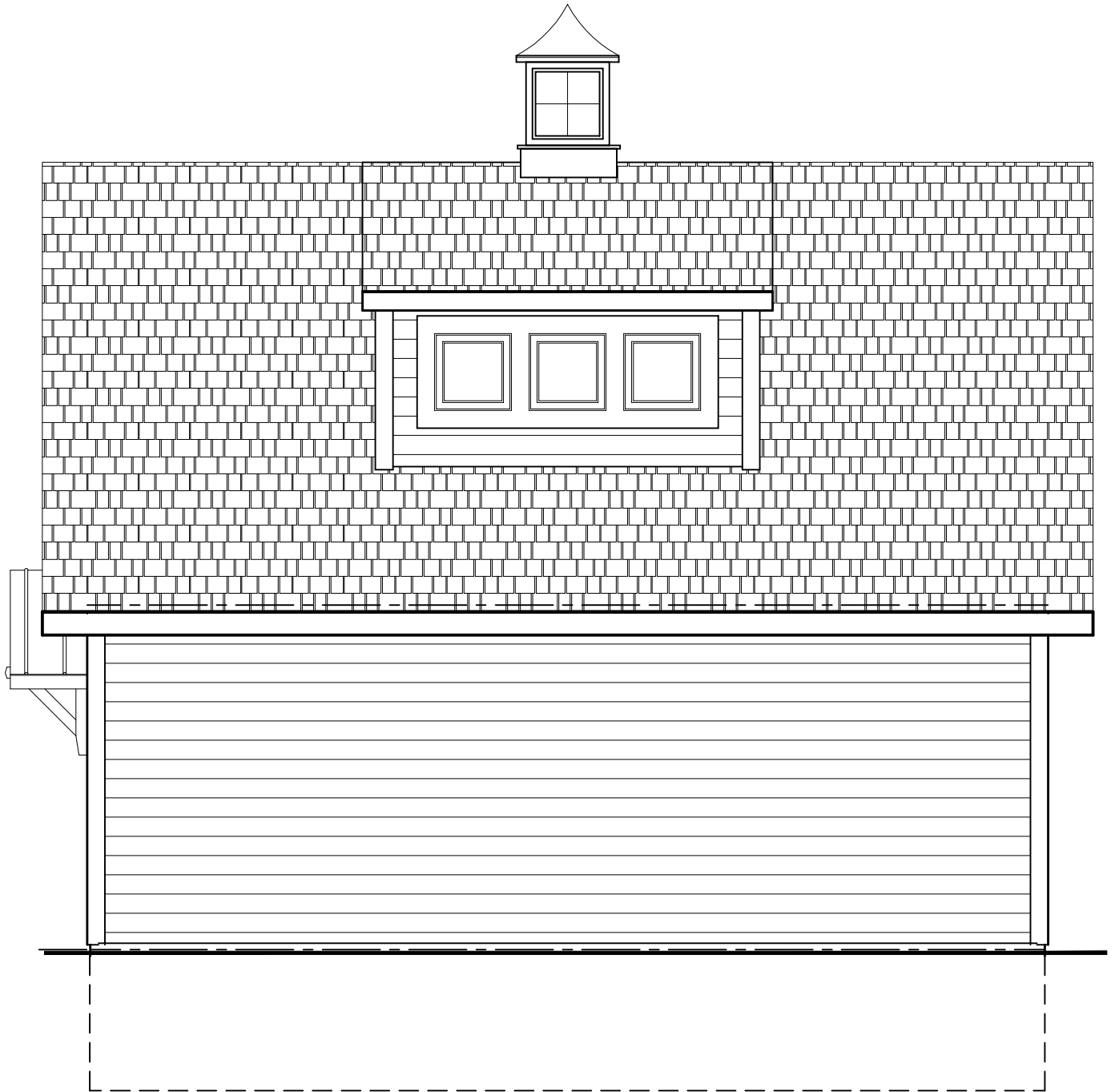


# **WEST (FRONT) ELEVATION**

SCALE: 1/4"=1'-0"

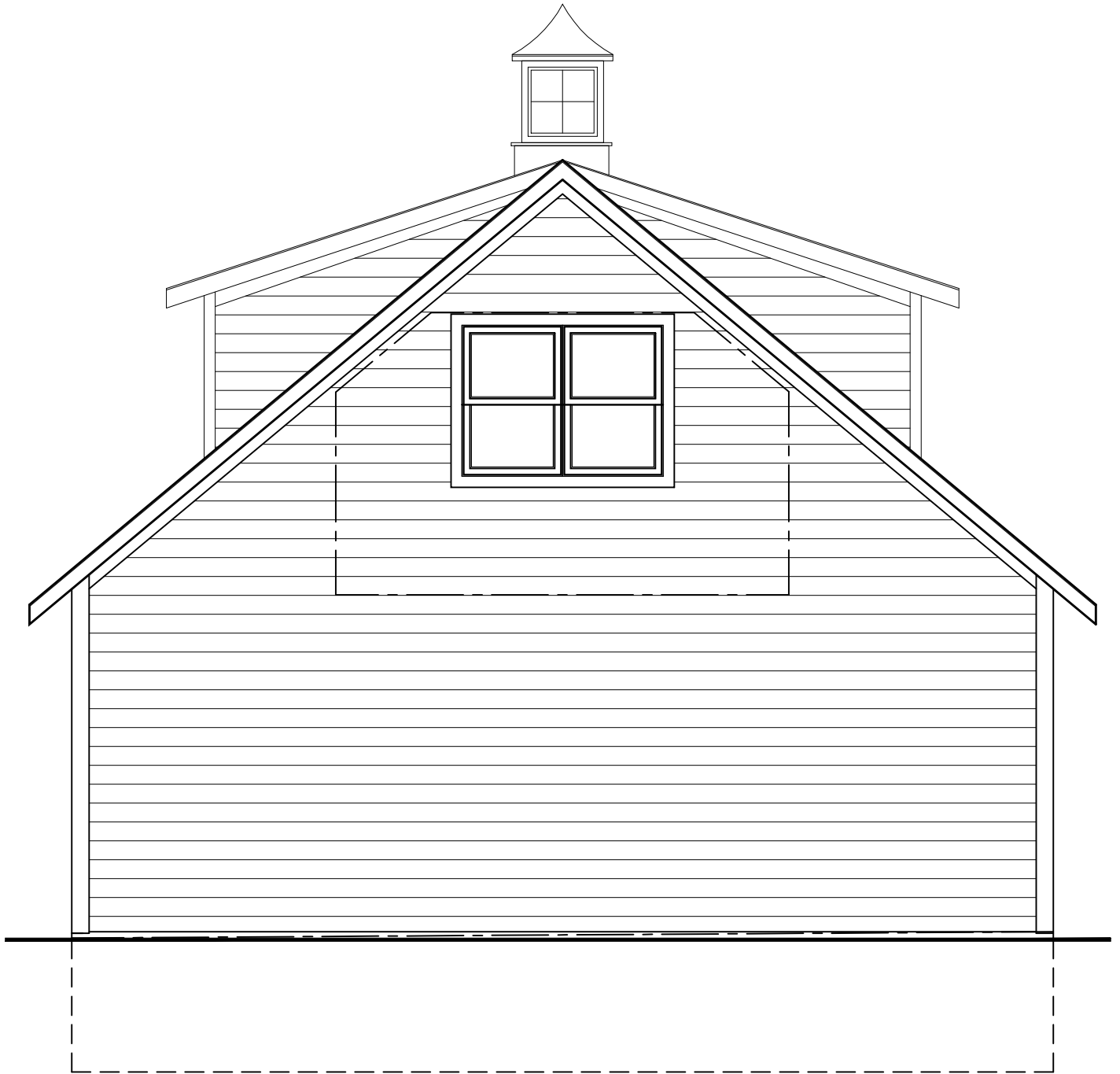


**SOUTH (RIGHT SIDE) ELEVATION**  
SCALE: 1/4"=1'-0"



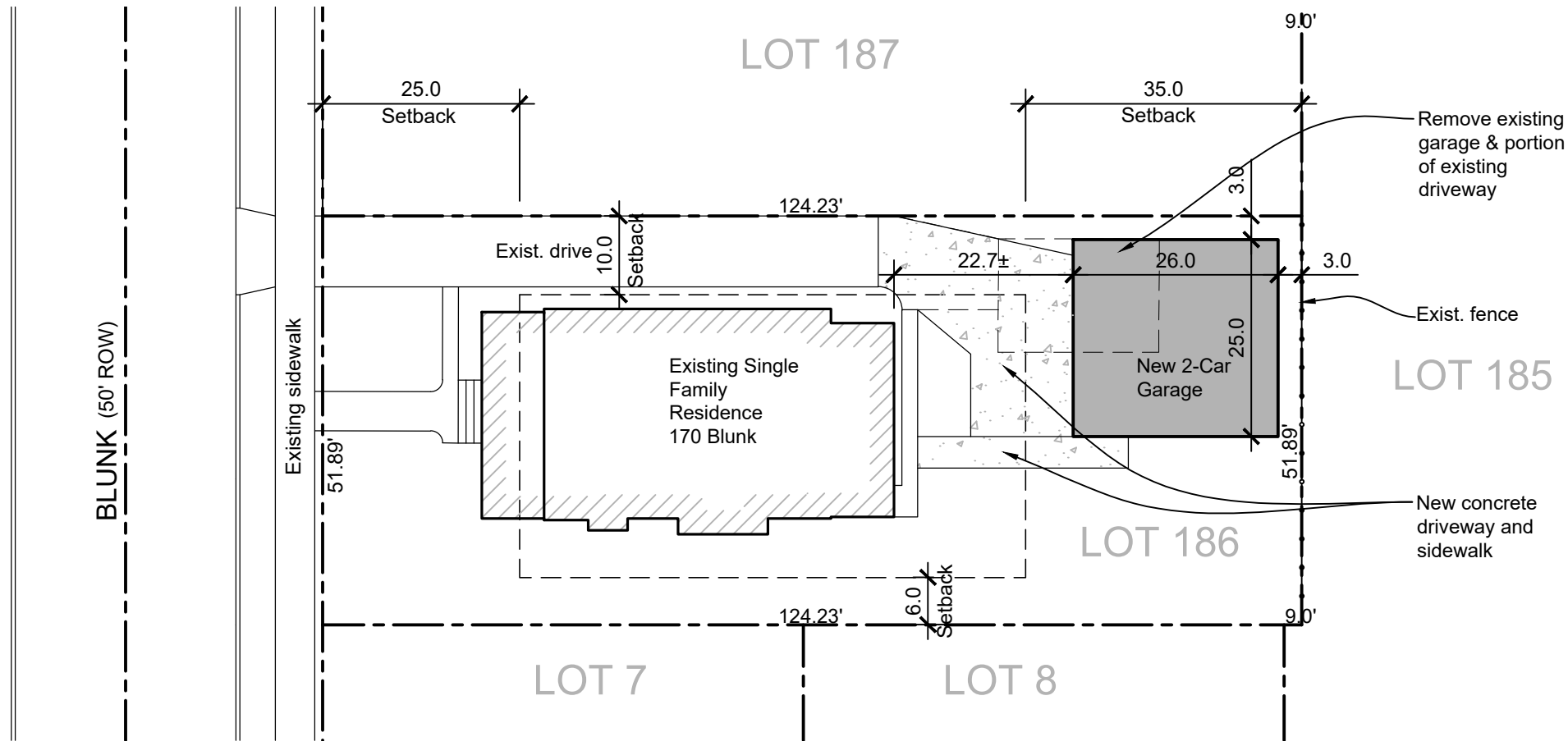
## **EAST (REAR) ELEVATION**

SCALE: 1/4"=1'-0"

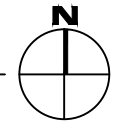


**NORTH (LEFT SIDE) ELEVATION**

SCALE: 1/4"=1'-0"



**PLOT PLAN**  
SCALE: 1"=20'-0"



**General Notes:**

Legal Description:  
27D186 LOT 186 WILLIAM A BLUNK ADDITION  
TIS R8E L27 P59 WCR

Lot Area = 6,446.3 s.f.

Zoning: R-1

Lot Coverage - 35% Allowed  
Existing Lot Coverage: 1,480.4 s.f. (23.0%)  
Proposed Lot Coverage: 1,856.4 s.f. (28.8%)

Allowed rear yard garage area = 655.1 s.f.  
Proposed rear yard garage area = 650.0 s.f.

Accessory building height allowed - 15'-0"  
Proposed building height - 16'-10"

**UTILITY WARNING**

A MINIMUM OF 72 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY MISS DIG AND HAVE ALL UNDERGROUND UTILITIES STAKED BEFORE ANY WORK CAN BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

© 2022 D. S. WRIGHT & ASSOCIATES, P.C.  
**D. S. WRIGHT & ASSOCIATES, P. C.**  
 ARCHITECTURE & PLANNING  
 44456 CLARE BLVD, PLYMOUTH, MICHIGAN 48170  
 TELEPHONE • 734 377-4632

ISSUED FOR	ZBA
DATE	01/18/22

**New Garage for  
Larry Quick**  
170 Blunk Street  
Plymouth, MI 48170

D&W	01/29/22
<b>22554.00</b>	
<b>C - 01</b>	

