



CITY OF PLYMOUTH

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201 S. Main
Plymouth, Michigan 48170-1637

Phone 734-453-1234
Fax 734-455-1892

**CITY OF PLYMOUTH
BROWNFIELD REDEVELOPMENT AUTHORITY
MEETING AGENDA
May 23, 2024
9:00 a.m.
Plymouth City Hall
201 S. Main St.
Plymouth, MI 48170**

Join Zoom Webinar Please click the link below to join the webinar:

<https://us02web.zoom.us/j/86489497249?pwd=NzBiTEY4NjB4cHV1QkNsWjlBZW83UT09>

Webinar ID: 864 8949 7249

Passcode: 881524

- 1) Call to Order – Colleen Pobur, Chair
 - a. Roll Call Vote
- 2) Citizen Comments
- 3) Approval of the minutes
 - a. Approval of the June 29, 2023, Meeting Minutes
- 4) Approval of the Agenda
- 5) Board Member Comments
- 6) Old Business
- 7) New Business
 - a. Proposed 2023 – 24 Brownfield Budget Amendments
 - b. Proposed 2024 – 25 Brownfield Budget
 - c. Pulte Phase One Brownfield Reimbursement
 - d. 100 S. Mill Street Pulte Brownfield Plan Amendment to include Phase Two
- 8) Other Matters
- 9) Adjournment

THE CITY OF HOMES

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City of Plymouth
Brownfield Redevelopment Authority
Meeting Minutes
June 29, 2023 – 9:00 a.m.

City of Plymouth
201 S. Main
Plymouth, Michigan 48170-1637

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1. CALL TO ORDER

- a. Chair Colleen Pobur called the meeting to order at 9:00 a.m.

Present: Chair Pobur, Members Nancy Anderson, Steve Anderson, John Buzuvis, Alan Deal, Paul Sincok

Excused: John Townsend

Also present: Finance Director John Scanlon

2. CITIZENS COMMENTS

There were no citizen comments.

3. APPROVAL OF THE MEETING MINUTES

Sincok offered a motion, seconded by N. Anderson, to approve the minutes of the of the January 24, 2023 meeting.

MOTION PASSED

4. APPROVAL OF THE AGENDA

Sincok offered a motion, seconded by Buzuvis, to approve the agenda for June 29, 2023.

MOTION PASSED

5. BOARD MEMBER COMMENTS

There were no board member comments.

6. OLD BUSINESS

There was no old business.

7. NEW BUSINESS

- a. Proposed 2022-23 Brownfield Budget Amendments

The following motion was offered by Sincok and seconded by S. Anderson.

WHEREAS Actual patterns of departmental expenditures occur differently than originally projected in the 2022-23 Brownfield Redevelopment Authority Budget as adopted in May of 2022; and

WHEREAS Overall revenue and expenditure forecasts require modifications to the original budgetary allocations as established in the adopted budget; and

WHEREAS The Brownfield Redevelopment Authority budget amendments require the approval of the Brownfield Redevelopment Authority and the City Commission.

NOW, THEREFORE, BE IT RESOLVED that the 2022-2023 Brownfield Redevelopment Authority budget is hereby amended as indicated in the detailed line-item Budget Adjustment Summary through March 31, 2023, which is made a part of this resolution.

BE IT FURTHER RESOLVED that the City Finance Director is authorized to change the budgetary appropriations as necessary in accordance with this resolution effective June 29, 2023.

BUDGET ADJUSTMENT SUMMARY FOURTH QUARTER - FY 22-23							
FUND DEPT/ACTIVITY	Approved Budget	1st Qtr. Amendments	2nd Qtr. Amendments	3rd Qtr. Amendments	4th Qtr. Amendments	Tot. All Amendments	Amended Budget
BROWNFIELD OPER FUND REV: #254							
Property Taxes	365,480	-	-	-	4,450	4,450	369,930
Contrib. & Other	210	-	-	-	-	-	210
Appropriation of Surplus	-	-	-	-	-	-	-
TOTAL REVENUES	365,690	-	-	-	4,450	4,450	370,140
BROWNFIELD OPER FUND EXP: #254							
Administration	36,550	-	-	-	-	-	36,550
Site Remediation	328,930	-	-	-	-	-	328,930
Contrib. & Other	-	-	-	-	-	-	-
Contingency	210	-	-	-	4,450	4,450	4,660
TOTAL EXPENDITURES	365,690	-	-	-	4,450	4,450	370,140
BROWNFIELD SITE REM FUND REV: #255							
Federal/State Grants	-	-	-	-	100,000	100,000	100,000
Contrib. & Other	50	-	-	-	-	-	50
Appropriation of Surplus	-	-	-	-	-	-	-
TOTAL REVENUES	50	-	-	-	100,000	-	100,050
BROWNFIELD SITE REM FUND REV: #255							
Capital Improvements	-	-	-	-	100,000	100,000	100,000
Miscellaneous	50	-	-	-	-	-	50
Contingency	-	-	-	-	-	-	-
TOTAL EXPENDITURES	50	-	-	-	100,000	100,000	100,050

MOTION PASSED

b. Proposed 2023-24 Brownfield Budget

The following motion was offered by S. Anderson and seconded by Deal.

WHEREAS The 2023-2024 Brownfield Redevelopment Authority Budget was presented to the City Commission by the City Manager on April 6, 2023; and

WHEREAS Public Act 381 of 1996 requires the Brownfield Redevelopment Authority to adopt a budget annually and forward their approved budget to the City Commission for final adoption; and

WHEREAS The Board of the Brownfield Redevelopment Authority did review the proposed budget on June 29, 2023 and noted changes, if any;

NOW THEREFORE, BE IT RESOLVED that the Board of the Brownfield Redevelopment Authority of the City of Plymouth hereby adopts the proposed fiscal year 2023-2024 budget as proposed, with amendments if any, as shown in the enclosed attachment.

NOW THEREFORE, BE IT FURTHER RESOLVED that the Board of the Brownfield Redevelopment Authority hereby directs the City Manager to submit the proposed budget to the City Commission for inclusion in the overall city budget.

MOTION PASSED

8. OTHER MATTERS

There were no other matters before the board.

9. ADJOURNMENT

A motion to adjourn was offered at 9:51 a.m. by N. Anderson and seconded by Sincok.

MOTION PASSED

DRAFT



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MEMORANDUM

Date: May 17, 2024
To: Brownfield Redevelopment Authority Board Members
From: John Scanlon, Finance Director
Subject: Budget Amendments

Issue: Amendments to the 2023-24 Brownfield Redevelopment Authority budget

Analysis: Please find attached the Revenue and Expenditure reports through March 31, 2024 of the 2023-24 fiscal year for the Brownfield Redevelopment Authority Fund, as well as the Brownfield Site Remediation Fund. Also included is a Budget Adjustment Summary.

The 2023-24 Brownfield Redevelopment Authority budget was adopted on June 29, 2023. At the time of the adoption, the numbers were set based on assumptions of captured tax value. These numbers are amended because of changes in millage rates, tax appeals and other circumstances. The Budget Adjustment Summary outlines those amendments.

The adoptions of these amendments are consistent with our current budget practices, as well as the Uniform Budgeting Act. A proposed resolution adopting the amendments is attached.

Requested Action: Approve the resolution to amend the 2023-24 Brownfield Redevelopment Authority Budget

Attachment(s): Budget Amendment Resolution

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QTR REV AND EXP REPORT FOR CITY OF PLYMOUTH

Balance As of 03/31/2024

GL Number	Description	YTD Balance 03/31/2023 Norm (Abnorm)	End Balance 06/30/2023	23-24 Original Budget	23-24 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	% Bdg't Used
Fund: 242 BROWNFIELD SITE REMEDIATION FUND								
Account Category: Revenues								
Department: 000 GENERAL REVENUES								
242-000-665.000	INTEREST ON INVESTMENTS	0.00	0.00	50.00	50.00	69.79	0.00	139.58
Total Dept 000 - GENERAL REVENUES		0.00	0.00	50.00	50.00	69.79	0.00	139.58
Department: 004 STATE SHARED REVENUES								
242-004-548.000	STATE GRANT - BROWNFIELD	0.00	100,000.00	0.00	0.00	0.00	0.00	0.00
Total Dept 004 - STATE SHARED REVENUES		0.00	100,000.00	0.00	0.00	0.00	0.00	0.00
Revenues								
		0.00	100,000.00	50.00	50.00	69.79	0.00	139.58
Account Category: Expenditures								
Department: 261 ADMINISTRATION								
242-261-962.000	RESERVE FOR CONTINGENCIES	0.00	0.00	50.00	50.00	0.00	0.00	0.00
Total Dept 261 - ADMINISTRATION		0.00	0.00	50.00	50.00	0.00	0.00	0.00
Department: 607 BROWNFIELD/MILL STREET TOWNS								
242-607-971.255	CAP OUTLAY/BROWNFIELD	0.00	100,000.00	0.00	0.00	0.00	0.00	0.00
Total Dept 607 - BROWNFIELD/MILL STREET TOWNS		0.00	100,000.00	0.00	0.00	0.00	0.00	0.00
Expenditures								
		0.00	100,000.00	50.00	50.00	0.00	0.00	0.00
Fund 242 - BROWNFIELD SITE REMEDIATION FUND:								
TOTAL REVENUES		0.00	100,000.00	50.00	50.00	69.79	0.00	
TOTAL EXPENDITURES		0.00	100,000.00	50.00	50.00	0.00	0.00	
NET OF REVENUES & EXPENDITURES:		0.00	0.00	0.00	0.00	69.79	0.00	
BEG. FUND BALANCE		122,331.59	122,331.59	122,331.59	122,331.59	122,331.59		
END FUND BALANCE		122,331.59	122,331.59	122,331.59	122,331.59	122,401.38		

QTR REV AND EXP REPORT FOR CITY OF PLYMOUTH

Balance As of 03/31/2024

GL Number	Description	YTD Balance 03/31/2023 Norm (Abnorm)	End Balance 06/30/2023	23-24 Original Budget	23-24 Amended Budget	YTD Balance 03/31/2024 Norm (Abnorm)	Activity For 03/31/2024 Incr (Decr)	% Bdg't Used
Fund: 243 BROWNFIELD REDEVELOPMENT AUTHORITY FUND								
Account Category: Revenues								
Department: 000 GENERAL REVENUES								
243-000-573.000	LOCAL COMMUNITY STABILIZATION SHARE	0.00	0.00	200.00	200.00	4,559.75	0.00	2,279.88
243-000-665.000	INTEREST ON INVESTMENTS	3,971.39	5,262.53	10.00	10.00	5,646.37	0.00	56,463.70
Total Dept 000 - GENERAL REVENUES		3,971.39	5,262.53	210.00	210.00	10,206.12	0.00	4,860.06
Department: 070 BRWNFLD CAPTURE/STARKWEATHER								
243-070-402.000	CURRENT PROPERTY TAX/REAL	55,358.97	55,358.97	94,340.00	94,340.00	93,375.75	0.00	98.98
Total Dept 070 - BRWNFLD CAPTURE/STARKWEATHER		55,358.97	55,358.97	94,340.00	94,340.00	93,375.75	0.00	98.98
Department: 075 BRWNFLD CAPTURE/MILL STREET TOWNS								
243-075-402.000	CURRENT PROPERTY TAX/REAL	300,956.85	300,956.85	478,100.00	478,100.00	472,714.56	0.00	98.87
Total Dept 075 - BRWNFLD CAPTURE/MILL STREET TOWNS		300,956.85	300,956.85	478,100.00	478,100.00	472,714.56	0.00	98.87
Revenues								
		360,287.21	361,578.35	572,650.00	572,650.00	576,296.43	0.00	100.64
Account Category: Expenditures								
Department: 261 ADMINISTRATION								
243-261-962.000	RESERVE FOR CONTINGENCIES	0.00	0.00	210.00	210.00	0.00	0.00	0.00
Total Dept 261 - ADMINISTRATION		0.00	0.00	210.00	210.00	0.00	0.00	0.00
Department: 606 BROWNFIELD/STARKWEATHER								
243-606-970.000	REIMBURSEMENT/BROWNFIELD EXP	49,823.07	49,823.07	84,910.00	84,910.00	84,038.17	84,038.17	98.97
243-606-970.500	REIMBURSEMENT/BROWNFIELD ADM	5,535.90	5,535.90	9,430.00	9,430.00	9,337.58	9,337.58	99.02
Total Dept 606 - BROWNFIELD/STARKWEATHER		55,358.97	55,358.97	94,340.00	94,340.00	93,375.75	93,375.75	98.98
Department: 607 BROWNFIELD/MILL STREET TOWNS								
243-607-970.000	REIMBURSEMENT/BROWNFIELD EXP	270,861.16	270,861.16	430,290.00	430,290.00	425,443.10	425,443.10	98.87
243-607-970.500	REIMBURSEMENT/BROWNFIELD ADM	30,095.69	30,095.69	47,810.00	47,810.00	47,271.46	47,271.46	98.87
Total Dept 607 - BROWNFIELD/MILL STREET TOWNS		300,956.85	300,956.85	478,100.00	478,100.00	472,714.56	472,714.56	98.87
Expenditures								
		356,315.82	356,315.82	572,650.00	572,650.00	566,090.31	566,090.31	98.85
Fund 243 - BROWNFIELD REDEVELOPMENT AUTHORITY FUND:								
TOTAL REVENUES								
		360,287.21	361,578.35	572,650.00	572,650.00	576,296.43	0.00	
TOTAL EXPENDITURES								
		356,315.82	356,315.82	572,650.00	572,650.00	566,090.31	566,090.31	
NET OF REVENUES & EXPENDITURES:								
		3,971.39	5,262.53	0.00	0.00	10,206.12	(566,090.31)	
BEG. FUND BALANCE								
		19,030.59	24,293.12	24,293.12	24,293.12	24,293.12		
END FUND BALANCE								
		23,001.98	29,555.65	24,293.12	24,293.12	34,499.24		
Report Totals:								
TOTAL REVENUES - ALL FUNDS								
		360,287.21	461,578.35	572,700.00	572,700.00	576,366.22	0.00	
TOTAL EXPENDITURES - ALL FUNDS								
		356,315.82	456,315.82	572,700.00	572,700.00	566,090.31	566,090.31	
NET OF REVENUES & EXPENDITURES:								
		3,971.39	5,262.53	0.00	0.00	10,275.91	(566,090.31)	

BUDGET ADJUSTMENT SUMMARY
FOURTH QUARTER - FY 23-24

FUND DEPT/ACTIVITY	Approved Budget	1st Qtr. Amendments	2nd Qtr. Amendments	3rd Qtr. Amendments	4th Qtr. Amendments	Tot. All Amendments	Amended Budget
BROWNFIELD SITE REM FUND REV: #242							
Federal/State Grants	-	-	-	-	-	-	-
Contrib. & Other	50	-	-	-	-	-	50
Appropriation of Surplus	-	-	-	-	-	-	-
TOTAL REVENUES	50	-	-	-	-	-	50
BROWNFIELD SITE REM FUND REV: #242							
Capital Improvements	-	-	-	-	-	-	-
Miscellaneous	50	-	-	-	-	-	50
Contingency	-	-	-	-	-	-	-
TOTAL EXPENDITURES	50	-	-	-	-	-	50

FUND DEPT/ACTIVITY	Approved Budget	1st Qtr. Amendments	2nd Qtr. Amendments	3rd Qtr. Amendments	4th Qtr. Amendments	Tot. All Amendments	Amended Budget
BROWNFIELD OPER FUND REV: #243							
Property Taxes	572,440	-	-	-	-	-	572,440
Contrib. & Other	210	-	-	-	10,000	10,000	10,210
Appropriation of Surplus	-	-	-	-	-	-	-
TOTAL REVENUES	572,650	-	-	-	10,000	10,000	582,650
BROWNFIELD OPER FUND EXP: #243							
Administration	57,240	-	-	-	-	-	57,240
Site Remediation	515,200	-	-	-	-	-	515,200
Contrib. & Other	-	-	-	-	-	-	-
Contingency	210	-	-	-	-	-	210
TOTAL EXPENDITURES	572,650	-	-	-	-	-	572,650

RESOLUTION

The following resolution was offered by Commissioner_____ and seconded by Commissioner_____.

WHEREAS, actual patterns of departmental expenditures occur differently than originally projected in the 2023-2024 Brownfield Redevelopment Authority Budget as adopted in June of 2023; and

WHEREAS, overall revenue and expenditure forecasts require modifications to the original budgetary allocations as established in the adopted budget; and

WHEREAS, the Brownfield Redevelopment Authority budget amendments require the approval of the Brownfield Redevelopment Authority and the City Commission;

NOW, THEREFORE, BE IT RESOLVED that the 2023-2024 Brownfield Redevelopment Authority budget is hereby amended as indicated in the detailed line-item Budget Adjustment Summary through March 31, 2024, which is made a part of this resolution.

BE IT FURTHER RESOLVED that the City Finance Director is authorized to change the budgetary appropriations as necessary in accordance with this resolution effective May 23, 2024 .



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MEMORANDUM

Date: May 17, 2024
To: Brownfield Redevelopment Authority Board Members
From: John Scanlon, Finance Director
Subject: Budget Adoption

Issue: Adoption of 2024-25 Brownfield Redevelopment Authority budget

Analysis: Please find attached the proposed Brownfield Redevelopment Fund and Brownfield Site Remediation Fund budgets. There are currently two ongoing Brownfield projects. Their status is described below.

The Starkweather School project began to capture funds during the 2017 tax year. As agreed, the project provides a 10% reimbursement to the City's General Fund. This is reflected in account 243-606-970.500 in the attached proposed budget. The City has received all the required material for reimbursement requests. The reimbursements will run through the 2026-27 fiscal year.

The Mill Street Towns project was approved in April of 2019. The project includes a 10% administrative fee, as well as 3% interest paid on outstanding remediation costs. The reimbursement request as well as a plan amendment are currently under review.

Since the Brownfield Redevelopment Authority is a separate legal entity from the City, it is required to adopt an annual budget. The budget presented is based on tax information available for the upcoming year. Any adjustment would require a budget amendment. Attached is a budget resolution for your consideration.

Requested Action: Approve the resolution to adopt the Proposed Brownfield Redevelopment Fund and Brownfield Site Remediation Fund Budgets

Attachment(s): Proposed Brownfield Redevelopment Fund and Brownfield Site Remediation Fund Budget Resolution

BUDGET																	
Account #	Account Title	2022 /23		2023 /24		12 Months Projected	2024 /25	2025 /26	2026 /27	2027 /28	2028 /29						
		Amended Budget	Audited Actual	Amended Budget	Original Budget												
BROWNFIELD SITE REMEDIATION FUND																	
REVENUES																	
242 000 565.000	INTEREST ON INVESTMENTS	0	0	50	0	50	60	70	70	70	70						
242 000 575.243	CONTRIBUTION FROM BROWNFIELD OPER FUND	0	0	0	0	0	0	0	0	0	0						
242 000 588.000	APPROP. OF FY FUND BALANCE	0	0	0	0	0	0	0	0	0	0						
242 004 548.000	Brownfield - Mill Street Towne	100,000	100,000	0	0	0	0	0	0	0	0						
242 004 548.000	STATE GRANT - NDEQ	100,000	100,000	0	0	0	0	0	0	0	0						
BROWNFIELD SITE REMEDIATION FUND																	
REVENUE GRAND TOTAL												100,000	60	70	70	70	
BROWNFIELD SITE REMEDIATION FUND																	
EXPENDITURES																	
242 281 818.000	CONTRACTUAL SERVICES	0	0	0	0	0	0	0	0	0	0						
242 281 965.243	CONTR TO BROWNFIELD OPERATING FUND	0	0	0	0	0	0	0	0	0	0						
242 281 962.000	RESERVE FOR CONTINGENCY	0	0	50	50	0	60	70	70	70	70						
242 650 971.255	Brownfield - Mill Street Towne	100,000	100,000	0	0	0	0	0	0	0	0						
242 650 971.255	CAP OUTLAY/BROWNFIELD	100,000	100,000	0	0	0	0	0	0	0	0						
BROWNFIELD SITE REMEDIATION FUND																	
EXPENDITURE GRAND TOTAL												100,000	50	50	70	70	70
BROWNFIELD SITE REMEDIATION FUND BALANCE																	
BEGINNING SURPLUS (OR DEFICIT)												122,332	122,332	122,332	122,432	122,532	122,532
CURRENT-YEAR REVENUES												100,000	50	50	60	70	70
CURRENT-YEAR EXPENDITURES												(100,000)	(50)	(50)	(60)	(70)	(70)
CURRENT-YEAR SURPLUS (OR DEFICIT)												0	0	0	0	0	0
+ CONTINGENCY / - APPROPRIATION OF PRIOR												0	0	0	0	0	0
ENDING SURPLUS (OR DEFICIT)												122,332	122,332	122,332	122,432	122,532	122,532

BUDGET											
Account #	Account Title	2022 / 23 Amended Budget	Audited Actual	2023 / 24 Amended Budget	6 Months Actual	12 Months Projected	2024 / 25 Proposed Budget	2025 / 26 Projected Budget	2026 / 27 Projected Budget	2027 / 28 Projected Budget	2028 / 29 Projected Budget
BROWNFIELD REDEVELOPMENT AUTH FUND											
REVENUES											
243 000 495.000	General Revenues										
243 000 499.000	TAXES RECOVERED BY COUNTY	0	0	0	0	0	0	0	0	0	0
243 000 573.000	PERSONAL PROPERTY TAX REFACEMENT REV	0	0	0	0	0	0	0	0	0	0
243 000 575.000	LOCAL COMMUNITY STABILIZATION	200	0	200	1,873	200	200	210	220	220	220
243 000 685.000	INTEREST ON INVESTMENTS	4,460	5,263	10	10	10	10	10	10	10	10
243 000 675.255	CONTRIBUTIONS FROM LARR FUND	0	0	0	0	0	0	0	0	0	0
243 000 688.000	APPROP. OF FY FUND BALANCE	0	0	0	0	0	0	0	0	0	0
	Total	4,660	5,263	210	1,873	210	210	220	230	230	230
243 050 402.000	Brownfield Capture - Old Village Revenues	0	0	0	0	0	0	0	0	0	0
243 050 402.000	CURRENT PROPERTY TAX/REAL	0	0	0	0	0	0	0	0	0	0
243 050 402.000	PENALTIES & INTEREST	0	0	0	0	0	0	0	0	0	0
	Total	0	0	0	0	0	0	0	0	0	0
243 055 402.000	Brownfield Capture - Dairs Candos Revenues	0	0	0	0	0	0	0	0	0	0
243 055 403.000	CURRENT PROPERTY TAX/REAL	0	0	0	0	0	0	0	0	0	0
243 055 403.000	PENALTIES & INTEREST	0	0	0	0	0	0	0	0	0	0
	Total	0	0	0	0	0	0	0	0	0	0
243 070 402.000	Brownfield Capture - Starkweather School Revenues	55,480	55,359	94,340	42,650	94,340	103,120	116,700	117,480	118,250	0
243 070 402.000	CURRENT PROPERTY TAX/REAL	0	0	0	0	0	0	0	0	0	0
243 070 402.000	PENALTIES & INTEREST	55,480	55,359	94,340	42,650	94,340	103,120	116,700	117,480	118,250	0
	Total	55,480	55,359	94,340	42,650	94,340	103,120	116,700	117,480	118,250	0
243 075 402.000	Brownfield Capture - Mill Street Towns	310,023	300,557	478,100	101,504	478,100	458,640	211,375	359,732	368,851	375,857
243 075 402.000	CURRENT PROPERTY TAX/REAL	0	0	0	0	0	0	0	0	0	0
243 075 402.000	PENALTIES & INTEREST	310,023	300,557	478,100	101,504	478,100	458,640	211,375	359,732	368,851	375,857
	Total	310,023	300,557	478,100	101,504	478,100	458,640	211,375	359,732	368,851	375,857
	BROWNFIELD REDEVELOPMENT AUTH FUND	370,140	361,578	572,550	146,228	572,550	597,120	328,295	477,442	486,841	376,111
	REVENUE GRAND TOTAL	370,140	361,578	572,550	146,228	572,550	597,120	328,295	477,442	486,841	376,111

BUDGET												
Account #	Account Title	2022 / 23 Amended Budget	2022 / 23 Revised Actual	2023 / 24 Original Budget	2023 / 24 Amended Budget	2023 / 24 6 Months Actual	2023 / 24 12 Months Projected	2024 / 25 Proposed Budget	2025 / 26 Projected Budget	2026 / 27 Projected Budget	2027 / 28 Projected Budget	2028 / 29 Projected Budget
BROWNFIELD REDEVELOPMENT AUTH FUND												
EXPENDITURES												
Administration Expenditures												
243 281 982.000	RESERVE FOR CONTINGENCY	4,560	0	210	210	0	210	210	220	220	230	230
243 281 985.255	CONTRIBUTION TO SITE REMEDIATION FUND	0	0	0	0	0	0	0	0	0	0	0
	Total	4,560	0	210	210	0	210	210	220	220	230	230
Brownfield - Old Village Park Expenditures												
243 600 970.000	REIMBURSEMENT/BROWNFIELD EXP	0	0	0	0	0	0	0	0	0	0	0
243 600 970.500	REIMBURSEMENT/BROWNFIELD ADM	0	0	0	0	0	0	0	0	0	0	0
243 600 970.600	TRANSFER TO SITE REMEDIATION FUND	0	0	0	0	0	0	0	0	0	0	0
	Total	0	0	0	0	0	0	0	0	0	0	0
Brownfield - Dairy Cados Expenditures												
243 610 970.000	REIMBURSEMENT/BROWNFIELD EXP	0	0	0	0	0	0	0	0	0	0	0
243 610 970.500	REIMBURSEMENT/BROWNFIELD ADM	0	0	0	0	0	0	0	0	0	0	0
243 610 970.600	TRANSFER TO SITE REMEDIATION FUND	0	0	0	0	0	0	0	0	0	0	0
243 610 970.800	RETURN TO PARKING UNITS	0	0	0	0	0	0	0	0	0	0	0
	Total	0	0	0	0	0	0	0	0	0	0	0
Brownfield - Snakeweather School Expenditures												
243 640 970.000	REIMBURSEMENT/BROWNFIELD EXP	49,910	49,923	84,910	84,910	0	84,910	87,310	106,030	106,780	106,420	0
243 640 970.500	REIMBURSEMENT/BROWNFIELD ADM	5,550	5,536	9,430	9,430	0	9,430	10,810	11,970	11,750	11,830	0
243 640 970.600	TRANSFER TO SITE REMEDIATION FUND	0	0	0	0	0	0	0	0	0	0	0
	Total	55,460	55,359	94,340	94,340	0	94,340	108,120	118,000	118,530	118,250	0
Brownfield - Mill Street Towns												
243 650 970.000	REIMBURSEMENT/BROWNFIELD EXP	279,020	270,981	430,290	430,290	0	430,290	439,060	190,235	323,762	331,521	336,297
243 650 970.500	REIMBURSEMENT/BROWNFIELD ADM	31,000	30,096	47,810	47,810	0	47,810	48,660	21,140	55,970	56,840	37,590
243 650 970.600	TRANSFER TO SITE REMEDIATION FUND	0	0	0	0	0	0	0	0	0	0	0
	Total	310,020	300,957	478,100	478,100	0	478,100	487,720	211,375	379,732	388,361	373,887
	BROWNFIELD REDEVELOPMENT AUTH FUND	370,140	356,316	572,650	572,650	0	572,650	597,170	326,285	477,442	466,841	376,117
	EXPENDITURE GRAND TOTAL	370,140	356,316	572,650	572,650	0	572,650	597,170	326,285	477,442	466,841	376,117
BROWNFIELD REDEVELOPMENT AUTH FUND BALANCE												
	BEGINNING SURPLUS (OR DEFICIT)	19,031	19,031	24,293	24,293	24,293	24,293	24,503	24,713	24,933	25,153	25,363
	CURRENT-YEAR REVENUES	370,140	361,578	572,650	572,650	148,226	572,650	597,170	326,285	477,442	466,841	376,117
	CURRENT-YEAR EXPENDITURES	(370,140)	(356,316)	(572,650)	(572,650)	0	(572,650)	(597,170)	(236,285)	(477,442)	(466,841)	(376,117)
	CURRENT-YEAR SURPLUS (OR DEFICIT)	0	5,293	0	0	148,226	0	0	0	0	0	0
	+ CONTINGENCY / - APPROPRIATION OF PRIOR	4,860	0	210	210	0	210	210	220	220	230	230
	ENDING SURPLUS (OR DEFICIT)	23,891	24,293	24,503	24,503	170,521	24,503	24,713	24,933	25,153	25,363	25,623

City of Plymouth Brownfield Redevelopment Authority 2024-2025 Budget

**RESOLUTION
ADOPTION OF THE 2024-2025 BUDGET**

The following was moved by Board Member _____ and
seconded by Board Member _____.

WHEREAS, The 2024-2025 Brownfield Redevelopment Authority Budget was presented to the City Commission by the City Manager on April 1, 2024; and

WHEREAS, Public Act 381 of 1996 requires the Brownfield Redevelopment Authority to adopt a budget annually and forward their approved budget to the City Commission for final adoption; and

WHEREAS, the Board of the Brownfield Redevelopment Authority did review the proposed budget on May 23, 2024 and noted changes, if any;

NOW, THEREFORE, BE IT RESOLVED that the Board of the Brownfield Redevelopment Authority of the City of Plymouth hereby adopts the proposed fiscal year 2023-2024 budget as proposed, with amendments if any, as shown in the enclosed attachment.

NOW, THEREFORE, BE IT FURTHER RESOLVED that the Board of the Brownfield Redevelopment Authority hereby directs the City Manager to submit the proposed budget to the City Commission for inclusion in the overall city budget.

CHARLES E. DUNN, PLC
P.O. Box 230
Clarkston, Michigan 48347
(248) 807-6284
CharlesEDunnPLC@gmail.com

May 22, 2024

City of Plymouth
Brownfield Redevelopment Authority
c/o Mr. Paul Sincock
City of Plymouth
201 S. Main
Plymouth, MI 48170

Subject: Pulte Eligible Costs Reimbursement Request
Mill Street Towns Brownfield Plan
Pulte Homes of Michigan, LLC

Attention: Brownfield Redevelopment Authority

A meeting of the City of Plymouth Brownfield Redevelopment Authority ("BRA") is scheduled on Thursday May 23, 2024 to discuss and potentially approve a revised Tax Increment Financing Reimbursement Request submitted by Pulte Homes of Michigan, LLC ("Pulte") consistent with the previously approved Mill Street Towns Brownfield Plan in 2019. The property is located at 100 S Mill Street, Plymouth, Michigan.

As background, the City of Plymouth Brownfield Redevelopment Authority ("BRA") approved a brownfield plan on April 11, 2019 ("Plan") submitted by Pulte for the Mill Streets Towns development ("Project"). As part of the Plan, the BRA approved an amount not to exceed \$1,832,700 in eligible costs consistent with the Brownfield Redevelopment Financing Act, Michigan Public Act 381 of 1996, as amended ("the Act"). A Brownfield Reimbursement Agreement was entered into on May 6, 2019 setting forth the terms for reimbursement of the eligible brownfield costs, also consistent with the Act.

On February 9, 2024, Pulte submitted a comprehensive revised Tax Increment Financing Reimbursement Request for the Project ("TIF Request") in an amount of \$1,078,582.99, not including interest. The eligible costs generally consist of Pre-Approved Activities (\$84,341.13), EGLE Department Specific Activities (\$720,056.71), Demolition (\$256,993.90), and Brownfield Preparation and Implementation costs (\$17,191.25). Interest in the amount of \$74,498.10 as calculated pursuant to the constraints of the Reimbursement Agreement is also part of the Reimbursement Request. The Reimbursement Request included all necessary descriptions of eligible activity and costs incurred to date, as well as detailed contractor expenses with

corresponding pay applications completed by those contractors, along with proofs of payment (all totaling 801 pages).

Undersigned legal counsel has reviewed the comprehensive Reimbursement Request and opines that it substantially complies with the Brownfield Redevelopment Financing Act, Michigan Public Act 381 of 1996, as amended. Accordingly, we are recommending approval of the TIF Reimbursement Request (including interest) in a total amount of \$1,153,081.09.

Any questions or comments you may have can be addressed at the May 23rd meeting.

Very Truly Yours,

/s/ Charles E. Dunn

By: Charles E. Dunn
Charles E. Dunn, PLC

CHARLES E. DUNN, PLC
P.O. Box 230
Clarkston, Michigan 48347
(248) 807-6284
CharlesEDunnPLC@gmail.com

May 22, 2024

City of Plymouth
Brownfield Redevelopment Authority
c/o Mr. Paul Sincock
City of Plymouth
201 S. Main
Plymouth, MI 48170

Subject: Mill Street Towns Brownfield Plan Amendment #1
Pulte Homes of Michigan, LLC

Attention: Brownfield Redevelopment Authority

A meeting of the City of Plymouth Brownfield Redevelopment Authority ("BRA") is scheduled on Thursday May 23, 2024 to discuss and potentially approve the attached Mill Street Towns Brownfield Plan Amendment #1 dated May 9, 2024 ("Amended Plan") submitted by Pulte Homes of Michigan, LLC ("Pulte"). The property is located at 100 S Mill Street, Plymouth, Michigan.

The original brownfield plan was approved by the BRA on April 11, 2019. The Amended Plan supersedes the original brownfield plan and adds an additional parcel for the construction of additional townhomes. The second phase (Phase 2) of this project includes construction of 29 additional townhomes. Phase 2 follows the completion of the first phase of construction which included 76 townhomes. A total of 105 townhomes will be developed under the Amended Plan.

The original brownfield plan was approved in an amount not to exceed \$2,088,639. The amended plan includes a request for an additional \$794,639 for an updated amount not to exceed \$2,883,278 (including eligible activities, a 15% contingency, and simple interest of 3% on the outstanding balance of eligible costs as of December 31st).

The Amended Plan is similar in form and substance (other than the addition of the Phase 2 units and associated costs) to the original plan which the BRA previously approved in 2019. A review of the Amended Plan indicates that it substantially complies with the Brownfield Redevelopment Financing Act, Michigan Public Act 381 of 1996, as amended, hence, we are

recommending approval of the Amended Plan. Any questions or comments you may have can be addressed at the May 23rd meeting.

Very Truly Yours,

/s/ Charles E. Dunn

By: Charles E. Dunn
Charles E. Dunn, PLC

**CITY OF PLYMOUTH
BROWNFIELD REDEVELOPMENT AUTHORITY**

**BROWNFIELD PLAN
AMENDMENT #1**

**MILL STREET TOWNS
LOCATED AT 100 SOUTH MILL STREET
PLYMOUTH, MICHIGAN**

May 9, 2024

Original Brownfield Plan Approved by BRA: April 11, 2019
Original Brownfield Plan Approved by City Commission: May 6, 2019
Brownfield Plan Amendment #1 Approved:

Prepared on Behalf of:

Pulte Homes of Michigan, LLC
100 Bloomfield Hills Parkway, Suite 150
Bloomfield Hills, MI 48304
Contact Person: Mr. Chris Plumb
Telephone: (248) 908-5052
Email: chris.plumb@pulte.com

Prepared By:

PM Environmental, Inc.
4080 West Eleven Mile Road
Berkley, Michigan 48072
Contact Person: Jessica DeBone
Telephone: (616) 328-5297
Email: jess.debone@pmenv.com



TABLE OF CONTENTS

I. INTRODUCTION AND PURPOSE.....	2
I.a. Property Description	2
I.b. Basis of Eligibility.....	3
I.c. Project Description	3
II. GENERAL PROVISIONS	4
II.a. Description of Costs to be Paid for with Tax Increment Revenues (Section 13 (2)(a))	4
II.b. Brief Summary of the Eligible Activities that are Proposed (Section 13 (2)(b))	4
II.c. Estimate of Captured Taxable Value and Tax Increment Revenues (Section 13 (2)(c))	5
II.d. Method of Financing Plan Costs and Description of Advances by the Municipality (Section 13 (2)(d)).....	5
II.e. Maximum Amount of Note or Bonded Indebtedness (Section 13 (2)(e)).....	6
II.f. Duration of the Brownfield Plan (Section 13 (2)(f))	6
II.g. Estimated Impact of Tax Increment Financing on Revenues of Taxing Jurisdictions (Section 13 (2)(g))	6
II.h. Legal Description, Property Map, Property Characteristics, and Personal Property (Section 13 (2)(h))	7
II.i. Estimates of the Number of Persons Residing on the Property (Section 13 (2)(i)).....	7
II.j. Plan for Relocation of Displaced Residents (Section 13 (2)(j))	7
II.k. Provisions for Relocation Costs (Section 13 (2)(k))	8
II.l. Strategy for Compliance with Michigan's Relocation Assistance Law (Section 13 (2)(l))	8
II.m. Other Material that the Authority or Governing Body Considers Pertinent (Section 13 (2)(m))	8

APPENDICIES

Appendix A	Legal Description
Appendix B	Eligible Property Location Map
Appendix C	Current Site Photos
Appendix D	Site Plans and Renderings
Appendix E	Documentation of Eligibility

TABLES

Table 1	Eligible Activity Cost Schedule
Table 2	Tax Increment Revenue Capture Estimates
Table 3	Tax Increment Reimbursement Estimates

PROJECT SUMMARY

Project Name:	Mill Street Towns Brownfield Plan Amendment #1
Applicant/Developer:	Pulte Homes of Michigan, LLC
Project Location:	The property is located at 100 South Mill Street in Township one south (T.1S), Range eight east (R.8E), Section 26, Plymouth, Wayne County Michigan 48170 (the "Property").
Type of Eligible Property:	The property is determined to be a "Facility" under Part 201, as amended.
Eligible Activities:	Work Plan Exempt Activities (Pre-Approved Activities), Department Specific Activities, Demolition, and Preparation of a Brownfield Plan and Act 381 Work Plan.
Developer Reimbursable Costs:	The Original Brownfield Plan was approved in an amount not to exceed \$2,088,639 (including eligible activities, a 15% contingency, and simple interest of 3% on the outstanding balance of eligible costs as of December 31st). Amendment #1 includes a request for an additional \$794,639, for an updated not to exceed amount of \$2,883,278 (including eligible activities and 15% contingency, and simple interest of 3% on the outstanding balance of eligible costs as of December 31st).
Length of Developer Reimbursement:	Estimated 8 Years from start of capture
Project Overview:	This Brownfield Plan Amendment #1 supersedes the Original Brownfield Plan and adds an additional parcel to the Brownfield Plan for the construction of additional townhomes. The second phase (Phase 2) of this project includes construction of 29 additional townhomes. Phase 2 follows the completion of the first phase of construction (Phase 1) which included 76 (including 2 units currently being utilized as model units and ultimately sold) townhomes. A total of 105 townhomes will be developed under both Phase I and Phase 2 of the project.
Estimated Capital Investment:	Approximately \$25 million for Phase I and \$10 million for Phase II (including Acquisition, Hard and Soft Costs)
Estimated Job Creation:	It is estimated that 10 full-time equivalent (FTE) construction jobs will be created.

I. INTRODUCTION AND PURPOSE

To promote the revitalization of environmentally distressed, historic, functionally obsolete and blighted areas within the boundaries of Plymouth ("the City"), the City has established the Plymouth Brownfield Redevelopment Authority (PBRA) the "Authority" pursuant to the Brownfield Redevelopment Financing Act, Michigan Public Act 381 of 1996, as amended ("Act 381").

On April 11, 2019, the governing body (as defined by Act 381) approved a brownfield plan identified as the Brownfield Plan for the Mill Street Towns Project (the "Original Plan") for the Property (as defined in Section II(A) herein). An additional parcel is to be added with this amendment, on which 29 additional townhomes will be constructed. This Phase 2 of development will incur additional costs for the overall project. In order to complete Phase 2 and account for the related increase in brownfield Eligible Activities, an amendment to the Original Plan is required.

The purpose of this Brownfield Plan (the "Plan") is to amend, restate, and replace in its entirety the Original Plan, upon approval by the governing body. This Plan shall promote the redevelopment of and investment in the eligible "Brownfield" Property within the City and to facilitate reimbursement of eligible activities at the Brownfield. By facilitating redevelopment of the Brownfield, this Plan is intended to promote economic growth for the benefit of the residents of the City and all taxing units located within and benefited by the Authority.

This Plan is intended to apply to the eligible property identified in this Plan and, to identify and authorize the eligible activities to be reimbursed utilizing tax increment revenues. This Plan is intended to be a living document, which may be modified or amended in accordance with and as necessary to achieve the requirements and purposes of Act 381.

This Plan contains information required by Section 13(2) of Act 381, as amended. The applicable sections of Act 381 are noted throughout the Plan for reference purposes. All words or phrases not defined herein shall have the same meaning as such words and phrases included in Act 381.

I.a. Property Description

The Eligible Property approved within the Original Plan consisted of one (1) 10-acre legal parcel. This amended Plan adds one (1) legal parcel to the project. The property totals two (2) legal parcels and spans approximately 15.39 acres, with a street address of 100 South Mill Street, Plymouth, Wayne County, Michigan. The parcels and all tangible personal property located thereon will comprise the eligible property and is referred to herein as the "subject property."

The subject property is located off the Main Street corridor, bounded by a strip mall to the north, residences to the east, light industrial properties to the south, and multi-family residential condominiums to the west. Individual parcel information is outlined below.

Property Address	Project Phase	Parcel ID Number	Approximate Acreage	Eligibility
100 South Mill Street (southern parcel)	Phase 1:	Portion of 006-09-0643-300	10 acres	Facility
100 South Mill Street (northern parcel)	Phase 2:	006-09-0643-301	5.39 acres	Facility

The southern parcel (Phase 1) is zoned Planned Unit Development (PUD) and is occupied by the previously approved and completed 76 townhomes. The northern vacant parcel, (Phase 2), is currently zoned I-2, Heavy Industrial and anticipated to be zoned PUD.

Standard and other historical sources documented that the first developed use of the subject property occurred prior to 1914 with a canning factoring in the northwestern. The canning factory was vacated in 1918 and demolished by 1927. Several dwellings were constructed by 1937 in the eastern and southeastern portions. The dwellings were demolished as the former manufacturing building was expanded in the 1960s. Several additions were made to the former manufacturing building through 1965, and renovations completed in 1969. The subject property was occupied by Bathey Manufacturing Co., a manufacturer of vertical blinds and cabinets, from at least 1950 until 2002, and the buildings were demolished between 2007 and 2010. Since then, the southern parcel has been developed with 74 townhomes and the northern parcel remains vacant.

The subject property's legal description is included in Appendix A. Property location maps are included in Appendix B.

I.b. Basis of Eligibility

The subject property is considered "Eligible Property" as defined by Act 381, Section 2 because it (a) was previously utilized for an industrial purpose; (b) is located within the City of Plymouth, a qualified local governmental unit under Act 381; (c) is determined to be a "Facility" as defined by Act 381.

Additional information regarding the subject property's eligibility is included within section II.h and documentation of eligibility is included within Appendix E.

I.c. Project Description

Pulte Homes of Michigan, LLC a development subsidiary of PulteGroup, or any affiliate, or such other developer as approved by the Authority, are collectively the project developer ("Developer").

Pulte Homes of Michigan, a subsidiary of PulteGroup, has operated in the Detroit market for more than 70 years and currently has approximately \$170 million invested in land, development, and new home construction across the Detroit and Ann Arbor markets. PulteGroup is 100% self-funded and will not require additional outside capital or lender participation.

The Original Brownfield Plan, approved by the PBRA in 2019 entailed the construction of 74 townhomes. The initial phase of construction, "Phase 1", is complete. This Brownfield Plan Amendment adds Phase 2 of development which calls for the construction of an additional 29 townhomes. New living spaces will model those from Phase 1, varying from four-unit to five-unit buildings with three and four bedrooms each. Each townhome will consist of approximately 1,600 to 2,000 square feet. The buildings will be designed with a transitional urban feel to assist in tying into the surrounding area, including porches facing the street and garage access on the back of the buildings.

The remainder of the subject property will consist of communal greenspace, walkways, parking, and areas for seating and bike parking. The development will provide a connection between Main

Street and downtown via a walking path and to Hines Park via a pedestrian crossing. Trees and landscaping will create a park-like setting throughout the development.

New construction under Phase 1 began in 2019. New construction of Phase 2 is anticipated to begin in the summer of 2024 and be completed by the end of 2025. By the end of Phase 2, Pulte Homes will have invested an estimated \$35 million in the development and created approximately 30 construction jobs.

Preliminary site plans and renderings are included in Appendix D.

II. GENERAL PROVISIONS

II.a. Description of Costs to be Paid for with Tax Increment Revenues (Section 13 (2)(a))

Tax Increment Financing revenues will be used to reimburse the costs of "Eligible Activities" (as defined by Section 2 of Act 381) as permitted under the Brownfield Redevelopment Financing Act that include:

- Work Plan Exempt Department Specific Activities
- Department Specific Activities
- Demolition
- Preparation and Implementation of a Brownfield Plan and/or Act 381 Work Plan

A 15% Contingency has also been calculated and included within this Brownfield Plan. Tax Increment Revenues are also projected to be captured for BRA administrative fees, and capture for the State Brownfield Fund (Section 13B(14)).

A summary of the eligible activities and the estimated cost of each eligible activity intended to be reimbursed with tax increment revenues captured from the subject property are shown in the attached Table 1.

The Eligible Activity cost estimates may increase or decrease depending on the nature and extent of unknown conditions encountered. If the total cost of eligible activities as described within this Plan is not exceeded, line-item categories and costs of eligible activities may differ from what is included within this Plan, to the extent the adjustments do not violate the terms of Act 381.

II.b. Brief Summary of the Eligible Activities that are Proposed (Section 13 (2)(b))

1. Pre-Approved Activities include a Phase I Site Assessment (ESA) and, Phase II ESA, Baseline Environmental Site Assessment (BEA), Documentation of Due Care Compliance, Due Care Plan – Contaminated Soil and Groundwater Management Plan, and Due Care Plan – Post Development, required as part of the pre-purchase due diligence conducted on the property.
2. Department Specific Activities include the design and installation of a vapor barrier system; contaminated soil transport and disposal associated with development activities; contaminated water management, treatment, and disposal; frac tank rental; cut-off walls for utilities; retention pond liner barriers; implementation of controls to prevent contact

with contaminations through fencing; chemical-resistant gasketing for utilities; and, oversight/sampling/reporting by an environmental professional.

3. Demolition Activities includes building and site demolition.
4. Preparation of the Brownfield Plan and Act 381 Work Plan (if applicable) and associated activities (e.g. meetings with BRA, review by City Attorney etc.).
5. Implementation of the Brownfield Plan and Act 381 Work Plan (if applicable).
6. A 15% contingency is established to address unanticipated environmental and/or other conditions that may be discovered through the implementation of site activities. This excludes the cost of Baseline Environmental Assessment Activities and preparation of the Brownfield Plan and Act 381 Work Plan.
7. Simple interest of 3% up to the amount approved in the Original Plan.
8. Costs for administrative fees.

II.c. Estimate of Captured Taxable Value and Tax Increment Revenues (Section 13 (2)(c))

The costs of eligible activities included in, and authorized by this Plan, will be reimbursed with incremental local and state tax revenues (as applicable) generated by the subject property and captured by the PBRA, subject to any limitations and conditions described in this Plan, and the terms of a Reimbursement Agreement between the Developer and the Authority (the "Reimbursement Agreement").

The initial ("base") taxable value of the subject property shall be determined by use of the 2019 tax year tax value, which is \$289,498. Beginning in 2024, the initial "base" value is increase to \$401,658 with the addition of the current taxable value for parcel 006-09-0643-301. Tax increment revenue capture began in 2020. The estimated taxable value of the completed development is \$22,964,244 full project completion by 2027. An annual increase in taxable value of 2.0% has been applied to account for future tax increments in this Plan. Table 2 details the estimated available tax increment revenues for each year of the Plan. The actual taxable value will be determined by the authorized assessor.

The PBRA will capture 10% of total tax increment revenues on an annual basis for administrative fees, which is estimated to be \$357,644.

A summary of the impact to taxing jurisdictions for the life of the Plan is summarized in Section II.h.

II.d. Method of Financing Plan Costs and Description of Advances by the Municipality (Section 13 (2)(d))

Eligible activities will be financed by Pulte Homes of Michigan, LLC. The Developer will be reimbursed for eligible costs as described in Section II.c and outlined in Table 1. Costs for Eligible Activities funded by Pulte Homes of Michigan, LLC will be repaid under the Michigan Brownfield Redevelopment Financing Program (Michigan Public Act 381, as amended) with incremental taxes generated by future development of the subject property.

**Brownfield Plan Amendment #1 for the proposed Mill Street Towns
Located at 100 South Mill Street, Plymouth, Michigan
PM Project No. 01-8475-2-0007; February 9, 2024**

No advances will be made by the PBRA for this project. All reimbursements authorized under this Plan shall be governed by the Reimbursement Agreement.

II.e. Maximum Amount of Note or Bonded Indebtedness (Section 13 (2)(e))

No note or bonded indebtedness will be incurred by any local unit of government for this project.

II.f. Duration of the Brownfield Plan (Section 13 (2)(f))

In no event shall the duration of the Plan, exceed 35 years following the date of the resolution approving the Original Plan, nor shall the duration of the tax capture exceed the lesser of the period authorized under subsection (4) and (5) of Section 13 of Act 381 or 30 years. The subject property will become part of this Plan on the date this Plan is approved by the City of Plymouth City Council.

II.g. Estimated Impact of Tax Increment Financing on Revenues of Taxing Jurisdictions (Section 13 (2)(g))

A summary of the total amounts estimated to be generated and preserved for taxing units during the life of the Plan are outlined below.

Millage	Rate	Developer Reimbursement	Administrative Fee	Taxes Preserved for Taxing Unit	New Taxes Generated	Totals
State Education Tax (SET)	6.0000	\$0	\$0	\$0	\$777,779	\$777,779
School Operating Tax	18.0000	\$0	\$0	\$0	\$0	\$0
Subtotal	24.0000	\$0	\$0	\$0	\$777,779	\$777,779
						\$0
City Operating	10.8782	\$1,135,341	\$141,713	\$31,294	\$133,084	\$1,441,433
City Refuse	1.8200	\$189,951	\$23,710	\$5,236	\$22,266	\$241,162
Schoolcraft College	1.7662	\$184,336	\$23,009	\$5,081	\$21,608	\$234,033
County Operating	6.6380	\$692,798	\$86,475	\$19,096	\$81,210	\$879,579
Jail	0.9381	\$97,908	\$12,221	\$2,699	\$11,477	\$124,304
HCMA	0.2129	\$22,220	\$2,774	\$612	\$2,605	\$28,211
Parks	0.2459	\$25,664	\$3,203	\$707	\$3,008	\$32,583
Library	1.4615	\$152,535	\$19,039	\$4,204	\$17,880	\$193,658
RESA	3.4643	\$361,564	\$45,130	\$9,966	\$42,382	\$459,043
RESA Enhancement	0.0000	\$20,962	\$370	\$0	\$0	\$21,332
Subtotal	27.4251	\$2,883,278	\$357,644	\$78,896	\$335,520	\$3,655,338
Total Capturable Millages	51.4251	\$2,883,278	\$357,644	\$78,896	\$1,113,299	\$4,433,117
Non-Capturable Millages	Rate			Taxes Preserved for Taxing Unit		
School Debt	4.02530			\$11,580	\$521,799	\$533,379
City Debt	2.80080			\$8,057	\$363,067	\$371,124
Wayne County DIA	0.20000			\$575	\$25,926	\$26,501
Wayne County Zoo	0.10000			\$288	\$12,963	\$13,251
Total Non-Capturable Millages	7.1261			\$20,500	\$923,755	\$944,255

See Table 2 for a complete breakdown of estimated available tax increment revenues and Table 3 for the annual estimated developer reimbursement.

II.h. Legal Description, Property Map, Property Characteristics, and Personal Property (Section 13 (2)(h))

The subject property's legal description is included in Appendix A and maps showing the location and dimensions of the eligible property are included in Appendix B.

The subject property is considered "Eligible Property" as defined by Act 381, Section 2 because it (a) was previously utilized for an industrial purpose; (b) is located within the City of Plymouth, a qualified local governmental unit under Act 381; (c) is determined to be a "Facility" as defined by Act 381.

Between July 2012 and August 2018, PM conducted site investigation activities. Various volatile organic compounds (VOCs), polynuclear aromatic compounds (PNAs), and/or metals have been identified in the soil, groundwater, and/or soil gas samples collected on the subject property in exceedance of the Part 201 Residential and Nonresidential cleanup criteria and/or Site-Specific Volatilization to Indoor Air Inhalation Criteria (VIAC). Therefore, the subject property is a "Facility" under Part 201 of P.A. 451, as amended, and the rules promulgated thereunder.

No underground storage tanks (USTs) are currently known to be present on the subject property.

According to Section 20101(1)(s) of Part 201 a "Facility" means any area, place, or property where a hazardous substance in excess of the concentrations that satisfy the cleanup criteria for unrestricted residential use has been released, deposited, disposed of, or otherwise comes to be located. The subject property is a "Facility" as defined under Part 201, based on concentrations identified in soil and groundwater identified during previous site investigations.

Personal property may be included as part of the eligible property and associated tax increment capture to the extent that it is taxable personal property. However, personal property is not included within the projections attached to this Plan.

Documentation of characteristics that qualify the property as eligible property is provided in Appendix E.

II.i. Estimates of the Number of Persons Residing on the Property (Section 13 (2)(i))

No displacement of residents or families is expected as part of this project.

II.j. Plan for Relocation of Displaced Residents (Section 13 (2)(j))

No persons will be displaced as result of this development; therefore, a Plan for relocation is not applicable for this Plan.

II.k. Provisions for Relocation Costs (Section 13 (2)(k))

No persons will be displaced as result of this development; therefore, no relocation costs will be incurred.

II.l. Strategy for Compliance with Michigan's Relocation Assistance Law (Section 13 (2)(l))

No persons will be displaced as result of this development; therefore, no relocation assistance strategy is needed for this Plan.

II.m. Other Material that the Authority or Governing Body Considers Pertinent (Section 13 (2)(m))

The Brownfield Redevelopment Authority and the City Council as the Governing Body, in accordance with the Act, may amend this Plan to fund additional eligible activities associated with the Project described herein.

Attachment A



Legal Description 100 South Mill Street, Plymouth, Wayne County, Michigan:

Portion of Parcel: 006-09-0643-300 (Original Brownfield Plan)

PROPOSED REMAINDER PARCEL LEGAL DESCRIPTION:

A PARCEL OF LAND SITUATED IN THE CITY OF PLYMOUTH, WAYNE COUNTY, MICHIGAN BEING ALL OF LOTS 643 THROUGH 652 INCLUSIVE, AND PART LOTS 653 & 654 OF ASSESSOR'S PLYMOUTH PLAT NO. 18 OF PART OF THE SOUTH 1/2 OF SECTION 26, TOWN 1 SOUTH, RANGE 8 EAST, CITY OF PLYMOUTH, WAYNE COUNTY, MICHIGAN, AS RECORDED IN LIBER 67, PAGE 27 OF PLATS, WAYNE COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS. BEGINNING AT A POINT ON THE WEST LINE OF MILL STREET (66 FEET WIDE) LOCATION SOUTH 88 DEGREES 20 MINUTES 20 SECONDS WEST 33.00 FEET ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION 26 FROM THE CENTER POST OF SAID SECTION AND SOUTH 02 DEGREES 13 MINUTES 32 SECONDS EAST 0.39 FEET ALONG THE WEST RIGHT OF WAY LINE OF MILL ST. 66' WIDE AND SOUTH 02 DEGREES 24 MINUTES 45 SECONDS EAST 152.93 FEET ALONG SAID WEST RIGHT OF WAY LINE OF MILL ST. TO THE POINT OF BEGINNING; THENCE SOUTH 02 DEGREES 24 MINUTES 45 SECONDS EAST 800.24 FEET ALONG SAID WEST RIGHT OF WAY LINE OF MILL ST. TO THE SOUTHEAST CORNER OF LOT 643 OF SAID ASSESSOR'S PLYMOUTH PLAT NO. 18; THENCE NORTH 88 DEGREES 13 MINUTES 20 SECONDS WEST 469.94 FEET ALONG THE SOUTH LINE OF SAID LOT 643 TO THE SOUTHWEST CORNER OF SAID LOT 643 THENCE NORTH 17 DEGREES 36 MINUTES 55 SECONDS WEST 281.47 FEET ALONG THE WEST LINE OF LOTS 643, 644 AND 645; THENCE NORTH 17 DEGREES 09 MINUTES 01 SECONDS WEST 219.91 FEET; THENCE NORTH 17 DEGREES 36 MINUTES 07 SECONDS WEST 321.62 FEET; THENCE DUE EAST 683.31 FEET TO THE POINT OF BEGINNING.

Parcel: 006-09-0643-301 (Additional Parcel to be Incorporated)

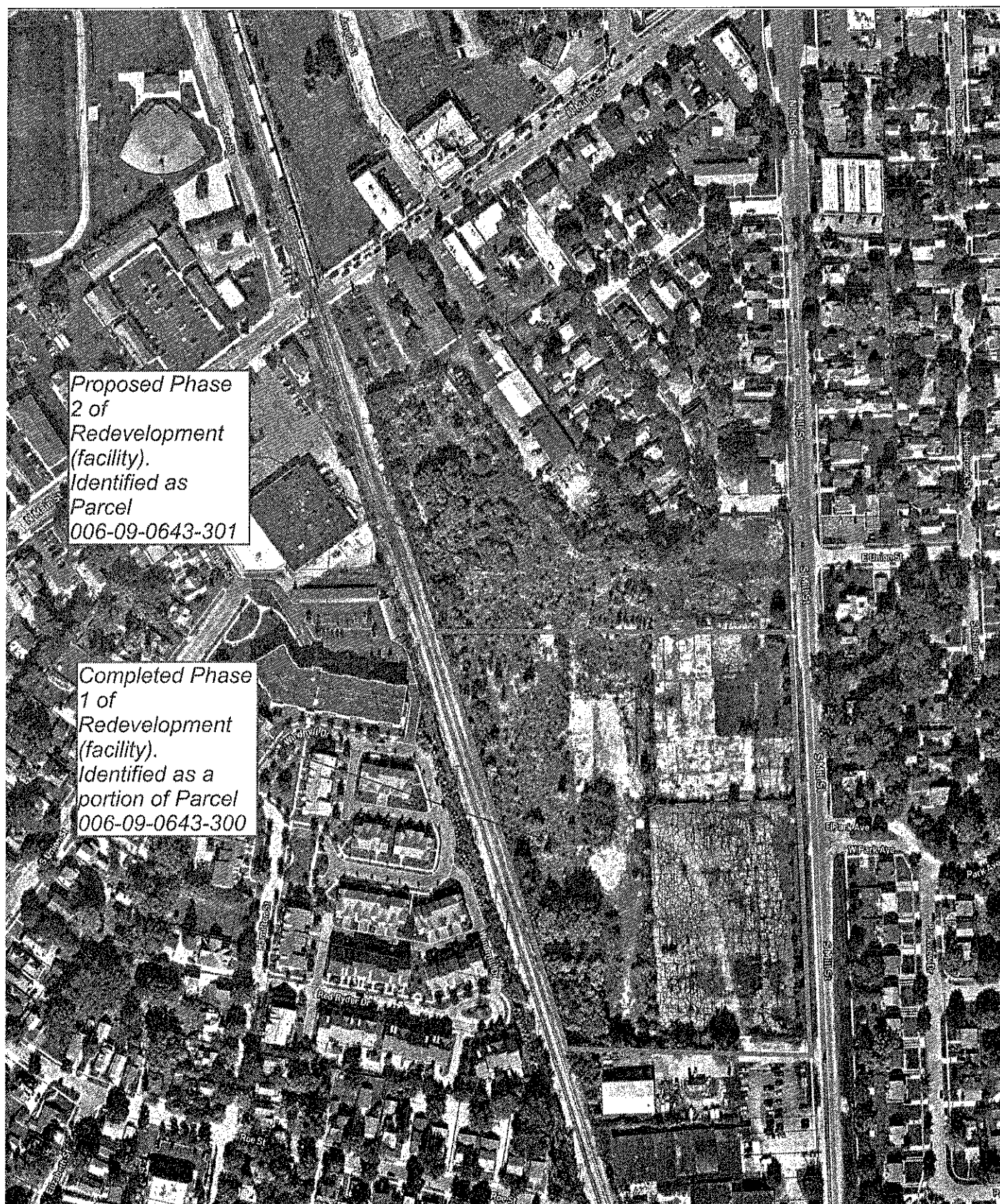
A PARCEL LAND SITUATED IN THE CITY OF PLYMOUTH, WAYNE COUNTY, MICHIGAN BEING PART OF LOTS 653 & 654 OF ASSESSOR'S PLAT NO. 18 OF PART OF THE SOUTH 1/2 OF SECTION 26, TOWN 1 SOUTH, RANGE 8 EAST, CITY OF PLYMOUTH, WAYNE COUNTY, MICHIGAN, AS RECORDED IN LIBER 67, PAGE 27 OF PLATS, WAYNE COUNTY, MICHIGAN, ALSO ALL OF LOT 402 AND PART OF LOTS 362, 363, AND 364 OF ASSESSOR'S PLAT NO. 14 OF PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 26, TOWN 1 SOUTH, RANGE 8 EAST, CITY OF PLYMOUTH, WAYNE COUNTY, MICHIGAN, AS RECORDED IN LIBER 66, PAGE 80 OF PLATS, WAYNE COUNTY RECORDS, BEING PARTICULARLY DESCRIBED AS FOLLOWS. BEGINNING AT A POINT ON THE WEST LINE OF MILL STREET (66 FT WIDE) LOCATION SOUTH 88 DEGREES 20 MINUTES 20 SECONDS WEST 33.00 FEET ALONG THE EAST-WEST 1/4 LINE OF SAID SECTION 26 FROM THE CENTER POST OF SAID SECTION; THENCE SOUTH 02 DEGREES 13 MINUTES 32 SECONDS EAST 0.39 FEET ALONG THE WEST RIGHT OF WAY LINE OF MILL ST. 66' WIDE; THENCE SOUTH 02 DEGREES 24 MINUTES 45 SECONDS EAST 152.93 FEET ALONG SAID WEST RIGHT OF WAY LINE OF MILL ST, THENCE DUE WEST 683.31 FEET, THENCE NORTH 17 DEGREES 36 MINUTES 07 SECONDS WEST 138.83 FEET TO A POINT ON THE EAST-WEST 1/4 LINE OF SAID SECTION AS MONUMENTED, SAID LINE COMMON TO ASSESSOR'S PLYMOUTH PLAT NO 18 AND ASSESSOR PLYMOUTH PLAT NO 14 AND AS MONUMENTED; THENCE NORTH 17 DEGREES 43 MINUTES 06 SECONDS WEST 339.86 FEET THENCE NORTH 72 DEGREES 18 MINUTES 39 SECONDS EAST 128.26 FEET, THENCE NORTH 53 DEGREES 31 MINUTES 41 SECONDS EAST 40.00 FEET TO A POINT ON THE EASTERLY LINE OF LOT 362 OF SAID ASSESSOR'S PLYMOUTH PLAT NO. 14, THENCE SOUTH 35 DEGREES 23 MINUTES 32 SECONDS EAST 432.69 FEET ALONG SAID EASTERLY LINE; THENCE NORTH 88 DEGREES 20 MINUTES 20 SECONDS EAST 158.88 FEET ALONG A LINE 25 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF LOT 363 OF ASSESSOR'S PLYMOUTH PLAT NO. 14 AND AS MONUMENTED, TO A POINT ON THE EASTERLY LINE OF SAID LOT 363; THENCE SOUTH 34 DEGREES 14 MINUTES 33 SECONDS EAST 29.67 FEET, ALONG THE SAID EASTERLY LINE TO THE SOUTHEAST CORNER OF SAID LOT 363, THENCE NORTH 88 DEGREES 20 MINUTES 20 SECONDS EAST 0.93 FEET; THENCE NORTH 50 DEGREES 19 MINUTES 27 SECONDS EAST 129.40 FEET TO THE NORTHWEST CORNER OF LOT 402 OF SAID ASSESSOR'S PLYMOUTH PLAT NO. 14, THENCE NORTH 88 DEGREES 20 MINUTES 20 SECONDS EAST 137.24 FEET ALONG THE NORTH LINE OF SAID LOT 402 TO THE NORTHEAST CORNER OF SAID LOT 402 THENCE SOUTH 02 DEGREES 13 MINUTES 40 SECONDS EAST 79.69 FEET ALONG THE EAST LINE OF SAID LOT 402 TO POINT OF BEGINNING.

Attachment B



<https://app.regrid.com/us/mi/wayne/plymouth>

By Loveland Technologies · Dec 28, 2021



Attachment C





Photographs From Site Reconnaissance
PM Project No. 01-8475-8-0001
Location: 100 South Mill Street, Plymouth, Michigan

Photograph 1



Subject property (proposed Phase 2 area)

Photograph 2



Subject property (proposed Phase 2 area)



Photographs From Site Reconnaissance
PM Project No. 01-8475-8-0001
Location: 100 South Mill Street, Plymouth, Michigan

Photograph 3



Subject property (proposed Phase 2 area)

Photograph 4

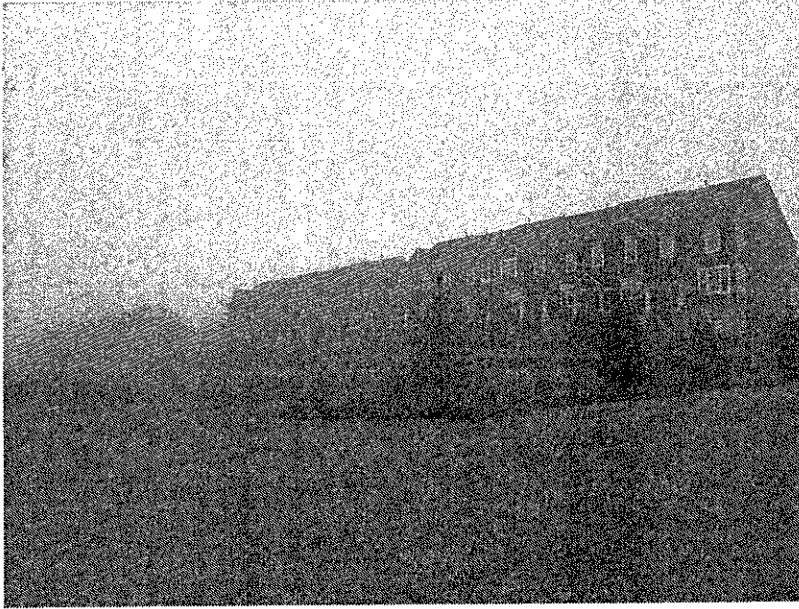


Subject property



Photographs From Site Reconnaissance
PM Project No. 01-8475-8-0001
Location: 100 South Mill Street, Plymouth, Michigan

Photograph 5



Southern Portion of the Property (Phase 1 of
Development completed)

Attachment D

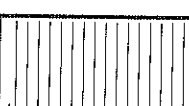




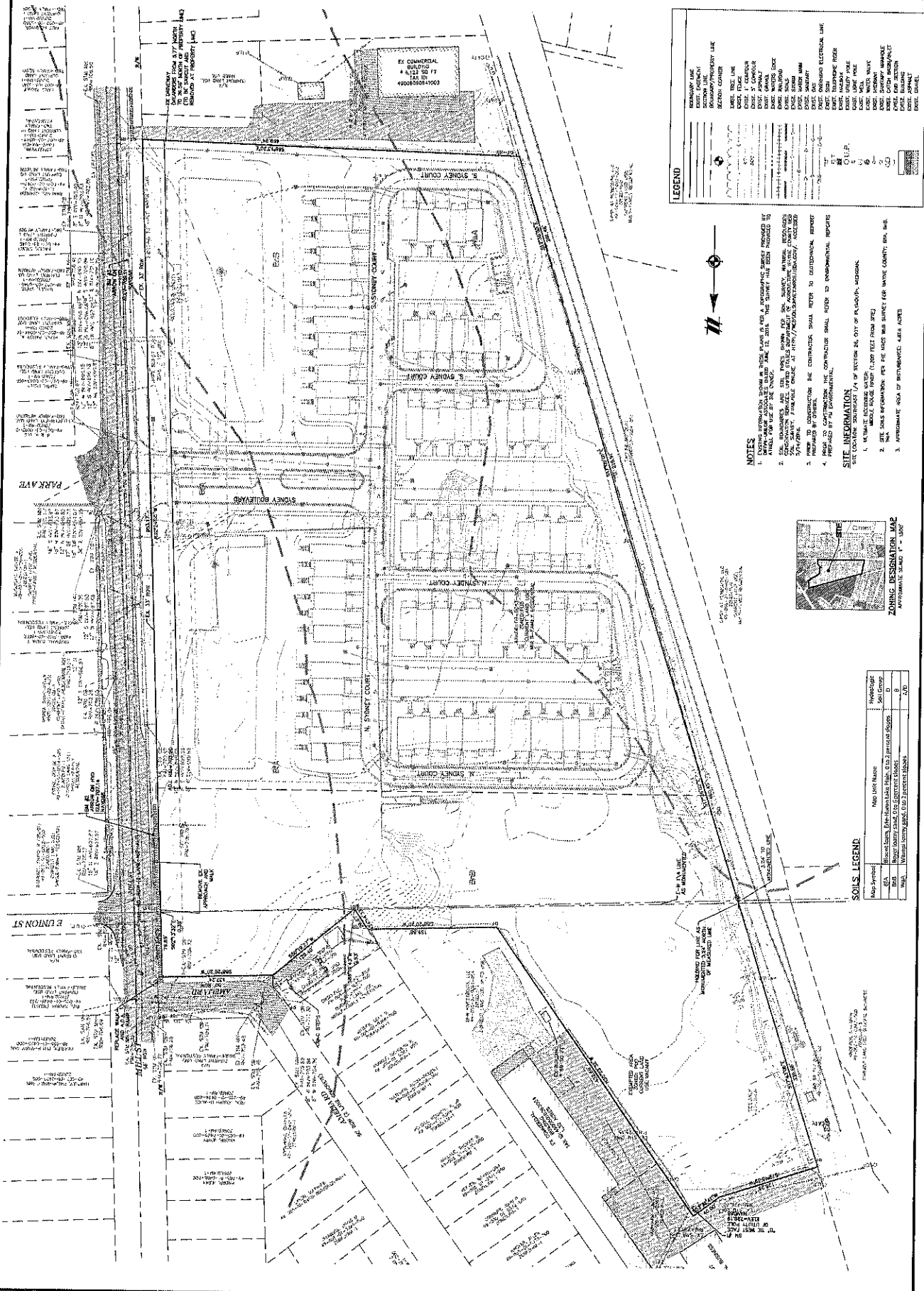
SECTION 26
TOWN OF SOUTH, RANGE 08 EAST
CITY OF PLAMOUTH
WAYNE COUNTY, MICHIGAN

PLUTE HOMES OF MICHIGAN, LLC
PLYMOUTH MULTI-FAMILY
AMENDED PUD PLAN -- FINAL
EXISTING CONDITIONS PLAN

CEMBER 07, 2022



REVISIONS	SCALE 0 25 50
	1" = 50 FEET
BY: BN: JS	
DATE: 11/11/08	
PROJECT: 170020512	
DATE: --	
IT NO. 2	



NOTES

1. EXISTING INFORMATION SHOWN ON THESE PLANS IS FOR A GEOGRAPHIC SURVEY PROVIDED TO AERIAL PHOTO USE BY THE COUNTY.
2. SOIL BOUNDARIES AND SOIL TYPES SHOWN FOR SOIL SURVEY. MATERIAL RESOURCES INFORMATION PROVIDED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES SERVICE, FARMALAND PLANNING OFFICE AT [HTTP://NRC.SOV/SOILS/PLANNING/SOILS.HTM](http://nrcs.gov/soils/planning/soils.htm), ACCESSED 5/14/2016.
3. IN ORDER TO CONSTRUCTION THE CONTRACTOR SHALL REFER TO GEOLOGICAL MAPS PREPARED BY OTHERS.
4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL REFER TO ENVIRONMENTAL REPORTS PREPARED BY OTHERS.

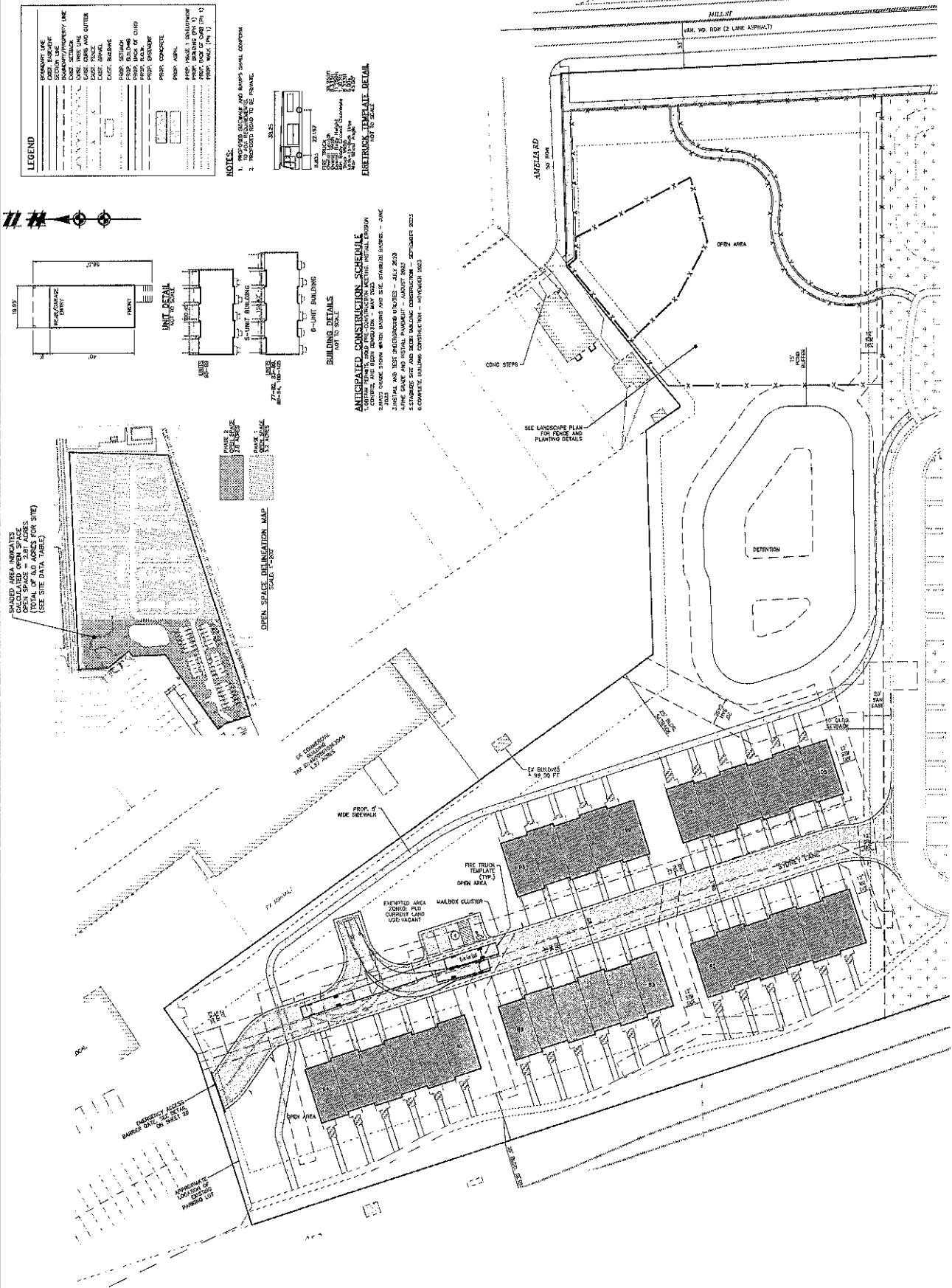
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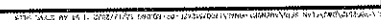
- SIT LOCATION: SOUTHWEST 1/4 OF SECTION 26, CITY OF FLOYDS, INDIANAN
1. EXISTING (ACQUEDUC WATER)
WINDY BOULE FOWER (1,200 FEET FROM SITE)
2. SITE SLOPE INFORMATION: PER THE NOTES THIS SURVEY FOR WAYNE COU
TNS
3. APPROXIMATE AREA OF DISTURBANCE: 4.515 ACRES



SOILS LEGEND

Map Symbol	Map Unit Name	Hydrologic Soil Group
HA	Blacks loam, 15% clay loam, 0 to 2 percent slopes	D
HB	Boggy loamy sand, 0 to 2 percent slopes	B
HA	Wetland loamy sand, 0 to 2 percent slopes	A/D







ATWELL
866.850.4200 www.atwell-group.com
311 N. JAVELIN STREET
WEST ARLING, MI 48106
734.594.1000



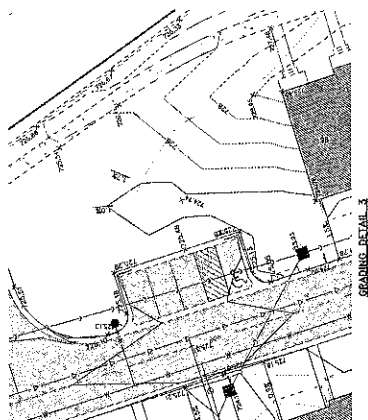
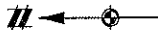
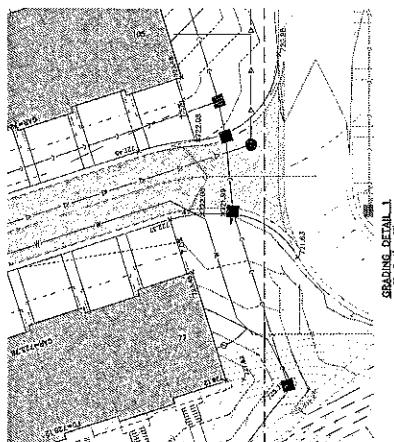
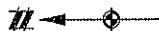
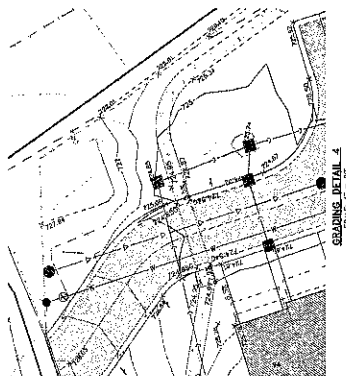
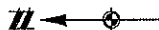
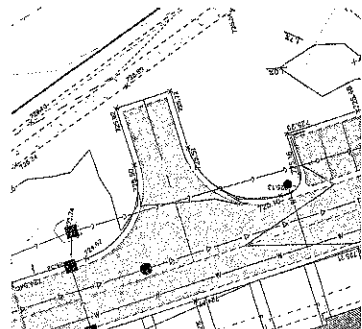
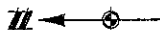
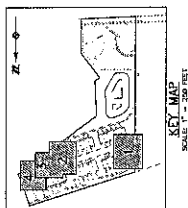
SECTION 26
TOWN 01 SOUTH, RANGE 08 EAST
CITY OF PLYMOUTH
WAYNE COUNTY, MICHIGAN

PULTE HOMES OF MICHIGAN, LLC
PLYMOUTH MULTI-FAMILY
AMENDED PUD PLAN -- FINAL
GRADING DETAILS

REMARKS

SOME 0 10 20
1" = 20 FEET

COOPER DR. SS
JULI M. BUSH
DOR F. TRODZ
PLAT DATE
SHEET NO. 7



NOTES:

1. PROPOSED BIDDING AND BIDS SHALL CONFORM TO AIA REQUIREMENTS.

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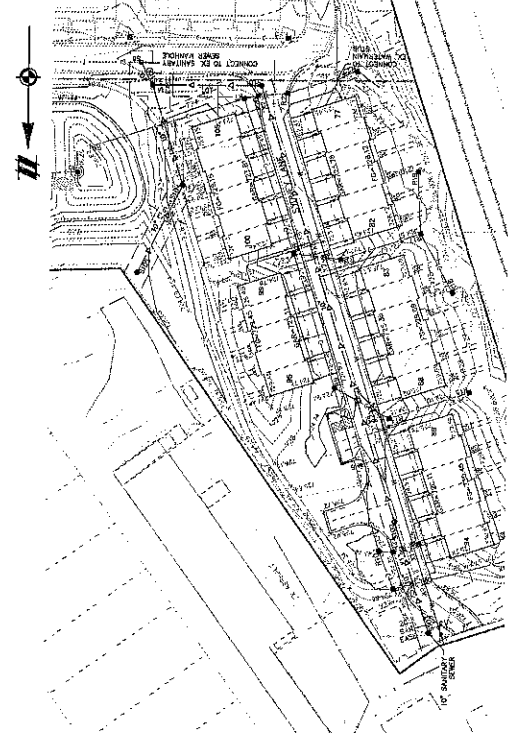
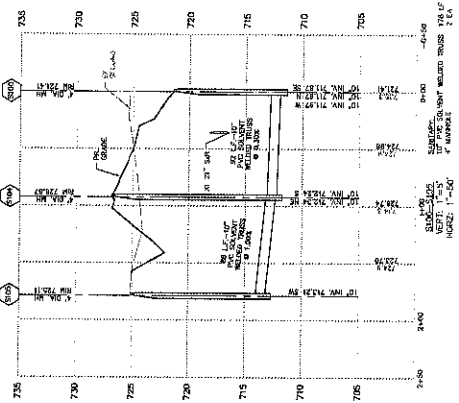
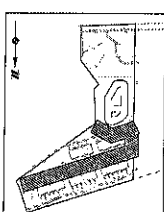
Call before you dig.
THE CHANCES OF DAMAGING AN UNDERGROUND UTILITY ARE GREATLY REDUCED WHEN YOU CALL BEFORE YOU DIG. THAT'S WHY THE NEW YORK CITY DEPARTMENT OF CONSTRUCTION HAS MADE IT A REQUIREMENT THAT ALL LANDLORDS AND BUILDERS OF NEW OR EXISTING BUILDINGS SHALL OBTAIN A CONSTRUCTION UTILITY MAP FROM THE DEPARTMENT OF CONSTRUCTION BEFORE ANY CONSTRUCTION WORK BEGINS. THE CONSTRUCTION UTILITY MAP SHOWS THE LOCATION OF ALL UTILITIES UNDER THE BUILDING. IT ALSO SHOWS THE LOCATION OF ALL UTILITIES UNDER THE ADJACENT BUILDINGS. THE CONSTRUCTION UTILITY MAP IS A NECESSARY TOOL FOR ANY BUILDING OWNER OR BUILDING CONTRACTOR. IT IS A NECESSARY TOOL FOR ANY BUILDING OWNER OR BUILDING CONTRACTOR. IT IS A NECESSARY TOOL FOR ANY BUILDING OWNER OR BUILDING CONTRACTOR.

ATWELL
888.850.4200 www.atwell-group.com
301 N. MAIN STREET
ALHAMBRA, NY 10814
754.954.4000

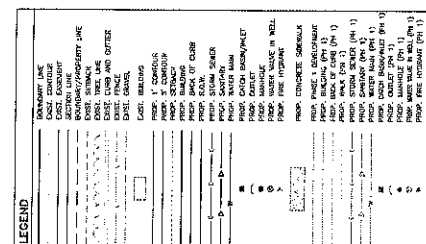
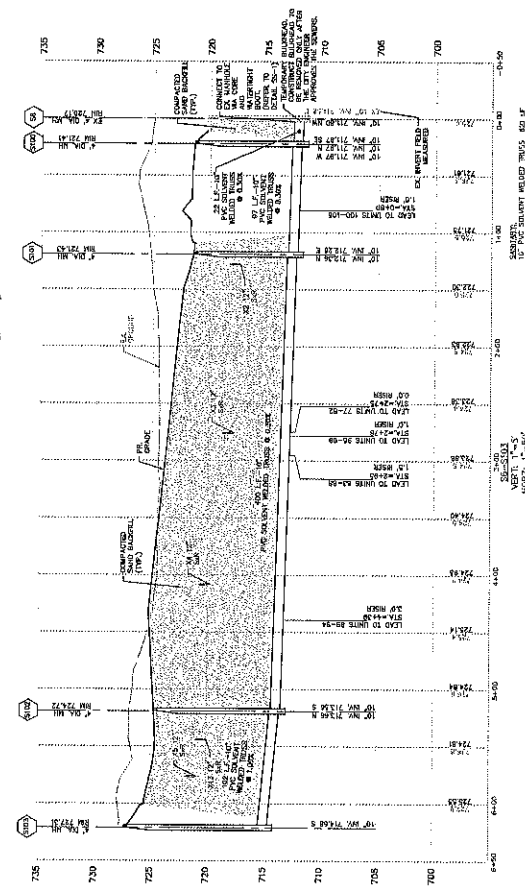
TOWN OF SOUTH, RANGE 08 EAST
CITY OF PLYMOUTH
WAYNE COUNTY, MICHIGAN

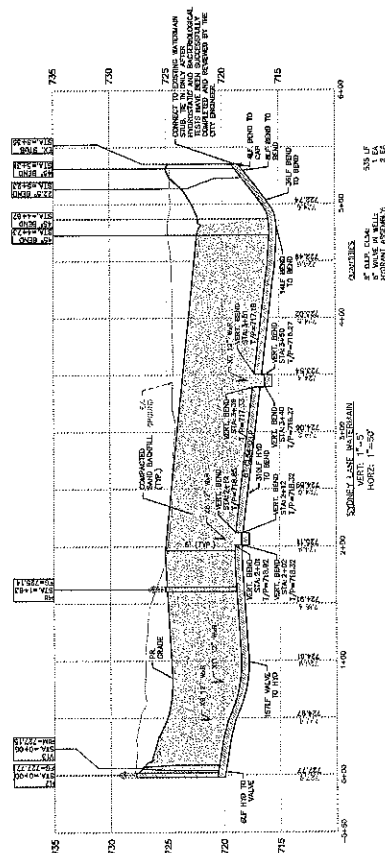
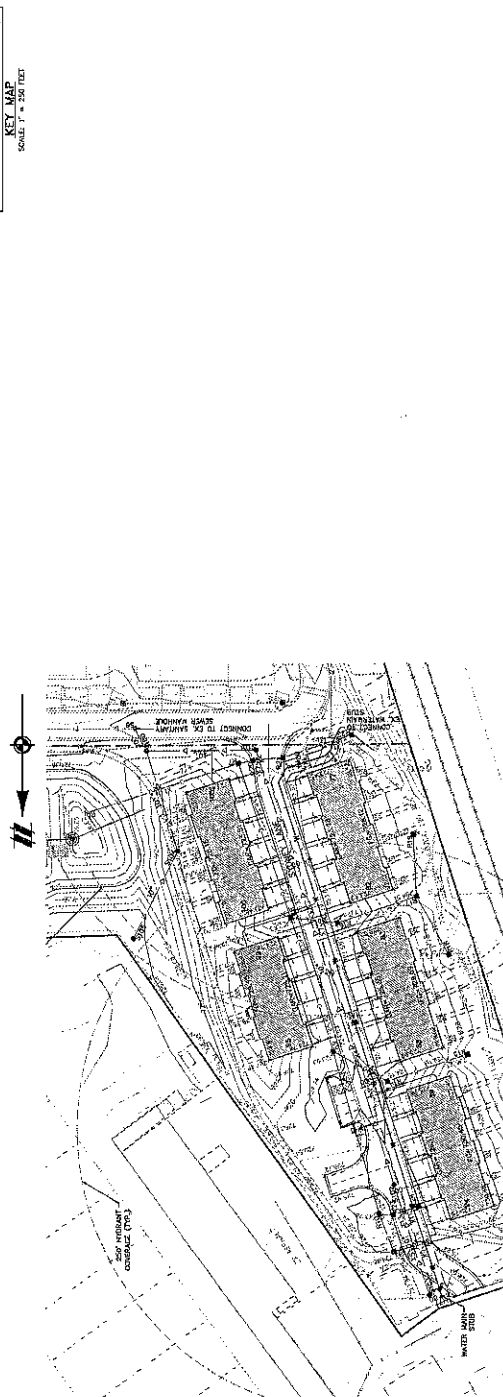
PULTE HOMES OF MICHIGAN, LLC
PLYMOUTH MULTI-FAMILY
AMENDED PUD PLAN -- FINAL
SANITARY SEWER PLAN AND
PROFILE

NOVEMBER 07, 2022

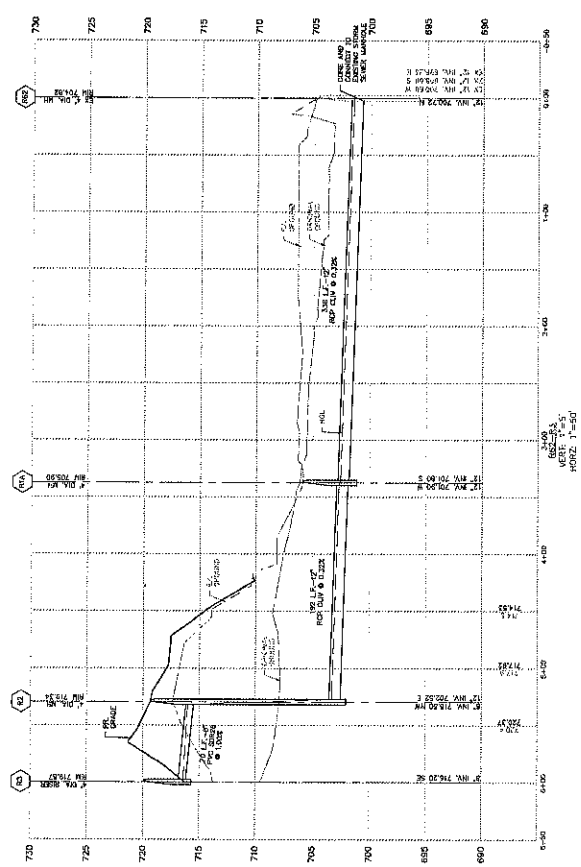
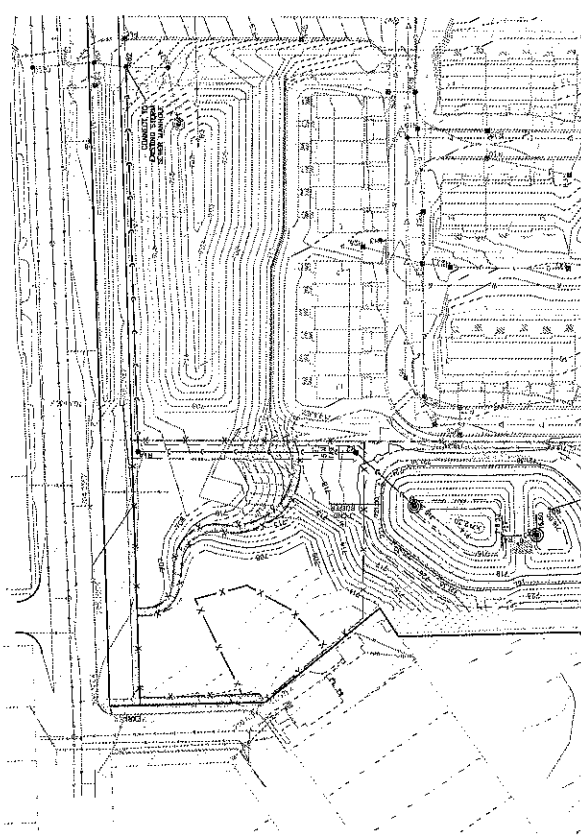
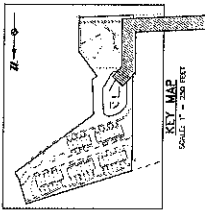


Bunding #	Lead Length (LF)	Lead Slope (%)	Pipe Height (FT)	Shut Invert Elev.
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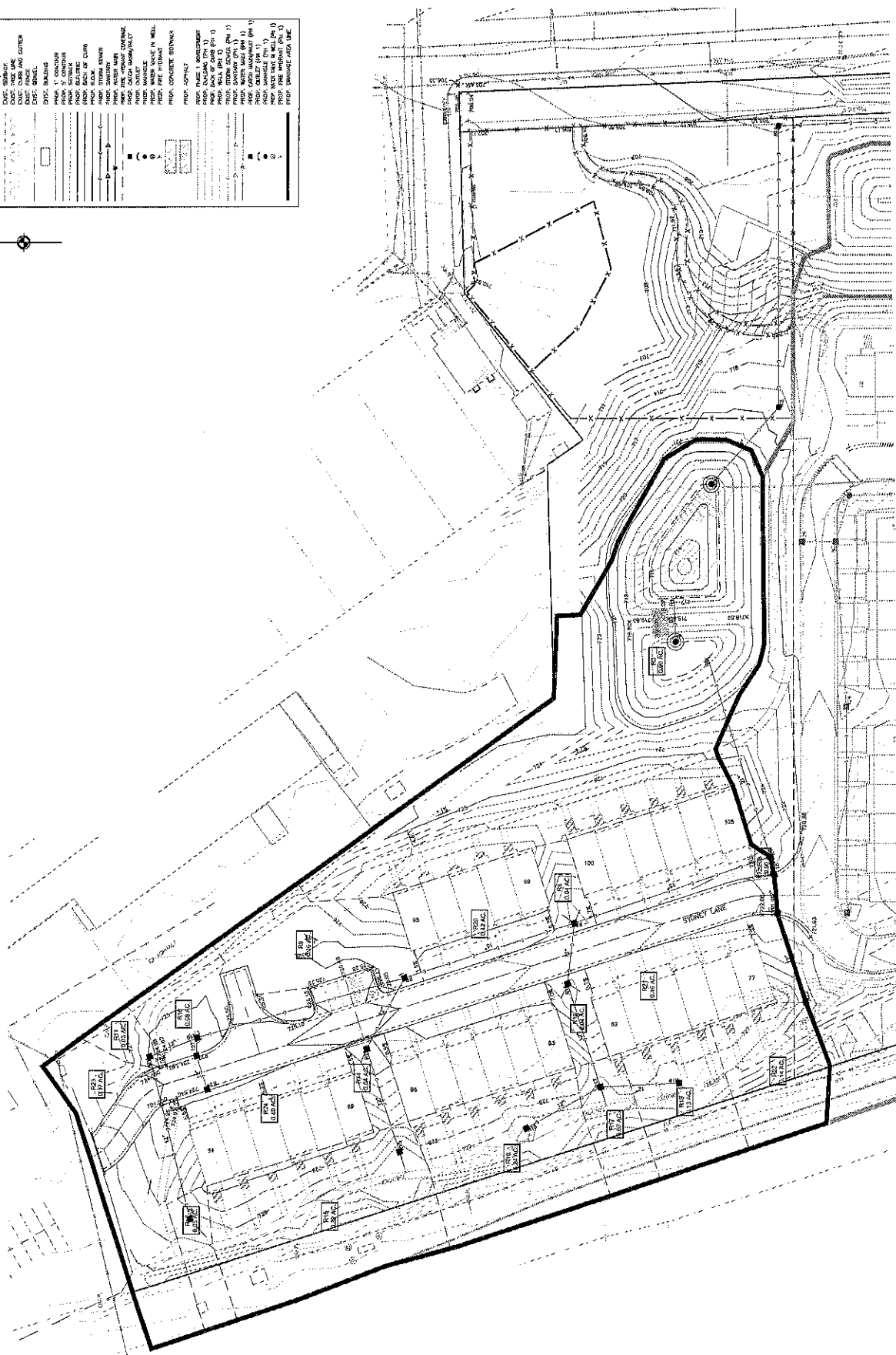
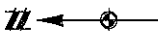
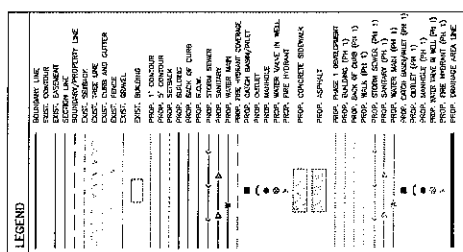


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[illegible]

LEGEND

BOUNDARY LINE	BOUNDARY LINE
BOUNDARY/PROPERTY LINE	BOUNDARY/PROPERTY LINE
PROPOSED EASEMENT	PROPOSED EASEMENT
PROPOSED SETBACK	PROPOSED SETBACK
PROPOSED BUILDING	PROPOSED BUILDING
PROPOSED DRIVE	PROPOSED DRIVE
PROPOSED FENCE	PROPOSED FENCE
PROPOSED SIGN	PROPOSED SIGN

TABLE

ITEM	DESCRIPTION	QUANTITY
1	100' x 100' LOT	1
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91	100' x 100' LOT	1
92	100' x 100' LOT	1
93	100' x 100' LOT	1
94	100	



TOWN OF SOUTH, RANGE 08 EAST
CITY OF PLYMOUTH
WAYNE COUNTY, MICHIGAN

REVISIONS

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NOTED

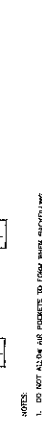
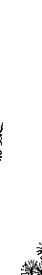
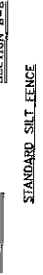
BY JAP

APR 58

BUSS

7041912

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BALLED AND BURLAPPED
NO SURE

GRAND CROSS TREE PLANTING DETAIL
BALLED AND BURLAPPED
1/8" SCALE

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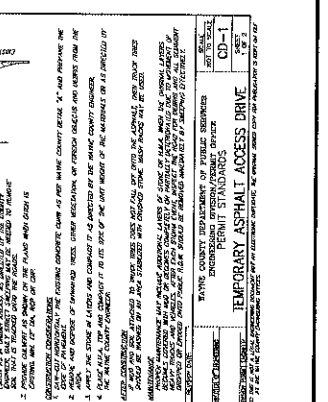
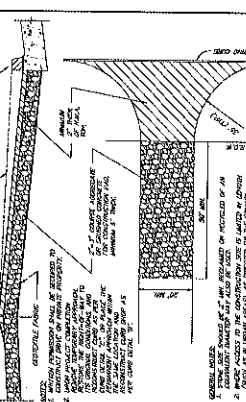
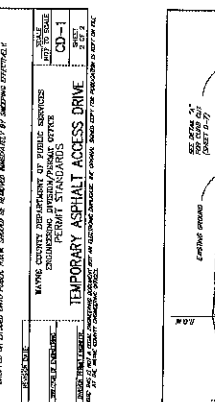
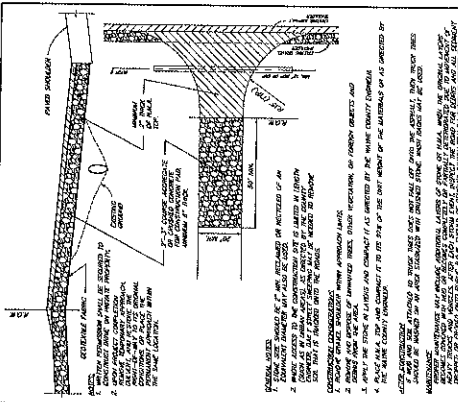
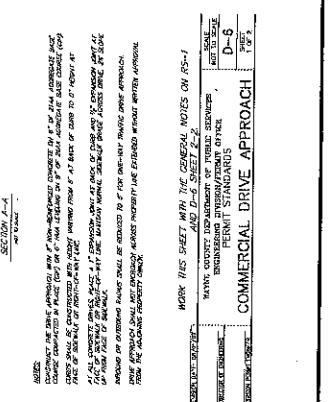
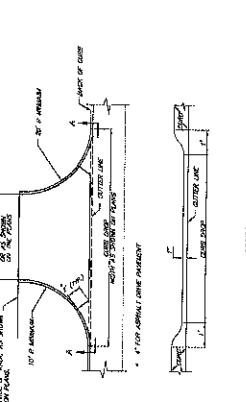
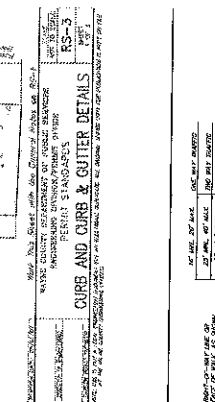
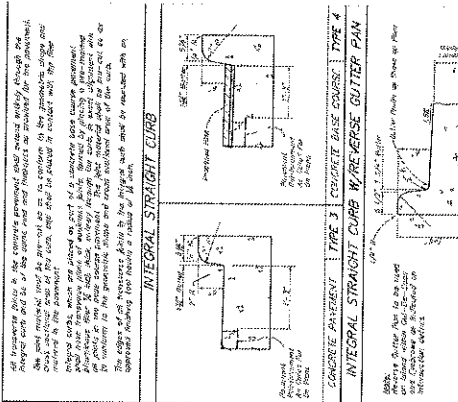
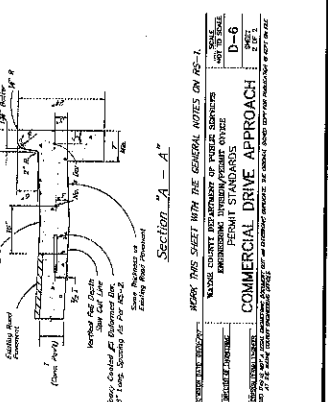
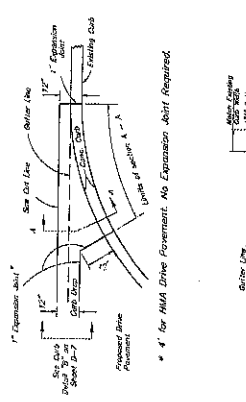
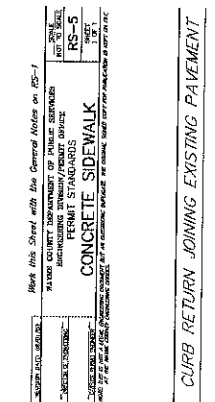
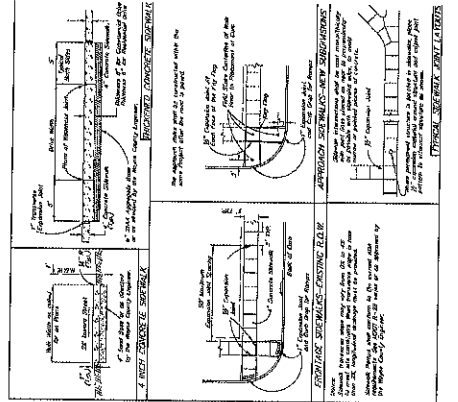
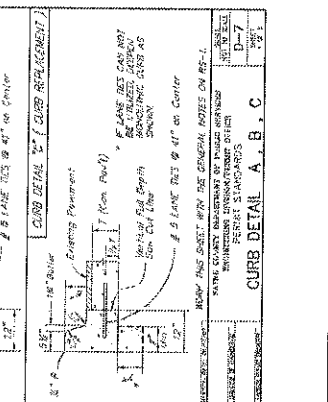
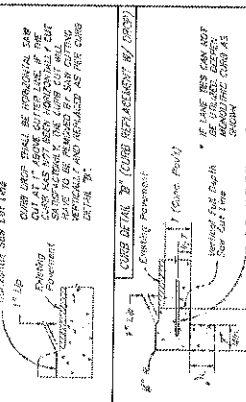
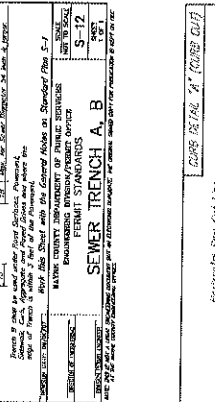
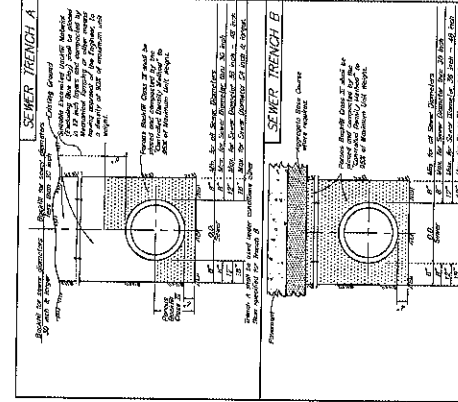
Know what you buy.
Call before you dig.
The City of Plymouth, Michigan, has a public utility map showing the location of all underground utilities. This map is available for a fee of \$10.00 per copy. The map is updated annually and is the most accurate source of information for locating underground utilities. Call before you dig to avoid damage to underground utilities and to ensure the safety of your workers and the public.

ATWELL
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Plymouth, Michigan 48150
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Fax: 734.769.4001
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WAYNE COUNTY, MICHIGAN
CITY OF PLYMOUTH
TOWN OF SOUTH, RANGE 08 EAST
SECTION 26

PLATE HOMES OF MICHIGAN, LLC
PLYMOUTH MULTI-FAMILY
AMENDED PUD PLAN - FINAL
WCDPS DETAILS
DECEMBER 07, 2022

SCALE: 1" = 10'-0"
SHEET NO. 26
DATE: 12/07/22
DRAWN BY: J. B. BROWN
CHECKED BY: J. B. BROWN
IN CHARGE: J. B. BROWN



PROJECT: PAVEMENT JOINTS SHEET: 5 OF 5
 DRAWN BY: JOHN J. MURPHY DATE: 10/10/2000
 CHECKED BY: JOHN J. MURPHY DATE: 10/10/2000

PAVEMENT JOINTS

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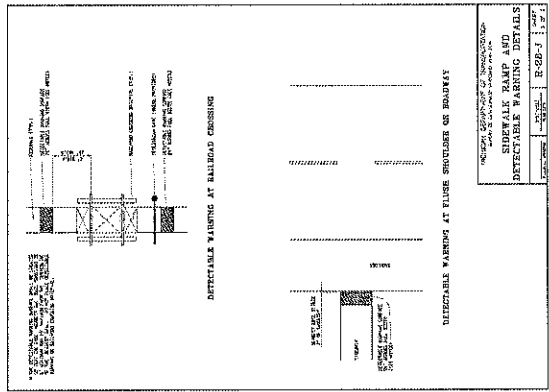
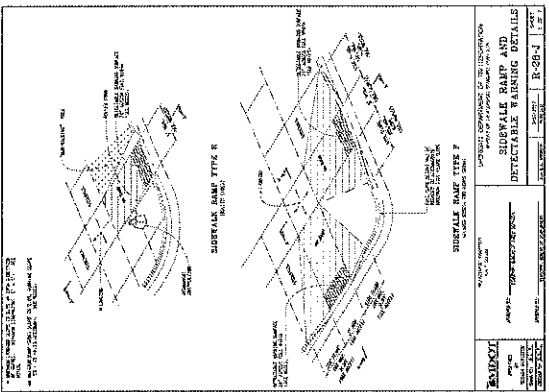
PAVEMENT JOINTS

LETTER, MATERIALS, METHODS AND THE UNDERPINNING JOINTS. THE ORIGINAL BOUND JUNK CAN BE REPRODUCED BY A COPY OF THE
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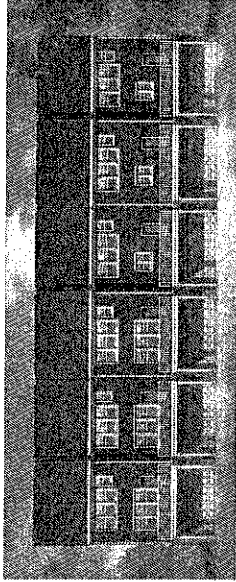
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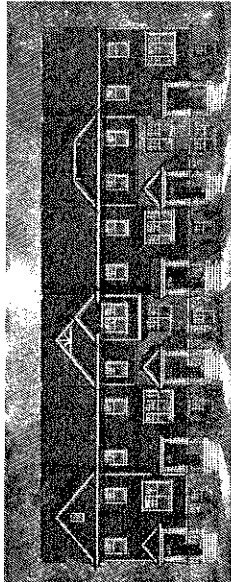
SECTION 26
TOWN OF SOUTH, RANGES 08 EAST
CITY OF PLYMOUTH
WAYNE COUNTY, MICHIGAN

PLITE HOMES OF MICHIGAN, LLC
PLYMOUTH MULTI-FAMILY
REVISED PUD PLAN - FINAL
RENDERED BUILDING
ELEVATIONS

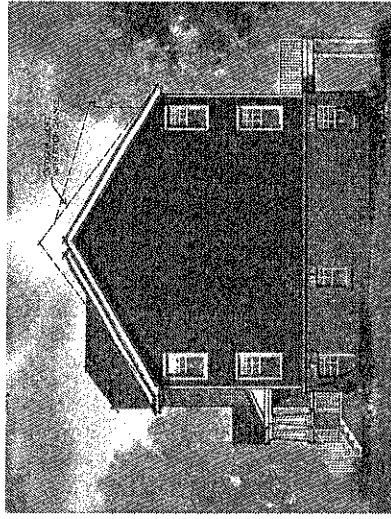
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SHEET NO. 26



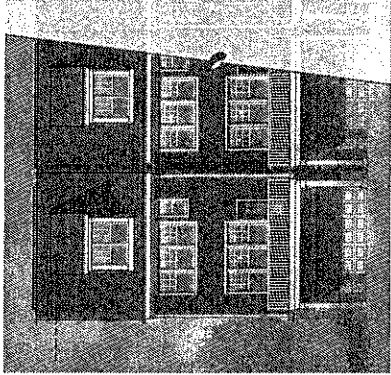
Plymouth Townhomes
6 Unit Building - Rear Elevation
ILLUSTRATIVE REAR ELEVATION
May 17, 2018



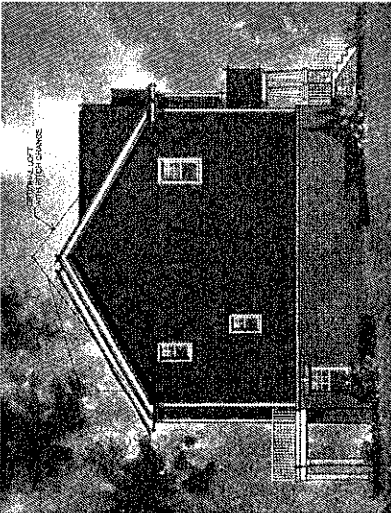
Plymouth Townhomes
6 Unit Building - Front Elevation
ILLUSTRATIVE FRONT ELEVATION
May 17, 2018



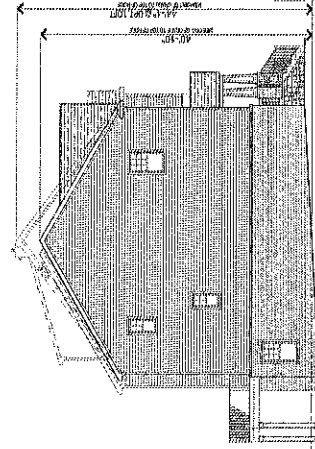
Plymouth Townhomes
6 Unit Building - Right Elevation
ILLUSTRATIVE RIGHT ELEVATION
May 17, 2018



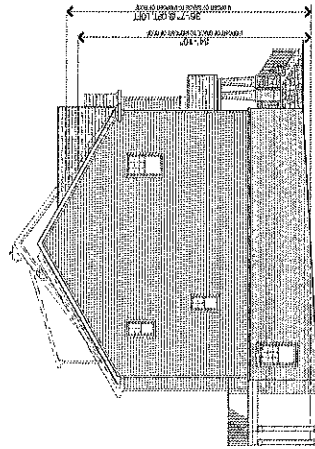
Plymouth Townhomes
6 Unit Building - Rear Elevation
ILLUSTRATIVE REAR ELEVATION
May 17, 2018



Plymouth Townhomes
6 Unit Building - Left Elevation
ILLUSTRATIVE LEFT ELEVATION
May 17, 2018



Proposed Left Elevation

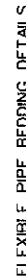
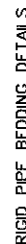
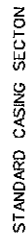


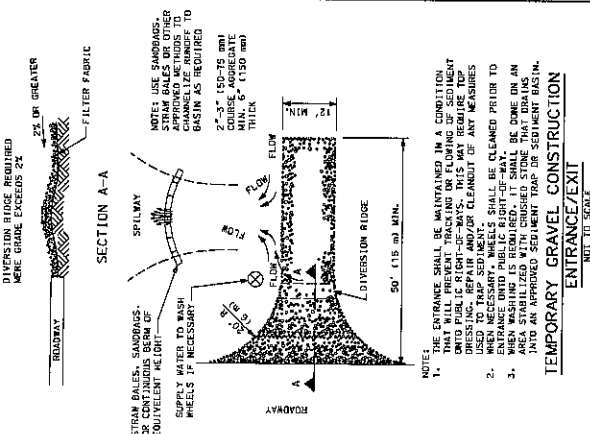
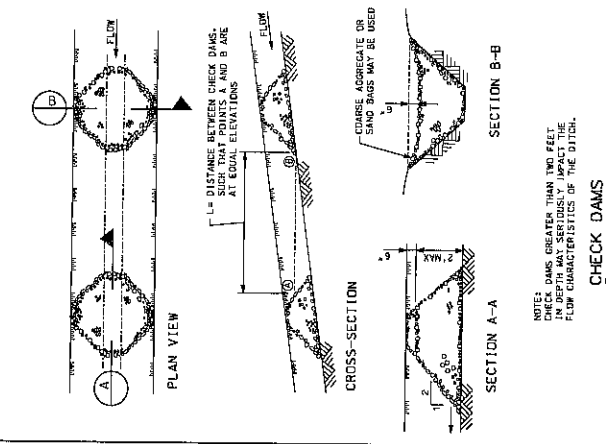
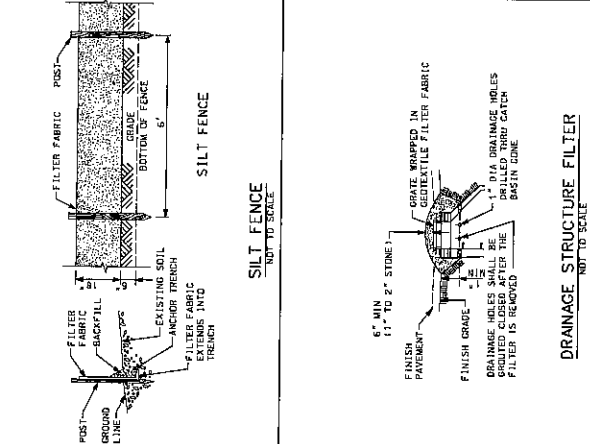
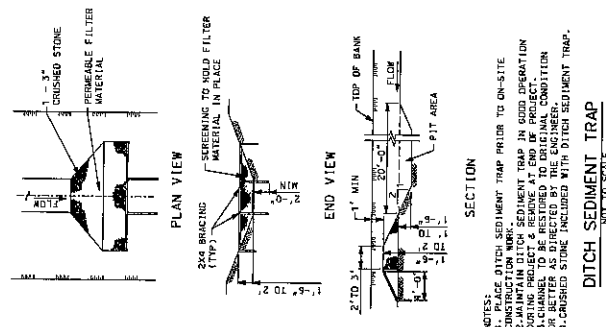
Proposed Left Elevation

IS SPECIFIED

STANDARD PIPE SUPPORT

19. THE FIRST INSPECTION SHALL BE COMPLETED AND ALL REPAIRS MADE IN AMPLIE TIME TO ALLOW THE SYSTEM TO BE OPERATIONAL WITHIN TWO (2) WEEKS AFTER THE COMPLETION OF THE CONSTRUCTION. WHEN RE-INSPECTION IS NECESSARY, AN ADDITIONAL INSPECTION SHALL BE COMPLETED WITHIN TWO (2) WEEKS AFTER THE PREVIOUS INSPECTION AND SHALL BE COMPLETED WITHIN A TWO (2) WEEK PERIOD.
20. FAILURE TO MAINTAIN A SCHEDULE IN COMPLIANCE WITH THESE TERMS WILL BE CAUSAL TO THE CONTRACTOR'S INABILITY TO OBTAIN THE FINAL INSPECTION REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL INSPECTION REPORT BEING COMPLETED UNDERGROUND PORTION OF THE SYSTEM HAS BEEN PURCHASED TO ACCEPTABLE LIMITS.
21. THE CONTRACTOR SHALL MAKE THE UNDERGROUND PORTION OF THE SENIOR SYSTEM AVAILABLE FOR INSPECTION WITHIN TWO (2) WEEKS AFTER THE COMPLETION OF UTILITY.
22. THE INSPECTION SHALL CONSIST OF A VISIBLE AND AUDIBLE CHECK OF SEWERS, MANHOLES, GATE VALVES, AND OTHER STRUCTURES TO ASCERTAIN THAT THE SYSTEM HAS BEEN INSTALLED AND ALL TIE-INS PLUMBED. THE CHANNELING OF THE MAINS SHALL BE PLACED STRAIGHT AND TRUE TO THE LEAKS STOPPED. ALL PIPE HAS BEEN PLACED STRAIGHT AND TRUE TO THE GRADE. THE MAINS SHALL BE PROPERLY JOINTED AND THE JOINTS SHALL BE PROPERLY COVERED AND COVER PROPERTY INSTALLED. ALL TRUNKS AND STRUCTURES ARE PLACED IN AN ACCEPTABLE MANNER AND THAT THE SYSTEM HAS BEEN THOROUGHLY CLEARED.
23. THE FIRST INSPECTION SHALL BE CONSIDERED COMPLETED WHEN ALL TREE REMOVALS AND SUBSEQUENT TOPPING ARE READY FOR A TELEVISION INSPECTION.
24. TRECHS BACKFILL UNDER ROAD SURFACES, PAVEMENTS, CURBS, DRIVEWAYS, SIDEWALKS AND WHERE THE TRECH DEPTH IS WITHIN 3-FOOT OF THE PAVEMENT SHALL BE COMPLETED WITHIN TWO (2) WEEKS AFTER THE FIRST INSPECTION. THE TRECHS AND BACKFILLING.
25. AFTER ALL TIE-INS, TELEVISION INSPECTION AND FINAL RESTORATION AND CLEAN-UP HAS BEEN COMPLETED, A FINAL INSPECTION AND MAINTENANCE WILL BE DONE. THE FINAL INSPECTION SHALL BE REQUESTED BY THE CONTRACTOR AND SHALL BE COMPLETED WITHIN TWO (2) WEEKS AFTER THE FIRST INSPECTION. THE FINAL INSPECTION SHALL BE COMPLETED BY THE CONTRACTOR TO THE PLANS AND SPECIFICATION. PROPER STRUCTURAL AND MECHANICAL INSPECTION SHALL BE COMPLETED. THE INSPECTION SHALL INCLUDE THE FOLLOWING: ELEVATIONS, DISTANCES BETWEEN STRUCTURES, AND CONFORMANCE UTILITIES ARE LOCATED WITHIN EASEMENT AND RIGHT-OF-WAY AREAS.
26. SUCCESSFUL COMPLETION OF ANY TEST OF INSPECTION SHALL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATION TO COMPLY WITH THE SPECIFICATIONS WHICH MAY THEREAFTER BECOME KNOWN.





SOIL EROSION AND SEDIMENTATION CONTROL NOTES

ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE AGENCY HAVING JURISDICTION.

ALL SOIL EROSION CONTROL MEASURES SHALL BE CREDITED A MINIMUM OF ONCE PER YEAR AND WITHIN A MINIMUM OF 24 HOURS AFTER EVERY RAINFALL, AND SHALL BE MAINTAINED UNTIL THE EROSION OF REPOSED MATERIALS BECOMES INEFFECTIVE. SHALL BE IMMEDIATELY REPAIRED OR REMOVED AND REPLACED AT AN ADDITIONAL COST.

EROSION AND SLOPE STABILIZATION MEASURES SHALL BE OBTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS. SHALL BE OBTAINED FROM AGRICULTURAL, FOREST, OR OTHER LANDS. MATERIALS WILL BE OBTAINED FROM LOCAL NATURAL AND MANMADE OPEN QUARRIES, STONE DRIVING, LAKES, AND POND.

ALL EROSION AND SEDIMENTATION CONTROL (SESC) DEVICES SHALL BE INSTALLED AND MAINTAINED TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE WORK. ALL TEMPORARY SESC SERVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT. AFTER THE PERMANENT SESC MEASURES ARE INSTALLED AND FUNCTIONING.

DEBRIS FROM THE PROJECT SHALL BE LEFT ON THE SITE BY DELIVERY OR CONSTRUCTION VEHICLES THROUGH THE USE OF CLEAN STONE EXITS. ALL CONSTRUCTION TRAFFIC WILL USE THE CLEAN STONE EXITS.

EARTH EROSION PRIDGES PLACED OVER NEW PAVEMENT SHALL BE REMOVED ONLY AT PAVEMENT HIGH-POINTS AND SHALL HAVE STRAIN BARS PLACED ALONG EACH SIDE OF THE BRIDGE FOR THE WIDTH OF THE PAVEMENT.

IMMEDIATELY AFTER SEEDING, MATCH ALL SEEDED AREAS WITH UNWEATHERED SOIL OR UNWEATHERED ROCK. SEEDING SHALL BE COMPLETED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE. ANNUAL MAINTENANCE SHALL BE COMPLETED BY THE END OF OTHER AREAS AS APPROVED BY THE AGENCY WITH JURISDICTION.

ALL MUD, DIRT, AND DEBRIS TRACKED OR SPILLED ONTO EXISTING ROADS FROM THIS WID. SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.

PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES - CHANNELS, GULLCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 DAYS OF THE COMPLETION OF THE PROJECT. THE MEASURES SHALL BE MAINTAINED UNTIL THE EROSION OF REPOSED MATERIALS BECOMES INEFFECTIVE. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A SLOPE OR CHANNEL, EARTH AND ROCK SHALL BE USED TO STABILIZE THE SLOPE. CONSTRUCTION MEASURES SHALL BE IMPLEMENTED IMMEDIATELY. ALL TEMPORARY SOIL EROSION CONTROL MEASURES ARE ESTABLISHED AND MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND ESTABLISHED.

EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND ESTABLISHED IMMEDIATELY BY CONSTRUCTION SHALL BE RESTORED WITHIN 15 DAYS OF THE COMPLETION OF THE PROJECT.

SECTION A-A

NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOODING OF SEDIMENT DURING PERIODS OF HIGH FLOW. THIS MAY BE ACCOMPLISHED BY DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEMBERS USED TO TRAP SEDIMENT.
2. THE ENTRANCE SHALL BE CLEANED PRIOR TO ENTRANCE INTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN APPROVED SEVERAL TRAP FOR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

NOT TO SCALE

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

10. PARTICULAR CARE SHOULD BE TAKEN WHEN WORKING ALONG THE PERIMETER OF EXISTING OR PROPOSED CONSTRUCTION SHALL WORK AREA EXTEND BEYOND THE LIMITS OF THE LOT.
11. SHOULD IT BE NECESSARY FOR THE CONTRACTOR TO DREDGE THE GROUND IN THE COURSE OF CONSTRUCTING THE PROPOSED UTILITY, THE CONTRACTION SHALL TAKE PRECAUTIONS TO PREVENT ANY MATERIAL FROM ENTERING THE STREET. A WALL FILTER ALL DISCHARGED MATERIALS FROM THE SITE. NO MATERIAL SHALL BE ALLOWED TO REMAIN ON THE SITE UNLESS IT IS TO BE USED WITHIN ONE YEAR. NO INSTANT SHALL THE DRAINAGE DISCHARGE BE PERMITTED TO FLOW DOWN TOWARD THE CONSTRUCTION SITE.
12. CONTRACTOR SHALL CONTROL THE DUST ON THE SITE DURING THE LIFE OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN THE SURFACE AND THE REQUIREMENTS OF THE COMMUNITY. THIS DUST CONTROL SHALL BE MONITORED BY THE APPLICATION OF A POSITIVE DUST PICK-UP METHOD WITH WATER SPRAYED AT THE RATE OF 100 GALLONS PER MINUTE. THIS SHALL BE APPLIED AS OFTEN AS IS NECESSARY IN THE OPINION OF THE COMMITTEE TO CONTROL THE DUST.
13. SHOULD THE SOIL EROSION CONTROL REQUIREMENTS BE NEGLECTED OR NOT COMPLETED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF REMEDIATION AND SHALL BE REQUIRED TO CEASE CONSTRUCTION OPERATIONS AND TO REPAIR THE DAMAGE TO MEET THE REQUIREMENTS BEFORE PROCEEDING FURTHER WITH THE PROJECT.
14. SOIL EROSION AND SEDIMENTATION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF PLYMOUTH SOIL EROSION AND SEDIMENTATION CONTROL SPECIFIC. OF THE NATURAL RESOURCES DEPARTMENT, ENVIRONMENTAL PROTECTION ACT, 1984 FA 451, 45.
15. AS SOON AS POSSIBLE, COMPLETE FINAL GRADING AND PLACING OF PERMANENT SOIL EROSION CONTROL FEATURES. AFTER ESTABLISHMENT OF PERMANENT VEGETATION REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES.
16. SOIL EROSION AND SEDIMENTATION CONTROL IS UNDER THE JURISDICTION OF THE CITY OF PLYMOUTH.

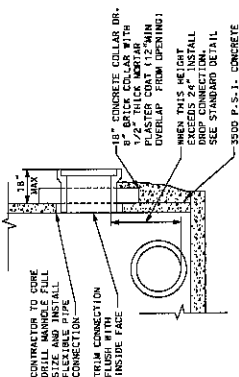
SEQUENCE OF CONSTRUCTION - SESS

1. INSTALL ALL TEMPORARY SOIL EROSION CONTROL MEASURES PRIOR TO DISTURBING ANY EARTH ON THE SITE.
2. INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT DRIVE PRIOR TO DISTURBING ANY EARTH ON SITE. ALL TRUCKS LEAVING THE CONSTRUCTION SITE SHALL PASS THROUGH A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT DRIVE PRIOR TO LEAVING THE SITE. ANY DIRT AND ACCUMULATED SEDIMENT ON ROADS AND STREETS IN THE VICINITY OF THE CONSTRUCTION SHALL BE SWEEP CLEAN AT LEAST TWICE DAILY WITH A VACUUM TYPE STREET SWEEP.
3. STABILIZE SLOPES WITHIN 7 DAYS OF EARTH DISTURBANCE. ALL NEW DRAINAGE CHANNELS AND SWALES WITHIN 7 DAYS OF EARTH DISTURBANCE SHALL BE PROTECTED WITH EROSION STABILIZATION MEASURES WITHIN 5 DAYS OF FINAL GRADING.
4. DURING STORM SEWER INSTALLATION, ALL NEW CONSTRUCTION DRAINAGE STRUCTURES SHALL BE PROTECTED WITH A DRAINAGE STRUCTURE FILTER. THIS WORK WILL BE INCLUDED IN THE DRAINAGE COST.
5. INSTALL TOPSOIL, SEED AND MULCH / TOPSOIL AND SOIL HYDROSEED ON EXPOSED SOIL WITHIN 5 DAYS OF COMPLETING UTILITY INSTALLATION.
6. PLACE BRUSH IN 24 HOURS OF PLACING CURBSETS, HEADWALLS OR OTHER DRAINAGE STRUCTURES.
7. CLEAN ALL ACCUMULATED SEDIMENT FROM CATCH BASINS, CURBSETS AND PAVEMENT AREAS AS REQUIRED FOLLOWING COMPLETION OF CONSTRUCTION.
8. THE EXACT SCHEDULE OF SOIL EROSION AND REVEGETATION CONTROL EVENTS (WITH DATES AND DATES OF THE VARIOUS ACTIVITIES) SHALL BE DETERMINED BY THE COUNTY DEPARTMENT OF ENVIRONMENT, AND LAND RESOURCES AND THE COUNTY DEPARTMENT OF CONSTRUCTION. FOR REVIEW AND APPROVAL, PRIOR TO OBTAINING A PERMIT.

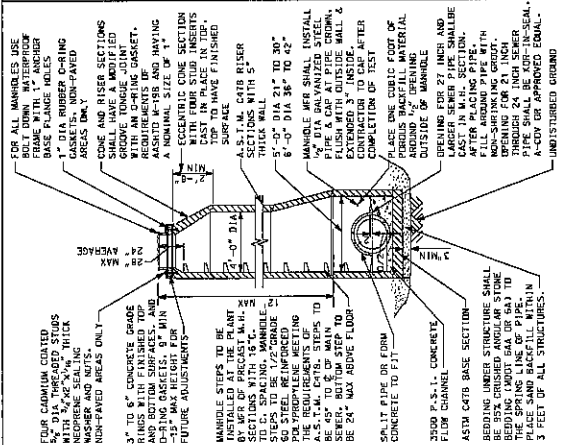
[illegible]

	201 SOUTH MAIN STREET PLYMOUTH, MICHIGAN 48170	STANDARD SOIL EROSION AND SEDIMENTATION CONTROL DETAILS (SE-1)	STANDARD SOIL EROSION AND SEDIMENTATION CONTROL DETAILS (SE-1)
	201 SOUTH MAIN STREET PLYMOUTH, MICHIGAN 48170	STANDARD SOIL EROSION AND SEDIMENTATION CONTROL DETAILS (SE-1)	STANDARD SOIL EROSION AND SEDIMENTATION CONTROL DETAILS (SE-1)

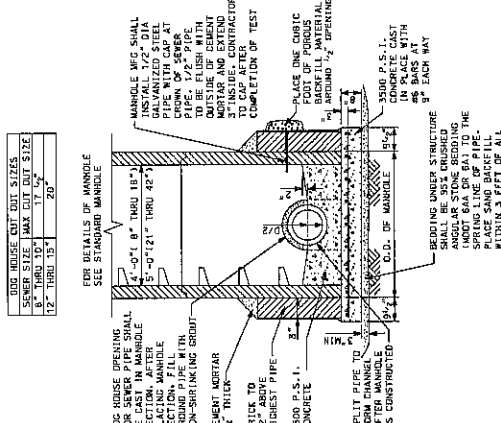
STANDARD CONNECTION TO EXISTING
MANHOLE (WCD-7)



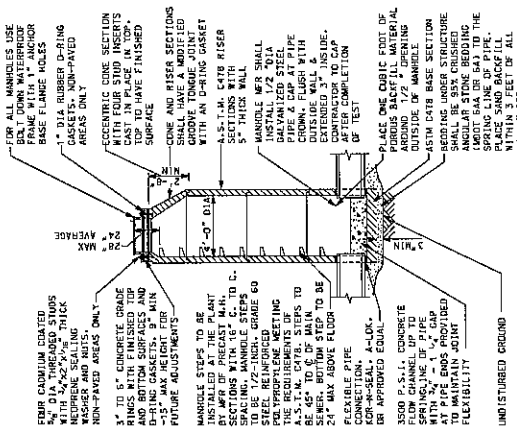
STANDARD SANITARY MANHOLE
FOR SEWERS 21" THROUGH 42"



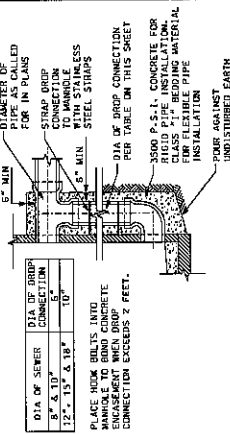
**STANDARD SANITARY MANHOLE OVER
EXISTING SEWERS 8" THROUGH 42"**



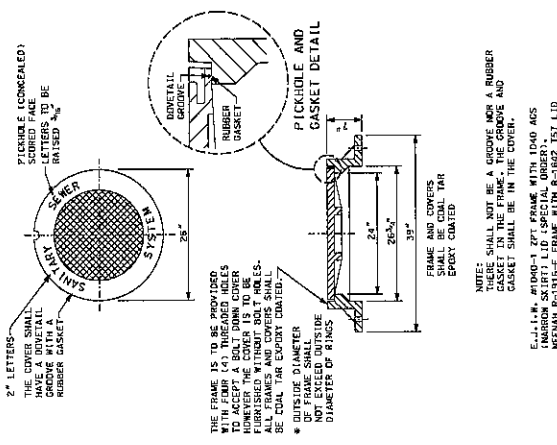
STANDARD SANITARY MANHOLE
FOR SEWERS 8" THROUGH 18"



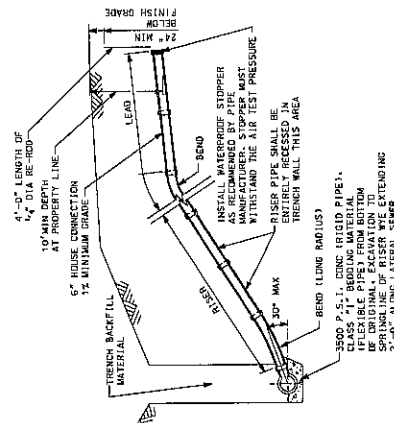
EXTERIOR DROP CONNECTION



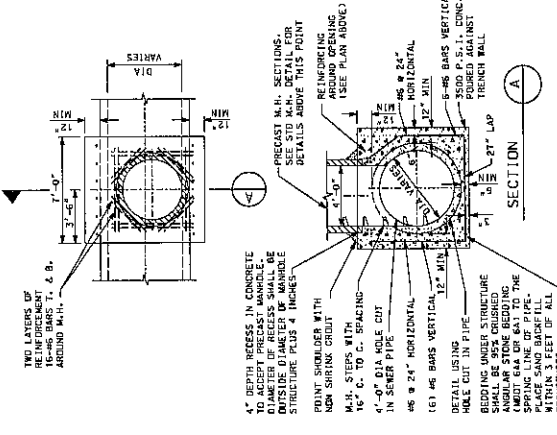
STANDARD FRAME AND COVER



RISE/LEAD DETAIL

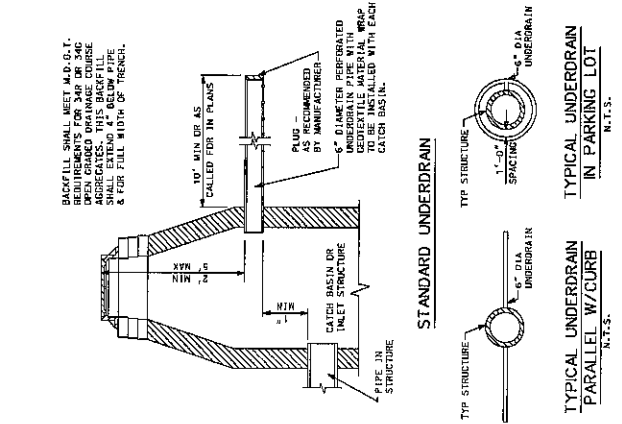


**STANDARD SANITARY MANHOLE
FOR 48" & LARGER SEWERS**



1. ALL STORM SEWER CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND GENERAL SPECIFICATION OF THE AGENCY OR AGENCIES HAVING JURISDICTION OF THE STORM SEWER AND CONSTRUCTION AREA.
2. DETAILS ARE FOR STRUCTURES WITH NO MORE THAN TWO PIPES.
3. ALL STRUCTURES WITH MORE THAN TWO PIPES SHALL BE DESIGNED FOR ALL STRUCTURE CONFIGURATIONS.
4. ALL STRUCTURES REQUIRE A MINIMUM OF 4-INCHES OF WALL BETWEEN PIPES. LONGER, LARGER DUTTER STRUCTURES MAY BE REQUIRED WHERE PIPES CROSSING THE STRUCTURE ARE LESS THAN 90° APART IN ANY DIRECTION.
5. ALL CASTING RINGS SHALL BE SET TO GRADE OR AS SHOWN ON THE PLANS.
6. NO MANHOLES OR OTHER STRUCTURES MAY BE INSTALLED WITHIN DRIVEWAYS, DRIVE APPROACHES, OR SUBURBS.
7. ALL CAST BASIN STAIN PIPES SHALL BE 12-INCH DIAMETER CFS. 24-INCH CONCRETE STEPS TO BE GRAY IRON OR STEEL REINFORCED POLYETHYLENE ASTM 2146, TYPE 11, 16-GAGE 45LB.
8. CATCH BASIN INLET FRAME AND COVERS SHALL BE SPECIFIED AS FOLLOWS:
 - A. WHEN LOCATED IN PAVEMENT DUTTER LINE, FRAME AND COVER SHALL BE E.C.I.-L-1-W, NO. 5000, NEMAH R-348B-C TYPE "A" (RECTANGULAR), OR EQUIV.
 - B. WHEN LOCATED IN PAVED AREAS OTHER THAN DUTTER LINE, FRAME SHALL BE E.C.I.-L-1-W, NO. 5000, NEMAH R-348B-C TYPE "B" (CIRCULAR, NEMAH R-2370 TYPE "3" COVER, OR EQUIV.
 - C. WHEN LOCATED IN YARD AREAS, FRAMES SHALL BE E.C.I.-L-1-W, NO. 1000, WITH TYPE "N" OR "M" COVER, NEMAH R-2370 TYPE "10" OR "10" COVER, OR EQUIV.
9. MANHOLE FRAME AND COVER SHALL BE E.C.I.-L-1-W, NO. 1040 OR NEMAH R-140Z WITH SOLID COVER OR EQUIV.
10. PRECAST OF EXCAVATION AROUND EXISTING MANHOLES SHALL NOT EXCEED SIX FEET.
11. PLACE SHAD BACFIELD WITHIN THREE FEET OF ALL STRUCTURES.
12. ALL STORM SEWER PIPE SHALL HAVE CLASS "76" BEDDING UNLESS OTHERWISE NOTED ON THE PLANS. SEE SHEET M-10 FOR BEDDING DETAILS.
13. ALL PRECAST PRODUCTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-476.
14. ALL EXISTING STRUCTURES LOCATED WITHIN PAVEMENT MUST HAVE

1. STORM SEWER THAT IS 12 INCHES AND LARGER SHALL BE C-76 I.R.C.P. WITH PREMIUM JOINTS.
2. THE REAR YARD STORM PIPE WHICH DOES NOT TRANSVERSE PAVED AREAS MAY BE 8" MIN. THICKENED SLOTTED WALL, 12" OR LAR. THICK OR THE THINER PIPE.
3. BACKFILL FOR ALL REAR YARD STORM IS TO BE NATURAL BANK RUN SAND WASH 1/2" C-113 GRANULAR MATERIAL, OR 3/4" INCH CRUSHED STONE TO A MINIMUM OF 12 INCHES DEEP PIPE.
4. EVERY LOT IS TO HAVE DIRECT ACCESS TO A DRAINAGE STRUCTURE.
5. THE STORM SEWER WILL NOT BE CONSIDERED SUBSTANTIALLY COMPLETE UNTIL THE DETENTION POND HAS BEEN COMPLETED. THIS INCLUDES FINAL BRADING AND FINISHING OF THE DETENTION POND. THE DETENTION POND SHALL BE PROTECTED MUST BE STABIL - PLAZED BY SOODING OR BY PLACING A MULCH BLANKET PECEDED IN PLAZED DEER SEED.
6. COVER FOR ONLY ONE GATED BASIN SHALL BE 2-1/4" 1000 SERIES WITH TYPE N COVER OR 2250A 2077-B WITH TYPE 8 COVER.
7. SWAMP POND LEADS ARE TO BE A MINIMUM OF 3-INCH SCHEDULE 30 PVC.



SEE STORM SEWER NOTES

2-5 BRICK COURSES FOR FUTURE ADJUSTMENT

PLASTER COAT ENTIRE BLOCK EXCEPT TOP SURFACE OF EXTERIOR 4 IN. 1/2" CEMENT MORTAR

6" CONCRETE BLOCK ON PRECAST CONCRETE

DIPS AS SPECIFIED

SUMPS NOT REQUIRED UNLESS TYPE IS 21" OR LARGER

PRECAST 3600 P.S.I., MINIMUM 8" THICK 4X4-4X4x4 MELDED WIRE FABRIC

BEADING UNDER STRUCTURE SHALL BE CRUSHED STONE

VARIABLE DEPTH

UNDER (TYP)

NOTES:

- MINIMUM OF TWO-10' LONG 6" DIA.
- PERFORATED UNDERDRAIN PIPE WITH
- INSTALLED WITH EACH CATCH BASIN
- UNDERDRAIN DEVICE FOR
- INSTALLATION AND MAINTENANCE REQUIREMENTS.

DIAMETER OF OUTLET PIPE	"X"	INSIDE DIA.
12"-18"	2'-40"	MIN
21"-30"	5'-0"	MIN

STANDARD CATCH BASIN

OUTLET TO TOP	WALLS	REIN. STEEL
1'-0"	8" x 8"	0"
3'-0"	8" x 8"	0"
4'-0"	8" x 8"	0"
5'-0"	8" x 8"	0"
6'-0"	8" x 8"	0"
7'-0"	8" x 8"	0"
8'-0"	8" x 8"	0"
9'-0"	8" x 8"	0"
10'-0"	8" x 8"	0"
11'-0"	8" x 8"	0"
12'-0"	8" x 8"	0"

SEE STORM SEWER NOTE

1-3 COURSES BRICK UNLESS OTHERWISE SPECIFIED

PLASTER COAT ENTIRE BLOCK STRUCTURE, INTERIOR AND EXTERIOR WITH 1/2" GROUT

CONC. BLOCK OR PRECAST CONCRETE

3500 P.S.I. CONCRETE FLOW CHANNEL

3500 P.S.I. CONC. BASE WITH 4-#-4-#4 WELDED WIRE FABRIC

MIN. 12"

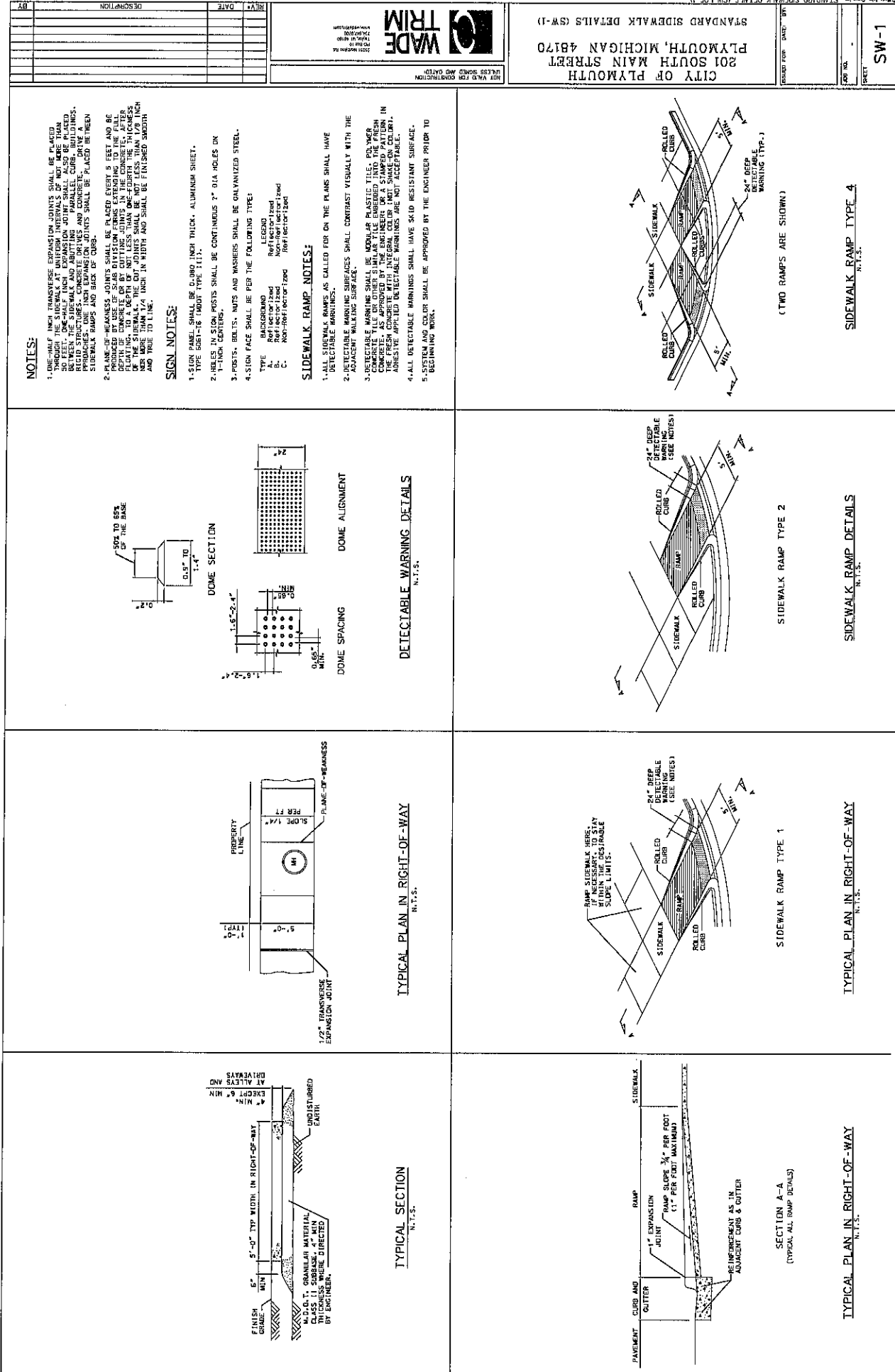
MANHOLE 12"

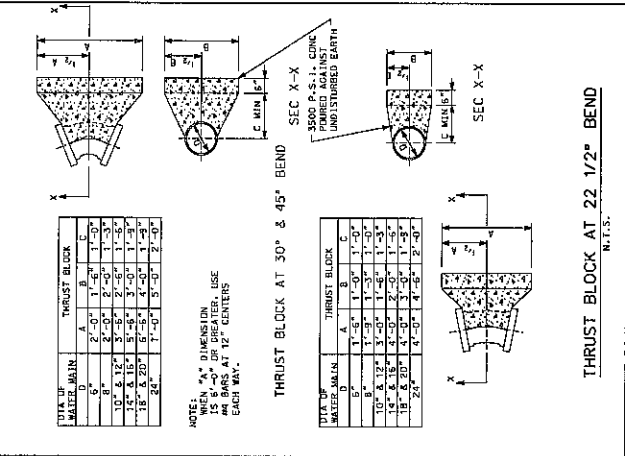
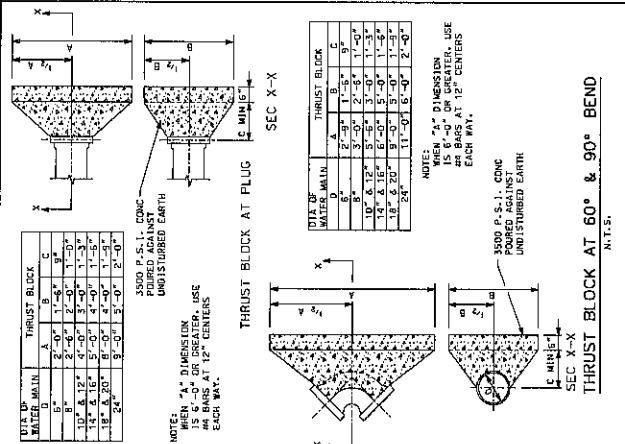
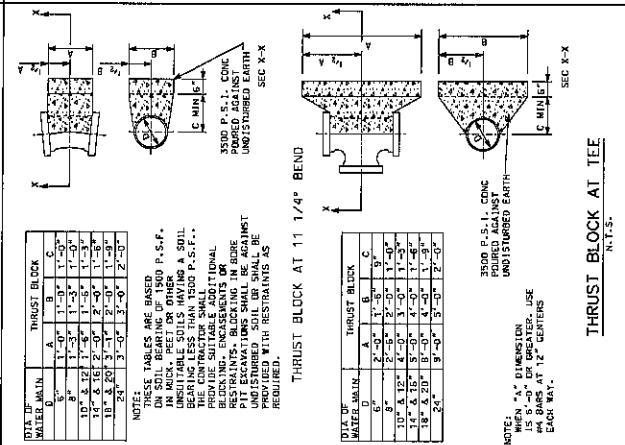
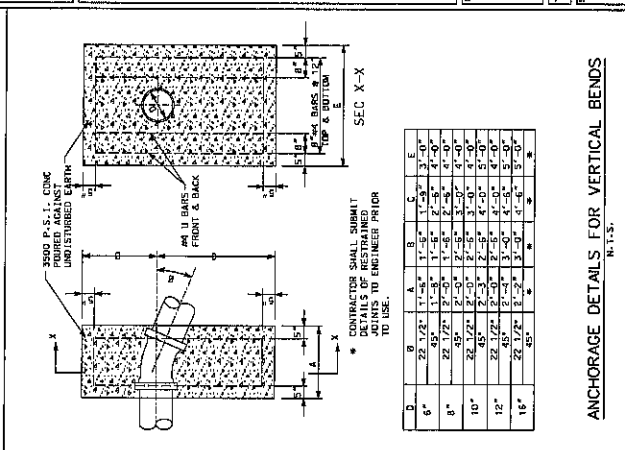
BEDDING UNDER STRUCTURE SHALL BE CRUSHED STONE

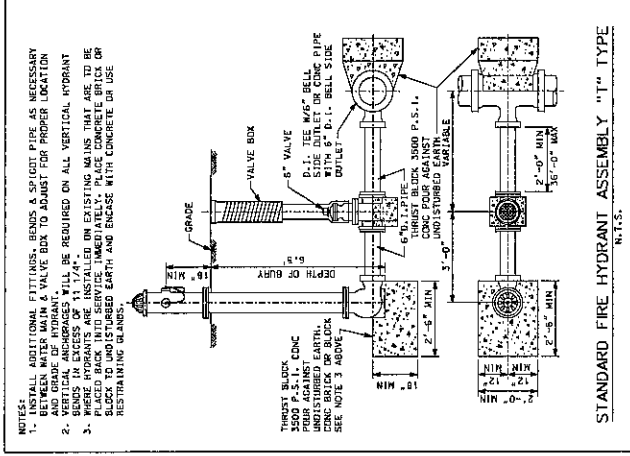
TYPICAL SECTION

TYPICAL MANHOLE / CATCH BASIN "D"

N.T.S.

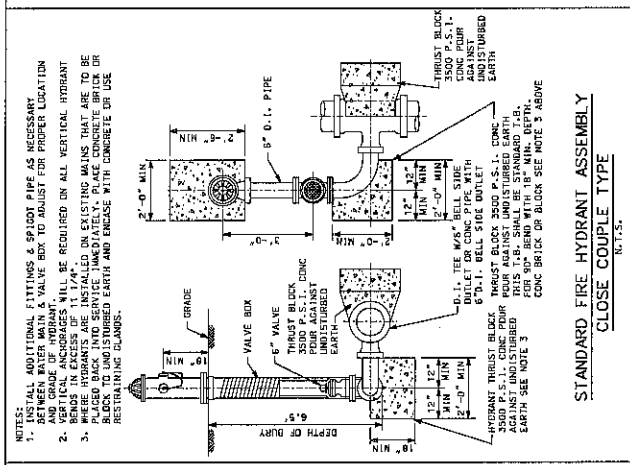






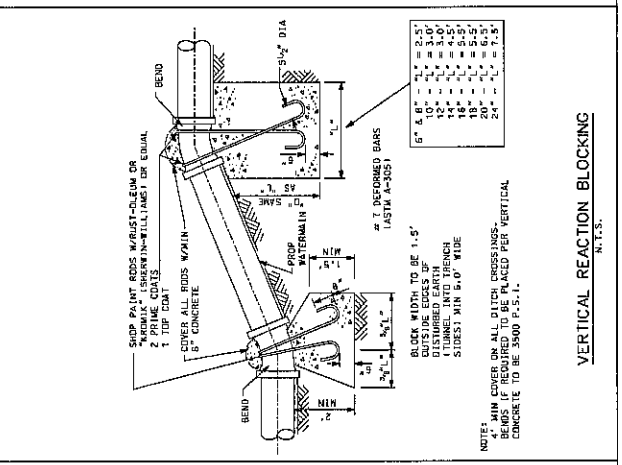
- NOTES:
1. ALL ADDITIONAL FITTINGS, BENDS & COUPLER PIPE AS NECESSARY BETWEEN WATER MAIN & VALVE BOX TO ADJUST FOR PROPER LOCATION AND GRADE OF HYDRANT.
 2. REINFORCING BARS WILL BE REQUIRED ON ALL VERTICAL HYDRANT BENDS IN EXCESS OF 1'-4\".
 3. WHERE HYDRANTS ARE INSTALLED ON EXISTING MAINS THAT ARE TO BE PLACED BACK INTO SERVICE IMMEDIATELY, PLACE CONCRETE BRICK OR BLOCK TO UNDISTURBED EARTH AND ENCASE WITH CONCRETE OR USE RESTRAINING GLANDS.

STANDARD FIRE HYDRANT ASSEMBLY "T" TYPE
N.T.S.



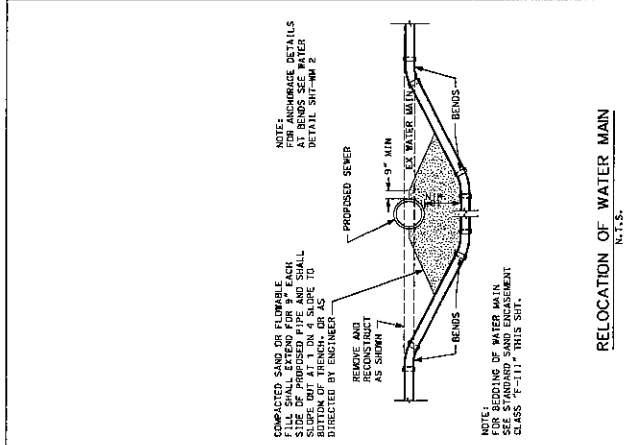
- NOTES:
1. ALL ADDITIONAL FITTINGS & COUPLER PIPE AS NECESSARY BETWEEN WATER MAIN & VALVE BOX TO ADJUST FOR PROPER LOCATION AND GRADE OF HYDRANT.
 2. REINFORCING BARS WILL BE REQUIRED ON ALL VERTICAL HYDRANT BENDS IN EXCESS OF 1'-4\".
 3. WHERE HYDRANTS ARE INSTALLED ON EXISTING MAINS THAT ARE TO BE PLACED BACK INTO SERVICE IMMEDIATELY, PLACE CONCRETE BRICK OR BLOCK TO UNDISTURBED EARTH AND ENCASE WITH CONCRETE OR USE RESTRAINING GLANDS.

STANDARD FIRE HYDRANT ASSEMBLY
CLOSE COUPLE TYPE
N.T.S.



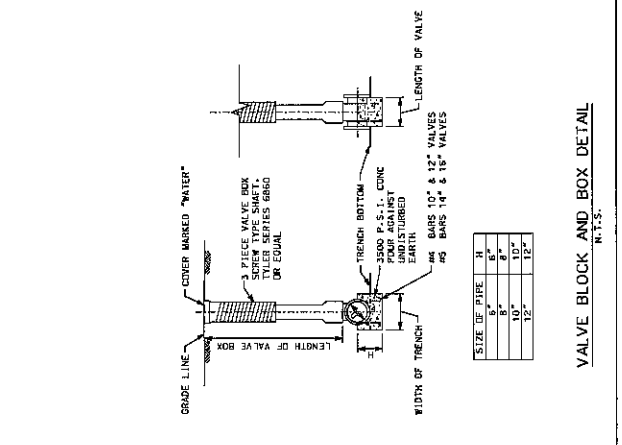
- NOTES:
1. MIN COVER ON ALL DITCH CROSSINGS.
 2. MIN COVER ON ALL DITCH CROSSINGS SHALL BE 3500 P.S.I. CONCRETE TO BE 3500 P.S.I.

VERTICAL REACTION BLOCKING
N.T.S.



- NOTE:
1. FOR ANCHORAGE DETAILS SEE DETAIL SH-111-1.
 2. FOR ANCHORAGE DETAILS SEE DETAIL SH-111-2.

RELOCATION OF WATER MAIN
N.T.S.



- NOTE:
1. SIZE OF PIPE
 2. 8\"/>

VALVE BLOCK AND BOX DETAIL
N.T.S.

- WATER MAIN NOTES
1. ALL WATER SYSTEM CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND GENERAL SPECIFICATION OF THE AGENCY OR CONSTRUCTION AREA.
 2. WATER MAINS SHALL NOT BE CONSTRUCTED UNDER SIDEWALKS OR ROAD PAVEMENT AREAS.
 3. ALL SURFACE STRUCTURES, SUCH AS HYDRANTS, GATE WELLS AND VALVE BOXES SHALL BE SET TO GRADE OR AS INDICATED ON THE PLANS.
 4. FIRE HYDRANTS ARE TO BE INSTALLED PLUMB AND HAVE THEIR NOZZLES AS DETERMINED BY THE ENGINEER.
 5. ALL FITTINGS SHALL BE CASTILE IRON. PRESSURE RATINGS FOR 8\"/>

- PLYMOUTH NOTES
1. THE TYPE OF PIPE FOR WATER MAIN THREE (3) INCHES IN DIAMETER AND LARGER SHALL BE 12\"/>
 - 2. ALL HORIZONTAL FITTINGS SHALL BE MADE ON TYPE ORIGIN JOINTS. VERTICAL FITTINGS ARE TO BE MECHANICAL JOINTS. BOLTS ARE TO BE COR-BLUE T-BOLT TYPE.
 - 3. ALL VALVES ARE TO ROTATE CLOCKWISE TO OPEN. SIX (6) INCH THROUGH TWELVE (12) INCH DIAMETER GATE VALVES SHALL BE WELLER A-2360. SMALLER SIZE VALVES SHALL BE OF LOW FRICTION SLIP SEAL. OPEN RIGHT, RESISTENT TO BE COR-BLUE T-BOLT TYPE.
 - 4. HYDRANTS SHALL BE CAST IRON WITH WOODS BRASS TRAP/ST. GATE VALVE SHALL HAVE A SEAT VALVE AND DOUBLE OPERATING STEM TO RING SEAL. OPENING AND 6\"/>

Attachment E



LEGEND:

- SUBJECT PROPERTY
- FORMER HISTORICAL SITE FEATURES
- RAILROAD TRACKS
- FORMER RAILROAD TRUCKS
- PROPOSED PARCEL SPLIT
- SOIL BORING
- SOIL BORING / TEMPORARY MONITORING WELL
- SOIL GAS SAMPLE
- SOIL BORING / TEMPORARY MONITORING WELL / SOIL GAS SAMPLE
- TEST PIT SAMPLE
- SOIL PILE COMPOSITE SAMPLE
- PREVIOUS SAMPLE LOCATION
- DESTROYED / REMOVED MONITORING WELL
- ARSENIC
- CHROMIUM
- TOLUENE
- TRICHLOROETHENE
- VOLATILE ORGANIC COMPOUNDS
- POLYCHLORINATED BIPHENYLS
- METHOD DETECTION LIMIT
- µg/g (UNLESS NOTED)
- VALUES EXCEEDING RESIDENTIAL CRITERIA
- VALUES EXCEEDING GENERAL AND/OR SITE SPECIFIC RESIDENTIAL CRITERIA
- TESTS FOR SPECIFIC COMPOUNDS ONLY
- ESTIMATED POINT OF SOIL IMPACT ABOVE THE PART 301 RESIDENTIAL CLEANUP CRITERIA AND/OR SITE SPECIFIC RESIDENTIAL CRITERIA

NOTES:

RESIDENTIAL

EAST UNION STREET

RESIDENTIAL

APPROXIMATE LOCATION OF FORMER DWELLINGS

RESIDENTIAL

APPROXIMATE LOCATION OF FORMER DWELLINGS

RESIDENTIAL

APPROXIMATE LOCATION OF FORMER DWELLINGS

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APPROXIMATE LOCATION OF FORMER DWELLINGS

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APPROXIMATE LOCATION OF FORMER DWELLINGS

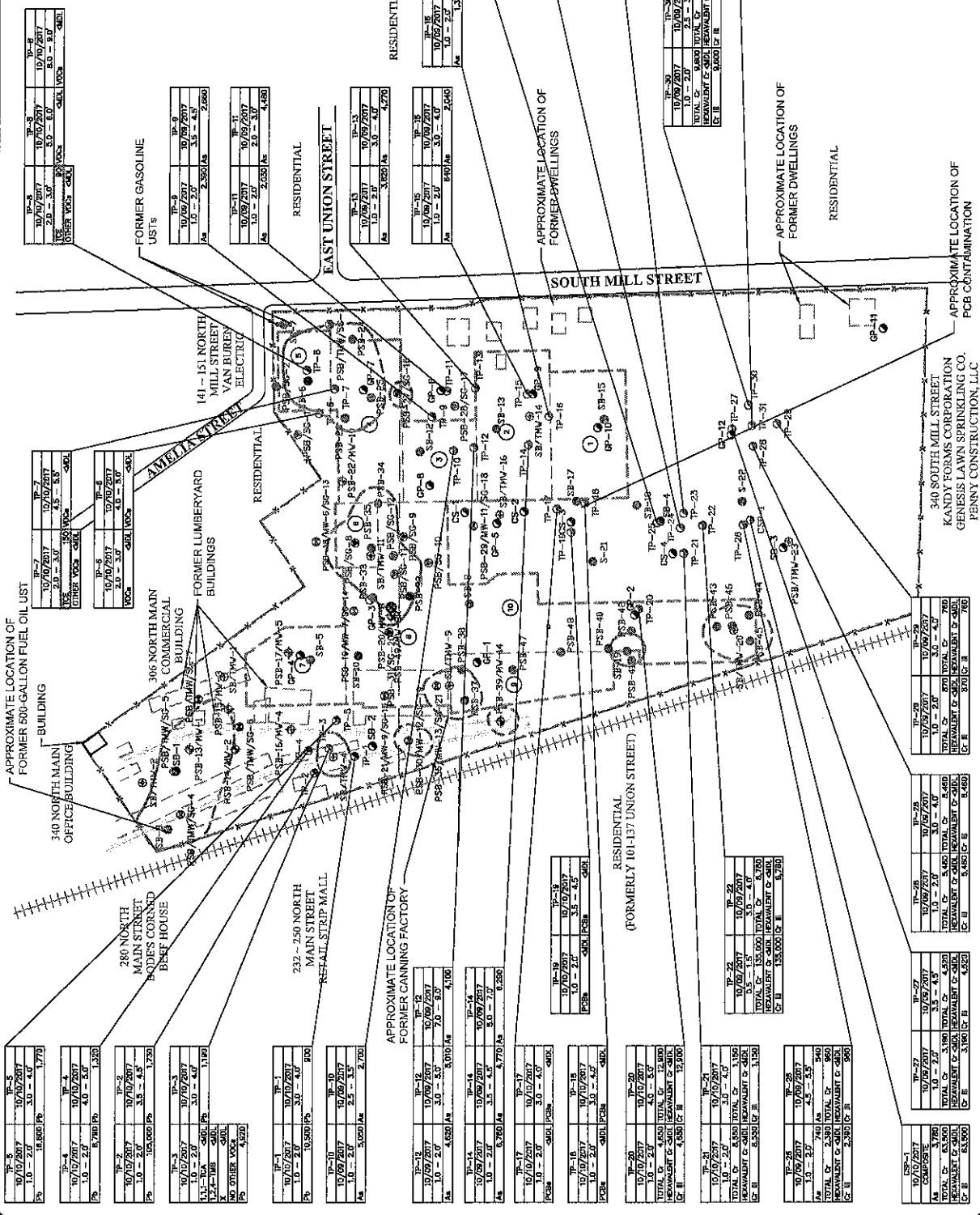
RESIDENTIAL

APPROXIMATE LOCATION OF FORMER DWELLINGS

RESIDENTIAL

APPROXIMATE LOCATION OF FORMER DWELLINGS

RESIDENTIAL



Environmental & Engineering Services

FIGURE 3C

SAMPLE LOCATION MAP WITH SOIL ANALYTICAL RESULTS (BEST PITS)

15.3 ACRES OF VACANT LAND
100 SOUTH MILL STREET
PLYMOUTH, MI

PROJ: 01-8475-2-005F00R00

DATE: 9/13/2018

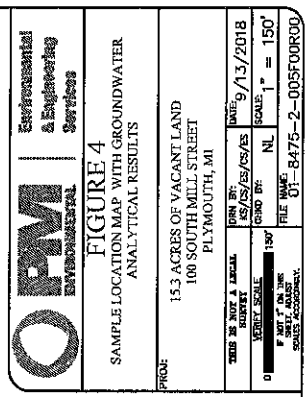
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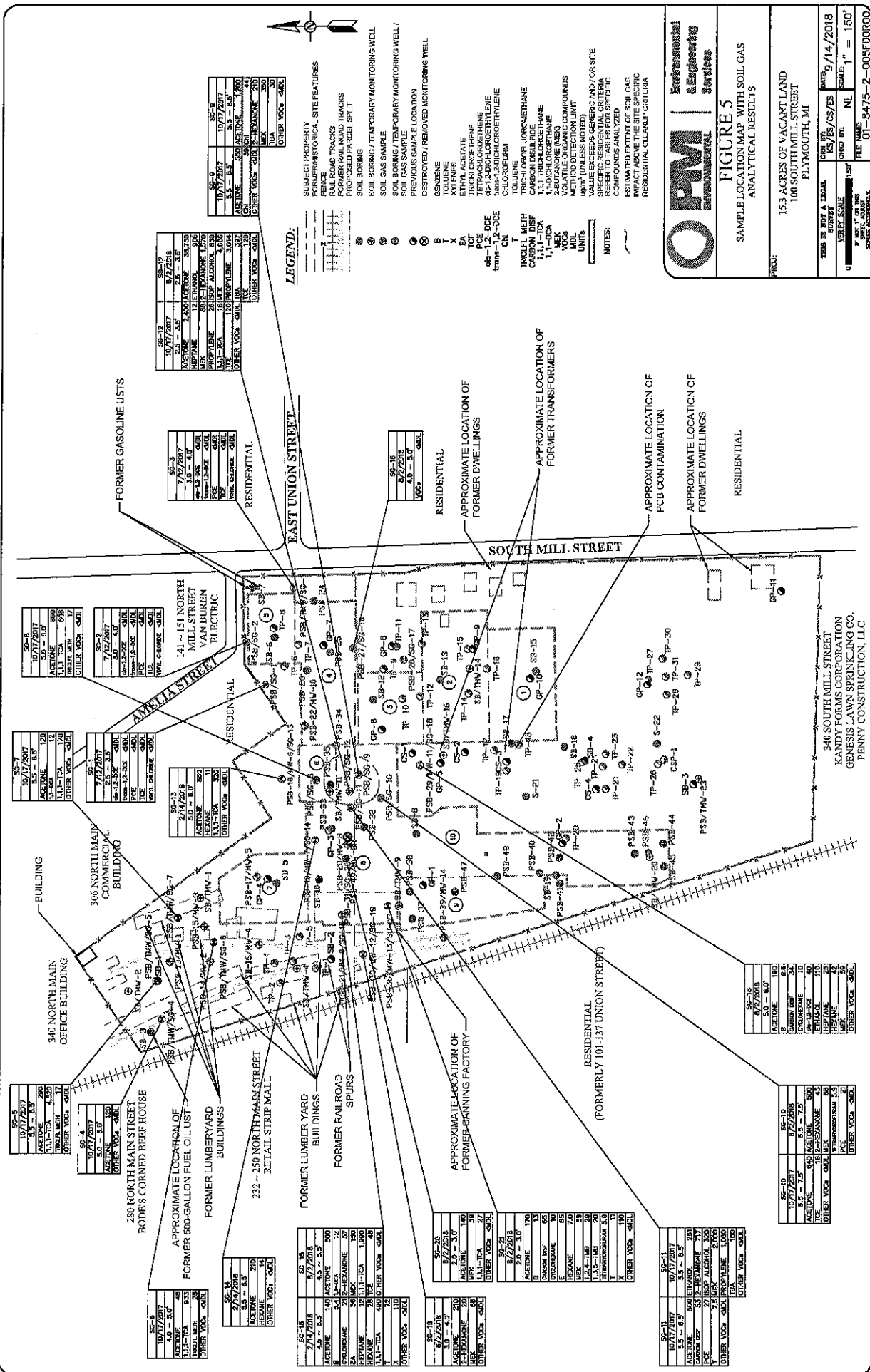
SCALE: 1" = 150'

DATE: 9/13/2018

FILE NAME: 01-8475-2-005F00R00

SCALE: 1" = 150'





THIS IS NOT A LEGAL SURVEY	DATE: 9/14/2018
	DSN BY: KS/ES/CS/ES CHD BY: NIL SCALE: 1" = 150' FILE NAME: 01-R475-2-00500B00

Tables

Table 1: Eligible Activities Cost Estimates

Item/Activity	Phase 1 - Original Brownfield Plan Approved Amounts	Phase 1 - Brownfield Plan Approved Amounts (Updated via Implementation Plan Fall 2022)	Remaining Budget	Phase 2 - Total Estimated Eligible Activities	Phase 1 and 2 Combined Total Eligible Activities	Total Amendment Increase Request
Work Plan Exempt Activities (Pre-Approved Activities)						
Phase 1 ESA						
Phase 1/2 ES&A/DOCC	\$					
Due Care Plan - Contaminated Soil and Groundwater Management Plan	\$	27,000	\$	1,750	\$	\$ 3,950
Due Care Plan - Post Development				2,859	\$	\$ 88,411
Due Care Plan - Post Development				7,000	\$	\$ 4,121
Due Care Plan - Post Development				4,000	\$	\$ 4,000
Due Care Plan - Post Development				10,000	\$	\$ 10,000
Pre-Approved Activities Sub-Total	\$	27,000	\$	22,750	\$	\$ 22,091
Department Specific Activities						
Vapor Barrier Design and Installation						
Contaminated Soil Transport and Disposal	\$	165,000	\$	87,620	\$	\$ 332,420
Contaminated Water Management, Treatment and Disposal	\$	495,000	\$	17,101	\$	\$ 954,304
Frac Tank Rental	\$	75,000	\$	75,000	\$	\$ 145,000
Cut-Off Walls for Utilities (i.e. slurry walls)	\$	6,000	\$	6,000	\$	\$ 90,000
Retention Pond Liner Barriers	\$	8,550	\$	8,550	\$	\$ 23,550
Implementation of Controls to Prevent Contact with Contaminants - Fencing	\$	229,800	\$	203,030	\$	\$ 133,620
Utility Gasfetting	\$	22,950	\$	22,950	\$	\$ 45,000
Overnight, Sampling and Reporting by Environmental Professional ¹	\$	334,500	\$	116,218	\$	\$ 52,950
Department Specific Activities Sub-Total	\$	1,171,850	\$	616,793	\$	\$ 233,218
Demolition						
Building and Site Demolition ¹	\$	346,150	\$	256,994	\$	\$ 2,020,062
Demolition Sub-Total	\$	346,150	\$	256,994	\$	\$ 693,212
Brownfield Plan and Act 381 Workplan						
Brownfield Plan and Act 381 Work Plan Preparation	\$	30,000	\$	11,191	\$	\$ 89,156
Brownfield Plan and Act 381 Work Plan Implementation ¹	\$	30,000	\$	6,000	\$	\$ 256,994
Brownfield Plan and Act 381 Workplan Sub-Total	\$	60,000	\$	17,191	\$	\$ 89,156
Eligible Activities Sub-Total	\$	1,603,979	\$	1,070,536	\$	\$ 6,197
15% Contingency ²	\$	227,700	\$	4,700	\$	\$ 12,000
3% Simple Interest ³	\$	255,939	\$	255,939	\$	\$ 31,800
Residual Eligible Activities Sub-Total	\$	2,088,619	\$	1,331,175	\$	\$ 148,191
Residual Eligible Activities Sub-Total	\$	2,088,619	\$	1,331,175	\$	\$ 2,383,278

Notes:

The Total Amendment Increase Factors in the remaining budget left within Phase 1 Eligible Activity line items. Therefore, the amended request does not total the actual budget but rather, only the anticipated cost increase.

¹Based on costs that came in below initial budget or were modified with the ECLC grant approved for Phase 1, we've indicated costs from this line item.

²15% Contingency excludes preparation of Brownfield Plan 381 Work Plan and Pre-Approved Activities

³3% Simple Interest Not to Exceed

Table 2 - Tax Increment Capture Table
 100 S Mill St - Proposed Mill St Townes
 PM Project: 01-8475-8-001; Revised January 23, 2024

Estimated Taxable Value (TV) Increase Rate: 2%												
Plan Year		Tax Year										
		0	1	2	3	4	5	6	7	8		
		2019	2020	2021	2022	2023	2024	2025	2026	2027		
* Base Taxable Value		\$ 289,498	\$ 289,498	\$ 289,498	\$ 289,498	\$ 401,658	\$ 401,658	\$ 401,658	\$ 401,658	\$ 401,658	\$ 401,658	\$ 401,658
Estimated New TV		\$ 2,396,214	\$ 2,396,214	\$ 8,848,614	\$ 16,412,390	\$ 16,658,576	\$ 19,458,576	\$ 22,458,576	\$ 22,907,747	\$ 23,365,902	\$ 23,365,902	\$ 23,365,902
Incremental Difference (New TV - Base TV)		\$ 2,106,716	\$ 8,559,116	\$ 15,122,892	\$ 15,122,892	\$ 16,256,918	\$ 19,056,918	\$ 22,056,918	\$ 22,506,089	\$ 22,964,244	\$ 22,964,244	\$ 22,964,244
School Capture	Millage Rate (through 2021)											
State Education Tax (SET)	6.0000	\$ 1,737	\$ 12,640	\$ 51,355	\$ 96,737	\$ 97,542	\$ 114,342	\$ 132,342	\$ 135,037	\$ 137,785	\$ 137,779	\$ 137,779
School Operating Tax*	0.0000											
School Operating Tax*	0.0000	\$ 1,737	\$ 12,640	\$ 51,355	\$ 96,737	\$ 97,542	\$ 114,342	\$ 132,342	\$ 135,037	\$ 137,785	\$ 137,779	\$ 137,779
School Total	6.0000											
Local Capture	Millage Rate (through 2021)											
City Operating	10.8782	\$ 3,149	\$ 22,917	\$ 93,108	\$ 175,388	\$ 176,846	\$ 207,305	\$ 239,940	\$ 244,826	\$ 249,810	\$ 249,810	\$ 249,810
City Refuse	1.8200	\$ 527	\$ 3,834	\$ 15,578	\$ 29,344	\$ 29,588	\$ 34,684	\$ 40,144	\$ 40,961	\$ 41,795	\$ 41,795	\$ 41,795
Schoolcraft College	1.7662	\$ 511	\$ 3,721	\$ 15,117	\$ 28,476	\$ 28,713	\$ 33,658	\$ 38,957	\$ 39,750	\$ 40,559	\$ 40,559	\$ 40,559
County Operating	6.6380	\$ 1,722	\$ 13,984	\$ 56,815	\$ 107,024	\$ 107,913	\$ 126,500	\$ 146,414	\$ 149,395	\$ 152,437	\$ 152,437	\$ 152,437
Jail	0.9381	\$ 272	\$ 1,976	\$ 8,029	\$ 15,125	\$ 15,251	\$ 17,877	\$ 20,692	\$ 21,113	\$ 21,543	\$ 21,543	\$ 21,543
HOMA	0.2129	\$ 62	\$ 449	\$ 1,822	\$ 3,433	\$ 3,461	\$ 4,057	\$ 4,696	\$ 4,792	\$ 4,889	\$ 4,889	\$ 4,889
Parks	0.2459	\$ 71	\$ 518	\$ 2,105	\$ 3,965	\$ 3,998	\$ 4,686	\$ 5,424	\$ 5,534	\$ 5,647	\$ 5,647	\$ 5,647
Library	1.4615	\$ 473	\$ 3,079	\$ 13,509	\$ 23,564	\$ 23,759	\$ 27,852	\$ 32,236	\$ 32,893	\$ 33,562	\$ 33,562	\$ 33,562
RESA	3.4643	\$ 1,063	\$ 7,298	\$ 29,651	\$ 55,855	\$ 56,319	\$ 66,019	\$ 76,412	\$ 77,968	\$ 79,555	\$ 79,555	\$ 79,555
RESA Enhancement	2.0000	\$ 579	\$ 4,213	\$ 17,118	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Local Total	29.4251	\$ 8,519	\$ 61,990	\$ 251,853	\$ 442,172	\$ 445,848	\$ 522,638	\$ 604,913	\$ 617,232	\$ 629,797	\$ 629,797	\$ 629,797
Non-Captureable Millages	Millage Rate (through 2021)											
School Debt	4.0253	\$ 1,165	\$ 8,480	\$ 34,453	\$ 64,899	\$ 65,439	\$ 76,719	\$ 88,789	\$ 90,594	\$ 92,438	\$ 92,438	\$ 92,438
City Debt	2.8008	\$ 611	\$ 5,993	\$ 23,972	\$ 45,157	\$ 45,532	\$ 53,375	\$ 61,777	\$ 63,035	\$ 64,318	\$ 64,318	\$ 64,318
Wayne County DIA	0.2000	\$ 58	\$ 421	\$ 1,712	\$ 3,235	\$ 3,251	\$ 3,811	\$ 4,411	\$ 4,501	\$ 4,593	\$ 4,593	\$ 4,593
Wayne County Zoo	0.1000	\$ 29	\$ 213	\$ 856	\$ 1,612	\$ 1,626	\$ 1,906	\$ 2,206	\$ 2,251	\$ 2,296	\$ 2,296	\$ 2,296
Total Non-Captureable Taxes	7.1261	\$ 2,062.99	\$ 15,012.67	\$ 60,983.11	\$ 116,893.34	\$ 115,848.42	\$ 135,891.50	\$ 157,179.80	\$ 160,386.64	\$ 163,645.50	\$ 163,645.50	\$ 163,645.50
Total Tax Increment Revenue (TIR) Available for Capture		\$ 74,631	\$ 303,208	\$ 538,909	\$ 543,389	\$ 737,255	\$ 752,268	\$ 767,582	\$ 782,900	\$ 798,414	\$ 813,928	\$ 829,442

Footnotes:
 *Assumption of PRE Tax Exemptions

Table 3 - Tax Increment Reimbursement Table
100 S Mill St - Proposed Mill St Townies
PM Project: 01-84775-B-001, Revised January 23, 2024

Developer Maximum Reimbursement	Proportionality (Years 3+)	Local Taxes	Total
State	0.00%	\$ -	\$ -
Local	100.00%	\$ 2,883,278	\$ 2,883,278
TOTAL			
EGL	100.0%	\$ 2,883,278	\$ 2,883,278
MSF	0.0%	\$ -	\$ -

Plan Year	2020	2021	2022	2023	2024	2025	2026	2027	TOTAL
Total State Incremental Revenue	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
State Brownfield Revolving Fund	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
State TIR Available for Reimbursement	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total Local Incremental Revenue	\$ 61,990	\$ 251,853	\$ 442,172	\$ 445,848	\$ 572,638	\$ 604,913	\$ 617,232	\$ 629,797	\$ 3,576,442
BRA Administrative Fee (40%)	\$ 6,199	\$ 25,185	\$ 44,217	\$ 44,585	\$ 57,264	\$ 60,491	\$ 61,723	\$ 62,980	\$ 357,644
Local TIR Available for Reimbursement	\$ 55,791	\$ 226,668	\$ 397,955	\$ 401,263	\$ 470,374	\$ 544,422	\$ 555,509	\$ 566,817	\$ 3,218,798
Total State & Local TIR Available	\$ 55,791	\$ 226,668	\$ 397,955	\$ 401,263	\$ 470,374	\$ 544,422	\$ 555,509	\$ 566,817	\$ 3,218,798
DEVELOPER									
DEVELOPER Reimbursement Balance	\$ 2,883,278	\$ 2,600,810	\$ 2,202,864	\$ 1,801,601	\$ 1,351,227	\$ 786,805	\$ 231,297	\$ -	\$ -
Local Only - Phase 1 - Environmental Costs	\$ 1,078,833	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Local Tax Reimbursement	\$ 55,791	\$ 226,668	\$ 397,955	\$ 398,169	\$ -	\$ -	\$ -	\$ -	\$ -
Total Phase 1 Reimbursement Balance	\$ 1,022,792	\$ 766,124	\$ 398,169	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,078,833
Local Only - Phase 2 - Environmental Costs	\$ 1,548,756	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Local Tax Reimbursement	\$ -	\$ -	\$ -	\$ 3,093	\$ 470,374	\$ 544,422	\$ 530,866	\$ -	\$ -
Total Phase 2 Reimbursement Balance	\$ 1,548,756	\$ 1,548,756	\$ 1,548,756	\$ 1,545,662	\$ 1,075,288	\$ 530,866	\$ -	\$ -	\$ 1,548,756
Simple Interest Reimbursement	\$ 255,939	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Local Tax Reimbursement	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total Local Only Reimbursement Balance	\$ 255,939	\$ 255,939	\$ 255,939	\$ 255,939	\$ 255,939	\$ 255,939	\$ 24,642	\$ 231,297	\$ 255,939
Total Annual Developer Reimbursement	\$ 55,791	\$ 226,668	\$ 397,955	\$ 401,263	\$ 470,374	\$ 544,422	\$ 555,509	\$ 231,297	\$ 2,883,278
LOCAL BROWNFIELD REVOLVING FUND									
LBFF Deposits *	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
State Tax Capture	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Local Tax Capture	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -
Total LBFF Capture	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -

Estimated Developer Capture	\$ 2,883,278
Administrative Fees	\$ 357,644
State Revolving Fund	\$ -
LBFF	\$ -
TOTAL	\$ 3,240,922

Estimated Total	8
Years of Plan:	8