



Plymouth Cemetery Board of Trustees

Regular Meeting Agenda

October 28, 2024 - 5:30 p.m.
Riverside Cemetery, 680 Plymouth Rd.

Department of Municipal Services
1231 Goldsmith
Plymouth, Michigan 48170

www.plymouthmi.gov
Phone 734-453-7737
Fax 734-455-1666

- 1) CALL TO ORDER
- 2) CITIZEN COMMENTS
- 3) APPROVAL OF THE AGENDA
- 4) APPROVAL OF THE MEETING MINUTES
 - a. Approval of May 20, 2024 regular meeting minutes
- 5) COMMISSION COMMENTS
- 6) OLD BUSINESS
- 7) NEW BUSINESS
 - a. Review design development plan for columbarium and mausoleum improvements
- 8) REPORTS AND CORRESPONDENCE
- 9) ADJOURNMENT

Citizen Comments - This section of the agenda allows up to 3 minutes to present information or raise issues regarding items not on the agenda. Upon arising to address the Commission, speakers should first identify themselves by clearly stating their name and address. Comments must be limited to the subject of the item.

Persons with disabilities needing assistance should contact the City Clerk's office at 734-453-1234 Monday through Friday from 8:00 a.m. -4:30 p.m., at least 24 hours prior to the meeting. An attempt will be made to provide reasonable accommodation.

City of Plymouth Strategic Plan 2022-2026

GOAL AREA ONE – SUSTAINABLE INFRASTRUCTURE

OBJECTIVES

1. Identify and establish sustainable financial model(s) for major capital projects, Old Village business district, 35th District Court, recreation department, and public safety
2. Incorporate eco-friendly, sustainable practices into city assets, services, and policies; including more environmentally friendly surfaces, reduced impervious surfaces, expanded recycling and composting services, prioritizing native and pollinator-friendly plants, encouraging rain gardens, and growing a mature tree canopy
3. Partner with or become members of additional environmentally aware organizations
4. Increase technology infrastructure into city assets, services, and policies
5. Continue sustainable infrastructure improvement for utilities, facilities, and fleet
6. Address changing vehicular habits, including paid parking system /parking deck replacement plan, electric vehicle (EV) charging stations, and one-way street options

GOAL AREA TWO – STAFF DEVELOPMENT, TRAINING, AND SUCCESSION

OBJECTIVES

1. Create policies and programs that support staff recruitment/retention, including a coordinated recruitment program, flexible scheduling, and an internship program
2. Increase staff levels to appropriately support city services and departments
3. Provide staff/board/volunteer trainings and programming with a focus on improving understanding on issues of diversity, equity, and inclusion and emphasizing working with and serving diverse communities

GOAL AREA THREE – COMMUNITY CONNECTIVITY

OBJECTIVES

1. Engage in partnerships with public, private, and non-profit entities
2. Increase residential/business education programs for active citizen engagement
3. Robust diversity, equity, and inclusion programs
4. Actively participate with multi-governmental lobbies (Michigan Municipal League, Conference of Western Wayne, etc.)

GOAL AREA FOUR – ATTRACTIVE, LIVABLE COMMUNITY

OBJECTIVES

1. Create vibrant commercial districts by seeking appropriate mixed-use development, marketing transitional properties, and implementing Redevelopment Ready Communities (RRC) practices
2. Improve existing and pursue additional recreational and public green space opportunities and facilities for all ages
3. Develop multi-modal transportation plan which prioritizes pedestrian and biker safety
4. Improve link between Hines Park, Old Village, Downtown Plymouth, Plymouth Township, and other regional destinations
5. Maintain safe, well-lit neighborhoods with diverse housing stock that maximizes resident livability and satisfaction
6. Modernize and update zoning ordinance to reflect community vision
7. Implement Kellogg Park master plan



Plymouth Cemetery Board of Trustees

Regular Meeting Minutes

Monday, May 20, 2024
Riverside Cemetery, 680 Plymouth Rd.

City of Plymouth
201 S. Main
Plymouth, Michigan 48170

www.plymouthmi.gov
Phone 734-453-1234
Fax 734-455-1892

1. CALL TO ORDER

Chair Hess called the meeting to order at 5:01 p.m.

Present: Chair Don Hess and Trustees Pat Grzywacz, Jill Marecki, Kathleen Hier, and Kathy Townsend
Also present: Department of Municipal Services staff

2. CITIZENS COMMENTS

Ron Picard of 1373 Sheridan asked how the York Street cemetery could be accessed and was interested in additional signage and information on the website.

3. APPROVAL OF THE MEETING MINUTES

Hess offered a motion, seconded by Grzywacz, to approve the minutes of the May 22, 2023 meeting.

There was a voice vote.
MOTION PASSED 5-0

4. APPROVAL OF THE AGENDA

Grzywacz offered a motion, seconded by Hess, to approve the agenda for May 20, 2024.

There was a voice vote.
MOTION PASSED 5-0

5. ELECTION OF OFFICERS

Marecki offered a motion, seconded by Heir, to recommend Hess as Chairman.

There was a voice vote.
MOTION PASSED 5-0

Hess offered a motion, seconded by Marecki, to recommend Heir as Vice-Chair.

There was a voice vote.
MOTION PASSED 5-0

6. TRUSTEE COMMENTS

None.

7. OLD BUSINESS

There was no old business.

8. NEW BUSINESS

a) Cemetery rules

The Board discussed the proposed changes. The Board also discussed prohibiting fences on gravesides.

Hess offered a motion, seconded by Grzywacz, to approve changes to the cemetery rules, as discussed.

There was a voice vote.

MOTION PASSED 5-0

b) Cemetery rates

The Board discussed the proposed changes. The Board also discussed that extra words or artwork review would be \$150.00 minimum, billed as the market rate.

Townsend offered a motion, seconded by Marecki, to recommend approval of the cemetery rates to the City Commission, as discussed.

There was a voice vote.

MOTION PASSED 5-0

9. REPORTS AND CORRESPONDENCE

a) Mausoleum master plan update

Gerlach explained that Ehresman Architects have been retained to solve three main issues: the fastener system is failing, the interior space is very sterile, and 4 of the 6 walls are completely sold out. The Board discussed the relocation of occupied double crypts, favorable opinion of greenspace/landscaping, and preference for niches to be behind a seating area rather than below.

b) Lawn contractor update

Gerlach explained that Executive Maintenance is the contractor, and they are meeting expectations.

c) Cemetery walk through

Board members and staff walked through the cemetery grounds. The Shaw monument was discussed. A Norway Spruce hit the Shaw monument and two large pieces of the monument that fell are near the spoils area for storage.

10. ADJOURNMENT

Grzywacz offered a motion, seconded by Townsend, to adjourn the meeting at 6:42 p.m.

There was a voice vote.

MOTION PASSED 5-0



Department of Municipal Services

1231 Goldsmith, Plymouth, MI

734-453-7737

dms@plymouthmi.gov

To: Cemetery Board
From: Municipal Services Administration
Date: October 25, 2024
Re: Mausoleum Plan Update

BACKGROUND:

The Cemetery Board of Trustees has been discussing the future of the Mausoleum, specifically niches, for the past few years. In the 2024 City Commission Strategic Plan, the City Commission identified "Plan/budget for mausoleum repair project at Riverside Cemetery" as a one-year task under Goal Area #1 Sustainable Infrastructure. The City Commission considered the proposal from Ehresman Architects at their May 20 meeting. They awarded the contract to Ehresman to move the design concept previously completed, to the next phase, which will include construction documents, bidding, and construction administration.

We have scheduled this meeting to continue discussions and review and refine design elements. The Cemetery Board of Trustees' feedback will be incorporated into the plan set prior to moving forward with construction documents. This is the first proposed meeting. A second is available if needed.

The Cemetery Board of Trustees has three options for consideration. Option 1: Approve the design as presented. Option 2: Approve the design contingent upon changes. Option 3: Architect to update the design and bring new design development to a future meeting.

Should you have any questions, please contact Adam Gerlach directly.

City of Plymouth Riverside Cemetery 680 Plymouth Road Columbarium & Mausoleum Improvements

City of Plymouth
680 Plymouth Road
Plymouth, MI 48170
Contact Name: Adam Gerlach, Assistant Director of
Municipal Services
Contact Phone: (734) 453-7737

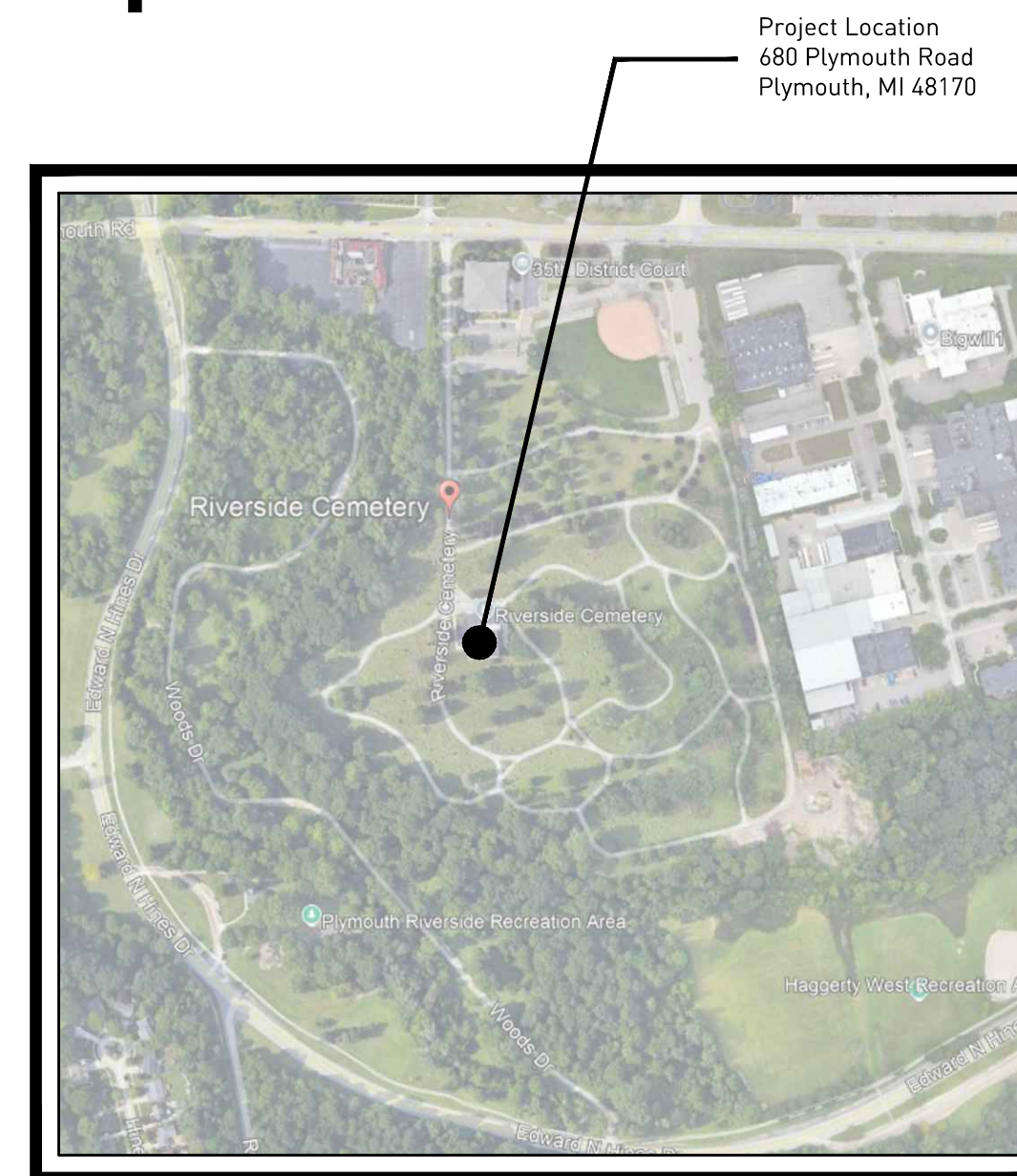
ARCHITECT:



LANDSCAPE ARCHITECT:



STRUCTURAL ENGINEER:



LOCATION PLAN

NOT TO SCALE

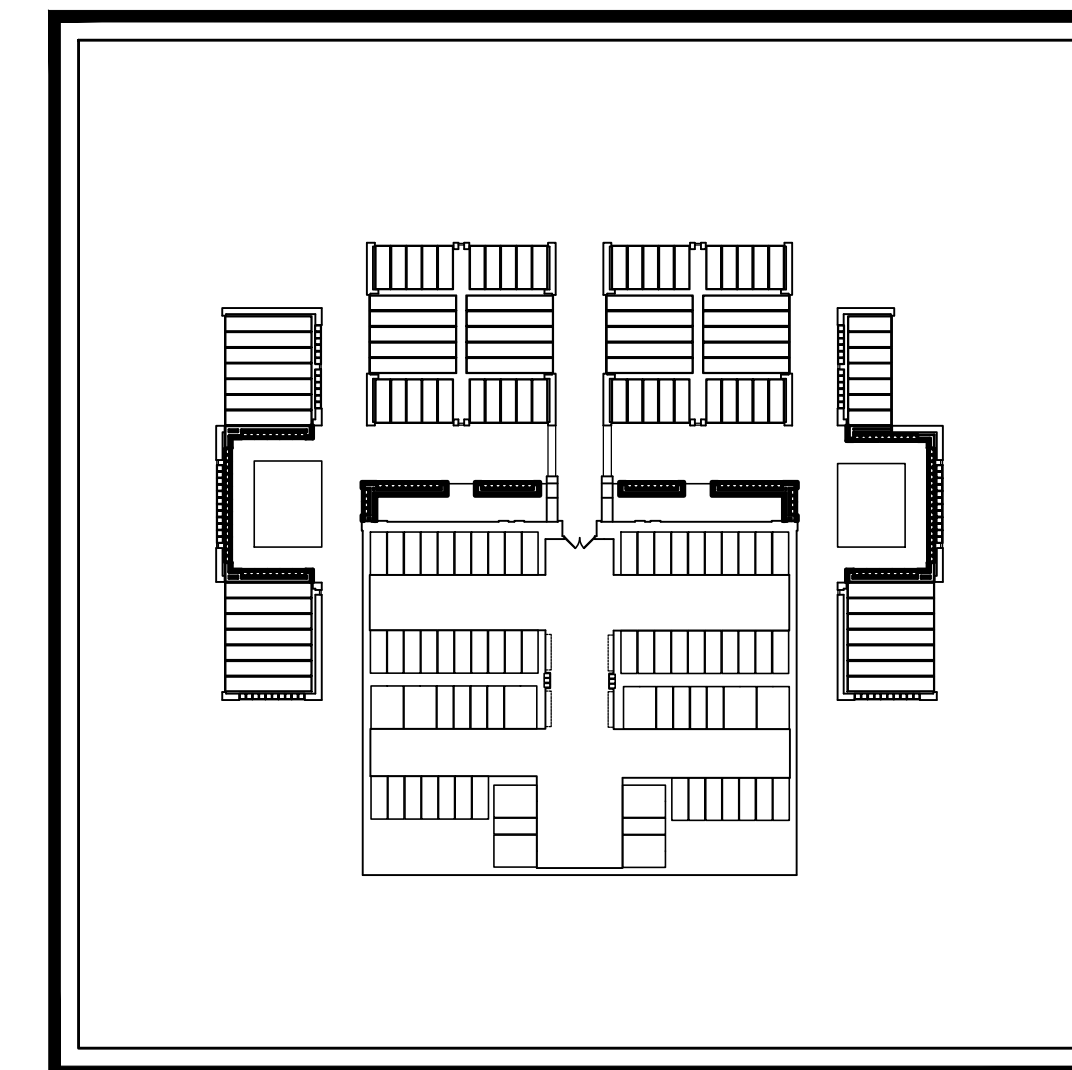


APPLICABLE CODES:

MICHIGAN BUILDING CODE:	2015 EDITION
FEDERAL ADA LAW:	CURRENT ED.
ACCESSIBLE AND USABLE BUILDINGS & FACILITIES (ANSI A117.1):	2009 EDITION

ZONING DISTRICT:

ZONING DISTRICT & DESCRIPTION BASED ON CITY ORDINANCE



BUILDING KEY PLAN

NOT TO SCALE



LIST OF ALTERNATES:

ALTERNATE #1: UNIT B & C ROOFING REPLACEMENT
ADD TO THE BASE PROPOSAL AMOUNT TO REMOVE EXISTING ROOFING SYSTEM AND REPLACE WITH NEW TAPER INSULATION AND 60-MIL EPDM ROOFING. CONTRACTOR TO REFER TO DRAWINGS AND / OR SPECIFICATIONS FOR FURTHER INFORMATION.

LIST OF DRAWINGS

TTL	TITLE SHEET
A0.00	GENERAL INFORMATION
ARCHITECTURAL DRAWINGS:	
A1.10	SITE REMOVALS PLAN
A1.11	ELEVATION REMOVALS
A1.12	WALL SECTION REMOVALS
A1.50	ROOF REMOVALS PLAN
A2.10	FLOOR PLAN
A2.50	ROOF PLAN
A3.10	EXTERIOR ELEVATIONS
A3.11	EXTERIOR ELEVATIONS
A9.00	WALL SECTIONS
LANDSCAPE DRAWINGS:	
L--	DRAWING NAME
L--	DRAWING NAME
STRUCTURAL DRAWINGS:	
S--	DRAWING NAME
S--	DRAWING NAME

Design Development Review: 27 September 2024

Title Sheet



City of Plymouth
Riverside Cemetery
Columbarium & Mausoleum Improvements

Project No. 3024

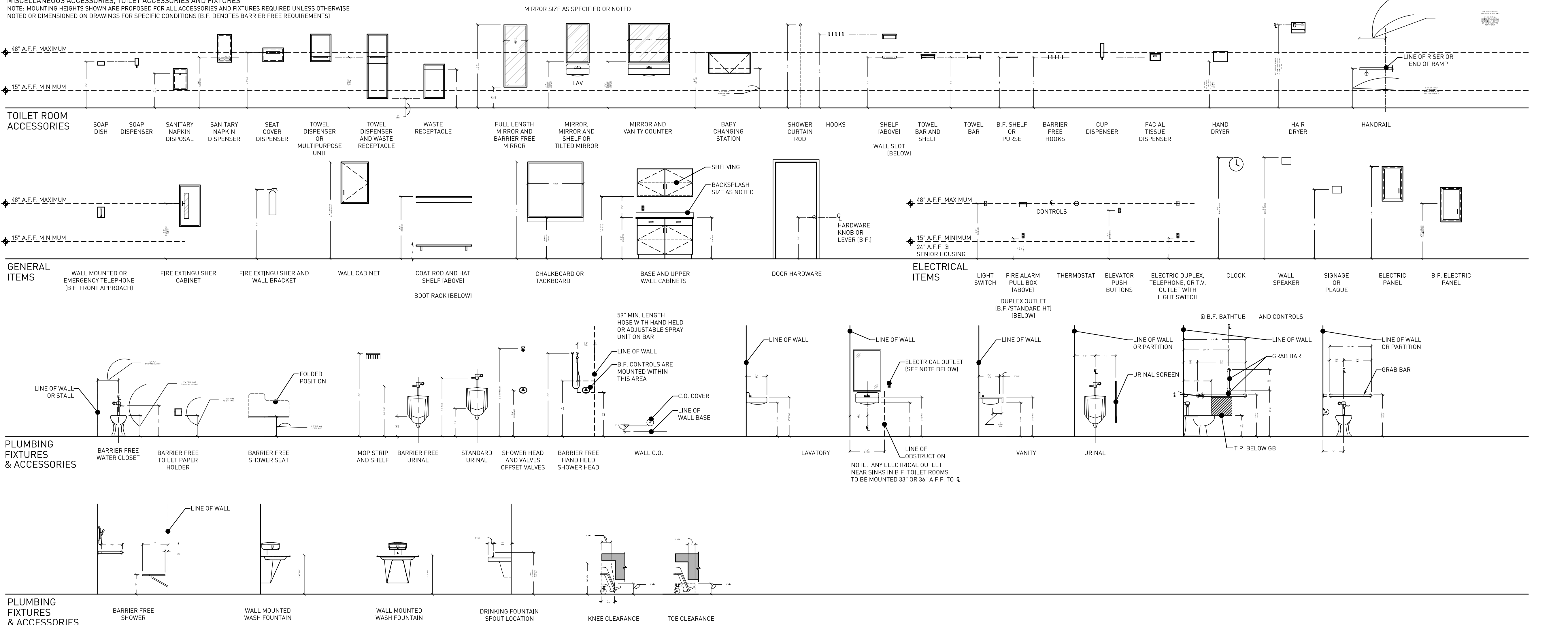
TTL

ABBREVIATIONS

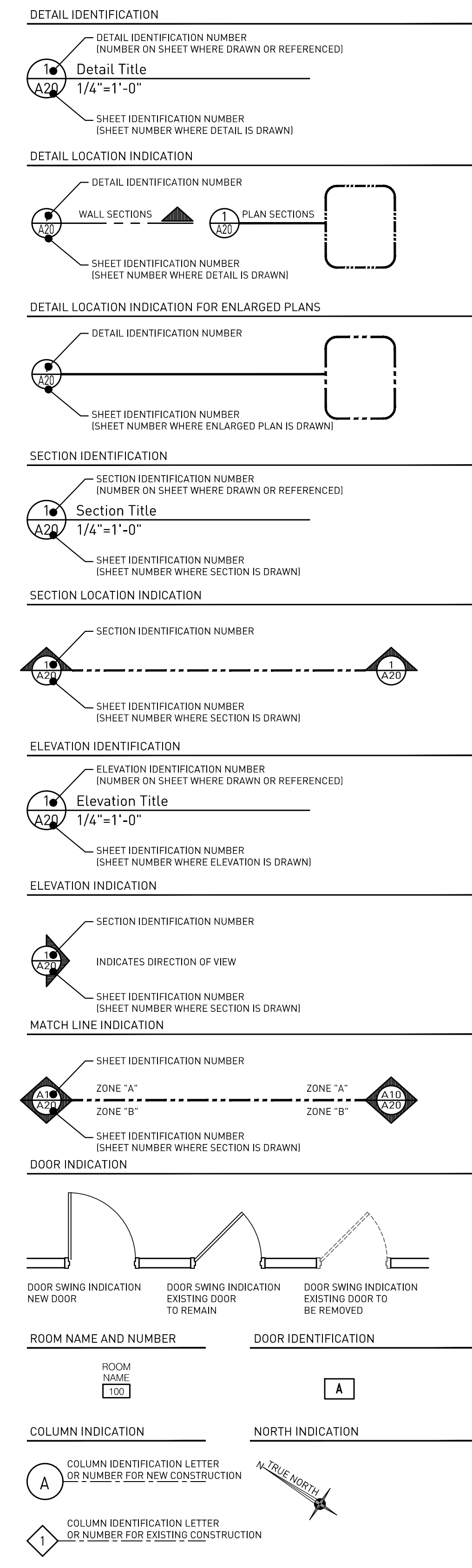
Table of abbreviations organized by column (A, C, D, F, H, M, P, S, W) and row (A-Z). Includes terms like 'ABV. ABOVE', 'C.T. CAST IRON', 'D.R. DOOR', 'F.D. FIRE DAMPER', etc.

TYPICAL MOUNTING HEIGHTS

MISCELLANEOUS ACCESSORIES, TOILET ACCESSORIES AND FIXTURES
NOTE: MOUNTING HEIGHTS SHOWN ARE PROPOSED FOR ALL ACCESSORIES AND FIXTURES REQUIRED UNLESS OTHERWISE NOTED OR DIMENSIONED ON DRAWINGS FOR SPECIFIC CONDITIONS (B.F. DENOTES BARRIER FREE REQUIREMENTS)



REFERENCE SYMBOLS



Design Development Review: 27 September 2024

General Information



City of Plymouth
Riverside Cemetery
Columbarium & Masoleum Improvements

Project No. 3024

A0.00

801 W. Big Beaver Road, Suite 250, Troy, MI 48064 | 248.244.9710
© Ehresman Architects 2024

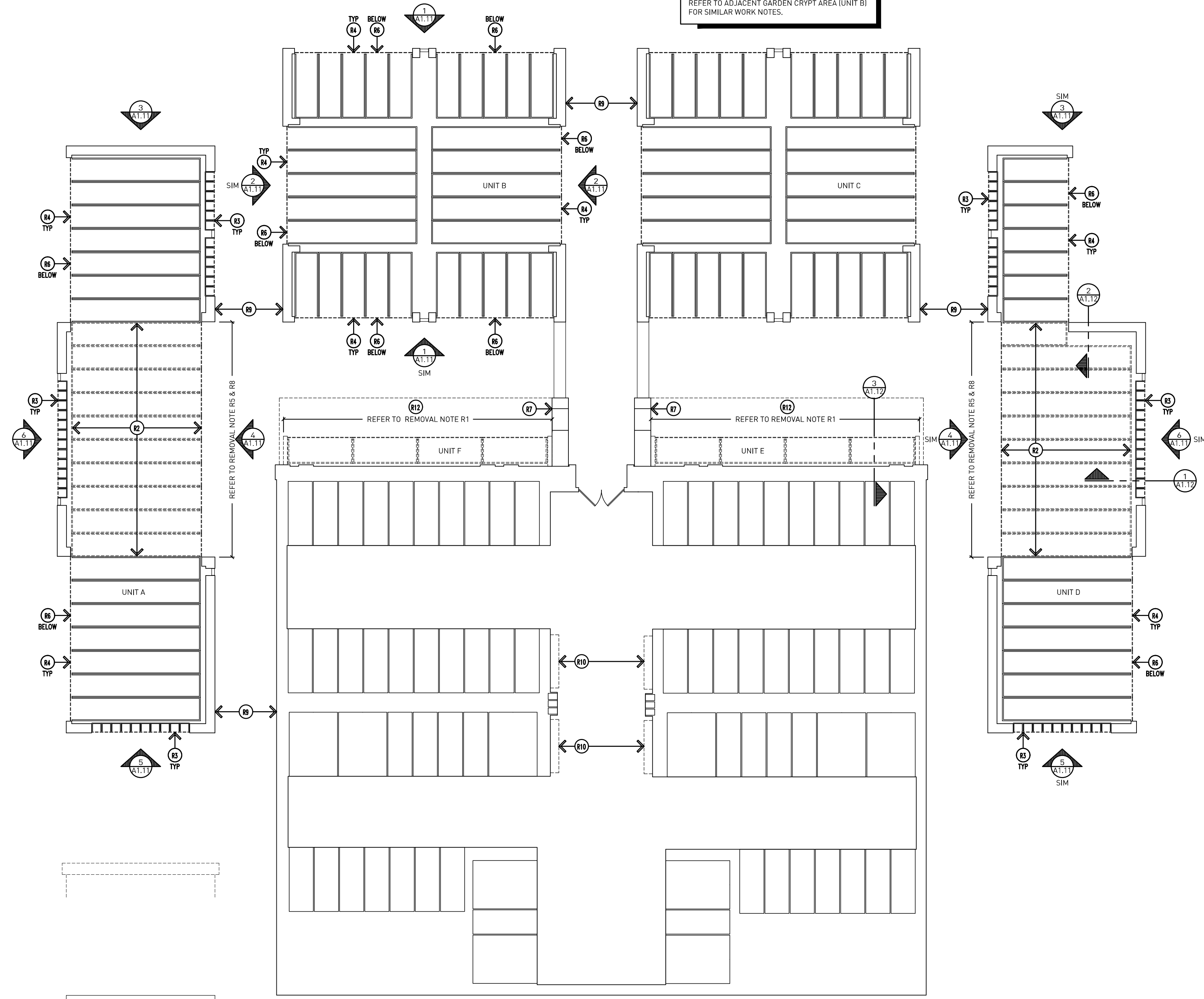
GENERAL NOTES:

- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. FIELD VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ON WORK.
- G3. PROTECT ALL EXISTING ITEMS TO REMAIN FROM CONSTRUCTION OPERATIONS SO AS TO NOT CAUSE DAMAGE.
- G4. ALL AREAS DISTURBED OR DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE PATCHED, REPAIRED, AND FINISHED BACK TO EXISTING CONDITION.
- G5. CONTRACTOR TO COORDINATE SITE ACCESS, BUILDING ACCESS, ETC. WITH OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G6. DISPOSE OF ALL ITEMS OFF SITE PER LOCAL BUILDING AND SAFETY ORDINANCES. ANY ITEM REQUESTED BY THE CITY OF PLYMOUTH TO BE SALVAGE AND SHALL BE RETURNED TO THE OWNER.
- G7. REFER TO ELEVATION REMOVAL SHEET(S) FOR FURTHER INFORMATION / CLARIFICATION OF ITEMS TO BE REMOVED.
- G8. REFER TO ROOF REMOVALS PLAN FOR FURTHER INFORMATION / CLARIFICATION OF ITEMS TO BE REMOVED.
- G9. INTENT IS FOR ALL EXISTING DAMAGED LIMESTONE PIECES TO BE REMOVED AND REPLACED. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
- G10. INTENT IS FOR ALL EXISTING LIMESTONE JOINTS TO BE TUCKPOINTED FOR A LIKE NEW APPEARANCE. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND DETERMINE QUANTITY OF JOINT (LF) TO BE TUCKPOINTED.
- G11. INTENT IS FOR ALL GRANITE CRYPT AND NICHE FRONTS FASTENING SYSTEMS TO BE REMOVED AND REPLACED WITH NEW EXPOSED FASTENER TYPE.

REMOVAL NOTES:

- R1. EXISTING CONCRETE COUCH CRYPTS, FOUNDATIONS, SLAB ON GRADE, ECT. COMPLETE.
- R2. EXISTING CONCRETE CRYPTS - REFER TO ELEVATION REMOVALS FOR FURTHER INFORMATION.
- R3. EXISTING GRANITE NICHE FRONT AND CONCEALED FASTENING SYSTEM. SALVAGE GRANITE FOR NEW EXPOSED FASTENING SYSTEM. CONTRACTOR TO NOTE GRANITE NICHE FRONT COVERS FOUR (4) NICHES.
- R4. EXISTING GRANITE CRYPT FRONT AND CONCEALED FASTENING SYSTEM. SALVAGE GRANITE FOR NEW EXPOSED FASTENING SYSTEM.
- R5. EXISTING GRANITE CRYPT FRONT AND CONCEALED FASTENING SYSTEM COMPLETE. CONTRACTOR TO SALVAGE GRANITE AND RELOCATE / INSTALL IN PLACES WHERE MISSING, UTILIZING NEW EXPOSED FASTENING SYSTEM.
- R6. EXISTING PRECAST CONCRETE SILL.
- R7. EXISTING DAMAGED LIMESTONE FOR REPLACEMENT WITH NEW.
- R8. EXISTING LIMESTONE / MASONRY WALL, PRECAST CONCRETE SILL, ETC. COMPLETE.
- R9. EXISTING FASTENER LAG SHIELD IN ORDER TO PROPERLY TUCKPOINT / FILL HOLE IN LIMESTONE (AT REMOVED GATES) - C.F.V.
- R10. EXISTING CARPET AS REQUIRED FOR NEW GLASS-FRONT NICHES.
- R11. ---
- R12. EXISTING CONCRETE SIDEWALKS REQUIRED FOR NEW WORK.

CONTRACTOR NOTE:
REFER TO ADJACENT GARDEN CRYPT AREA (UNIT B) FOR SIMILAR WORK NOTES.



1 Site Removals Plan
Scale: 1/8"=1'-0"

Design Development Review: 27 September 2024

Site Removals Plan



City of Plymouth
Riverside Cemetery
Columbarium & Mausoleum Improvements

Project No. 3024

A1.10



GENERAL NOTES:

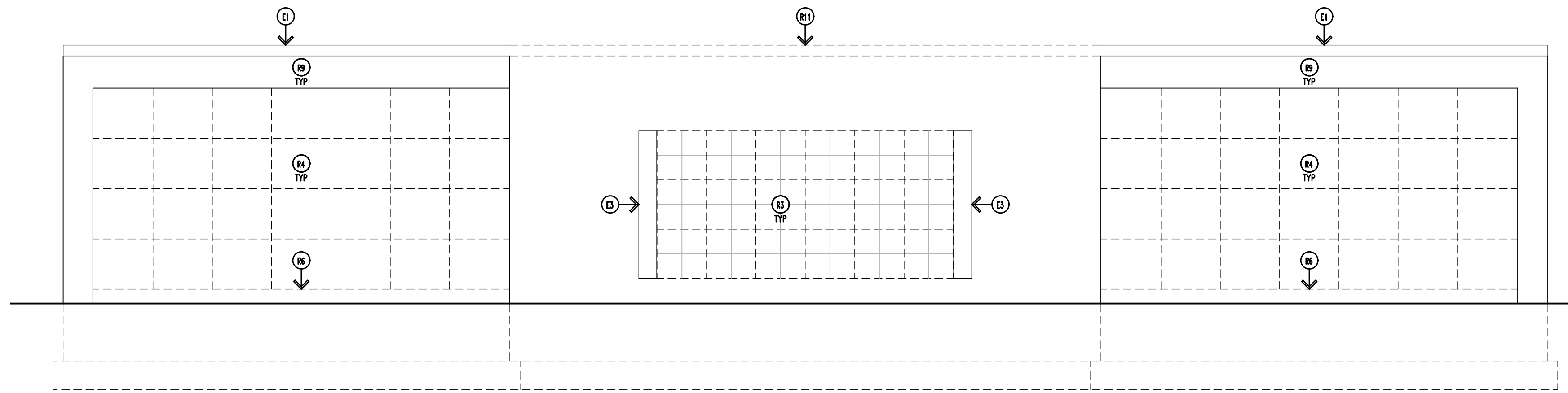
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REMOVAL NOTES:

- R1. ---
- R2. EXISTING CONCRETE CRYPT - REFER TO SITE REMOVALS PLAN FOR FURTHER INFORMATION.
- R3. EXISTING GRANITE NICHE FRONT AND CONCEALED FASTENING SYSTEM. SALVAGE GRANITE FOR NEW EXPOSED FASTENING SYSTEM. CONTRACTOR TO NOTE GRANITE NICHE FRONT COVERS FOUR (4) NICHES.
- R4. EXISTING GRANITE CRYPT FRONT AND CONCEALED FASTENING SYSTEM. SALVAGE GRANITE FOR NEW EXPOSED FASTENING SYSTEM.
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- R6. EXISTING PRECAST CONCRETE SILL.
- R7. ---
- R8. EXISTING LIMESTONE / MASONRY WALL, PRECAST CONCRETE SILL, ETC. COMPLETE.
- R9. EXISTING LIMESTONE JOINTS TO BE TUCKPOINTED FOR A LIKE-NEW APPEARANCE.
- R10. EXISTING MASONRY FOUNDATION WALL AND CONCRETE SPREAD FOOTING.
- R11. EXISTING LIMESTONE COPING.

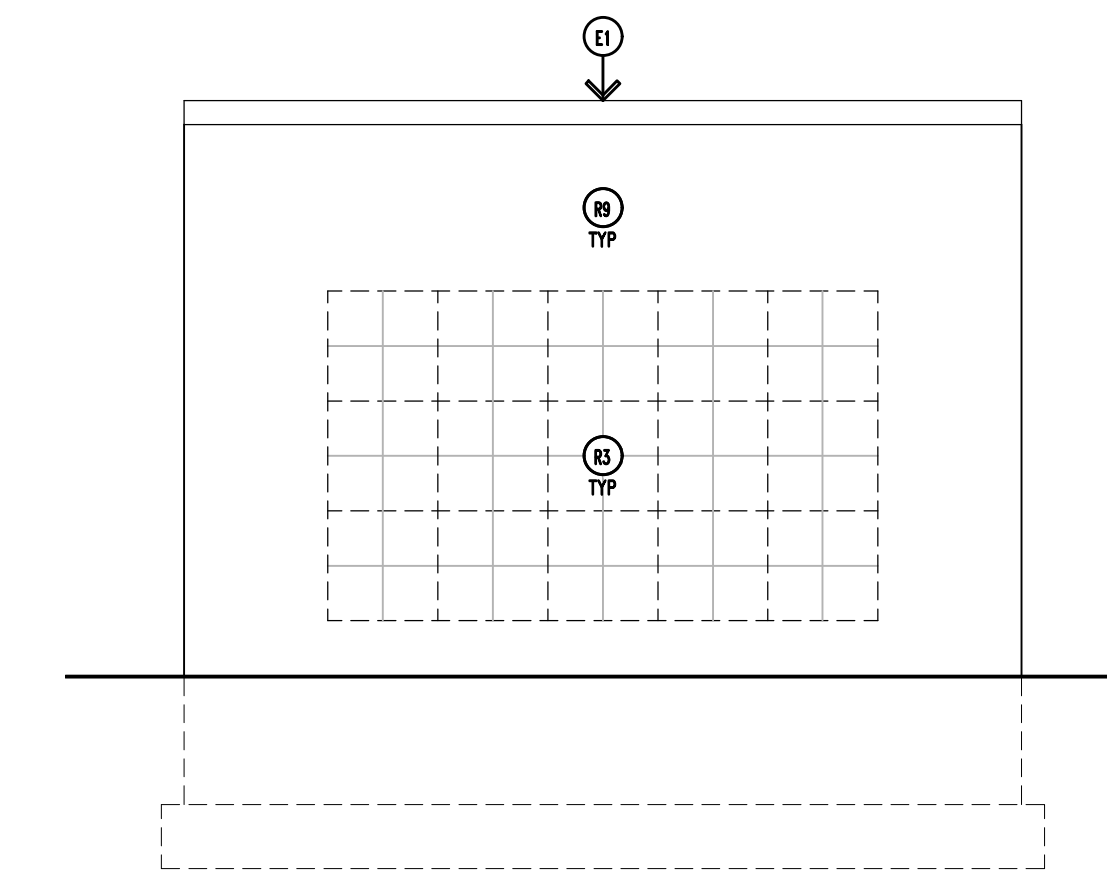
EXISTING TO REMAIN:

- E1. LIMESTONE COPING (TO BE COVERED WITH NEW PREFINISHED METAL).
- E2. FOUNDATION WALL BEYOND.
- E3. VENTING LOUVER.



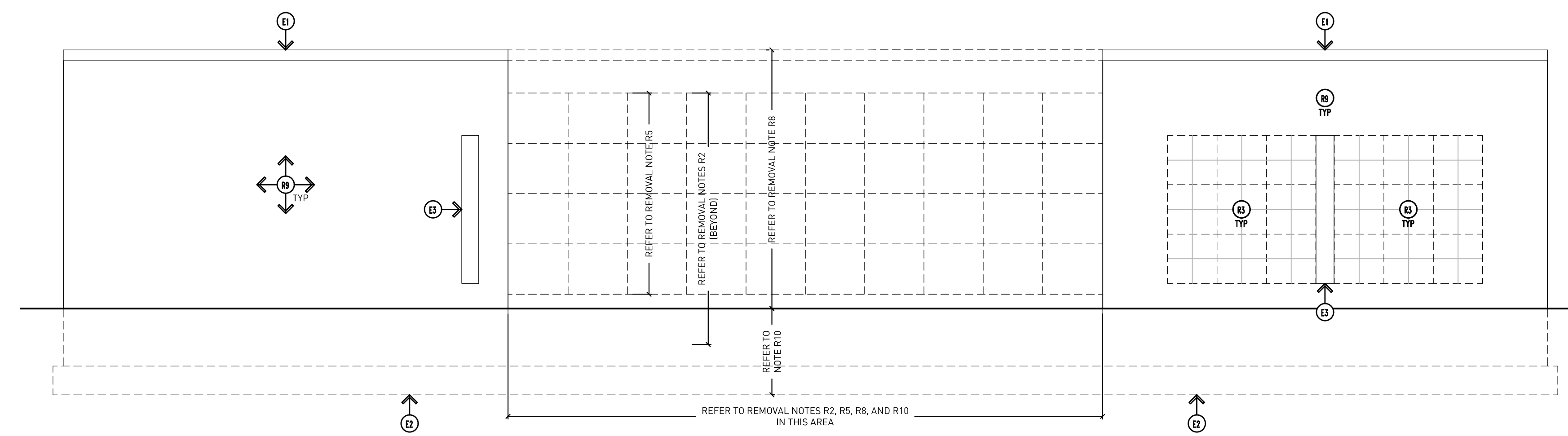
6 Unit A West Elevation Removals
Scale: 1/4"=1'-0"

NOTE: UNIT D EAST ELEVATION SIMILAR



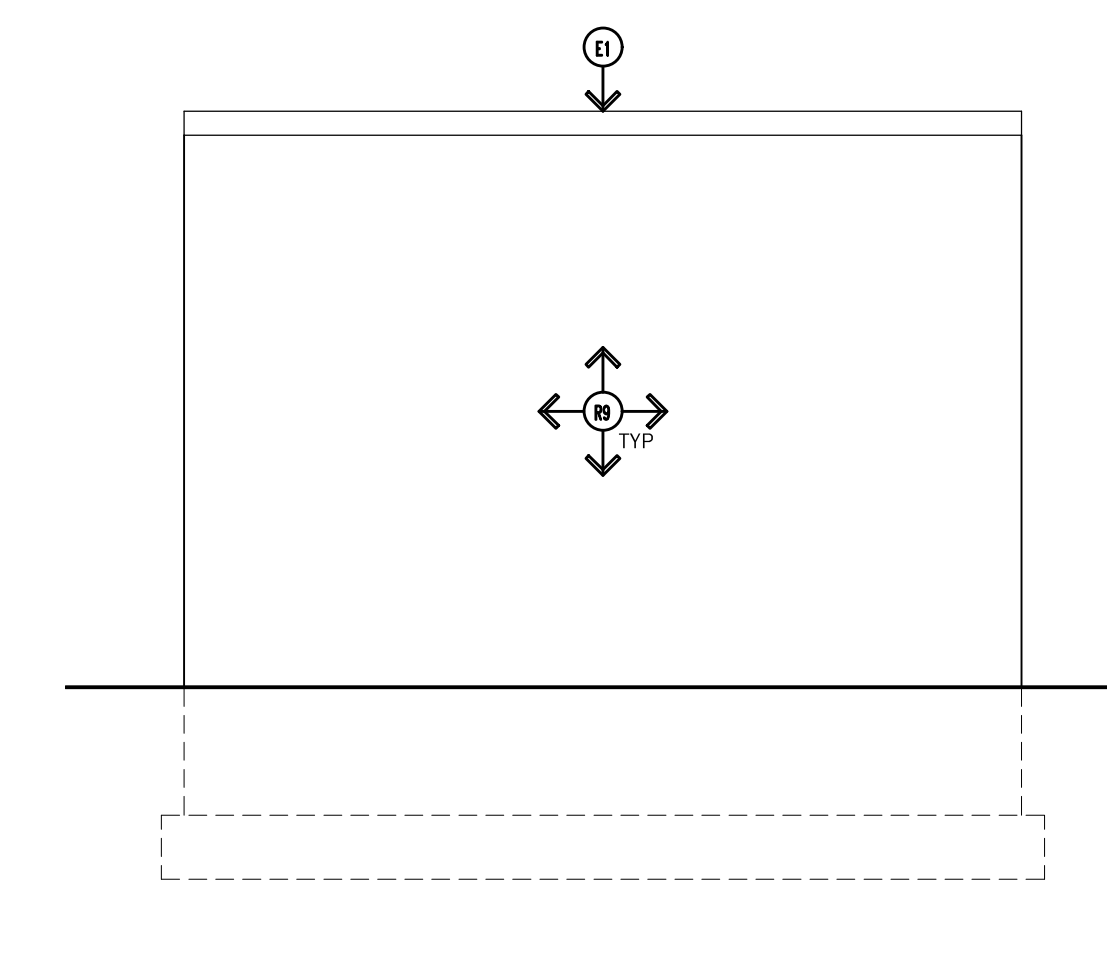
5 Unit A South Elevation Removals
Scale: 1/4"=1'-0"

NOTE: UNIT D SOUTH ELEVATION SIMILAR



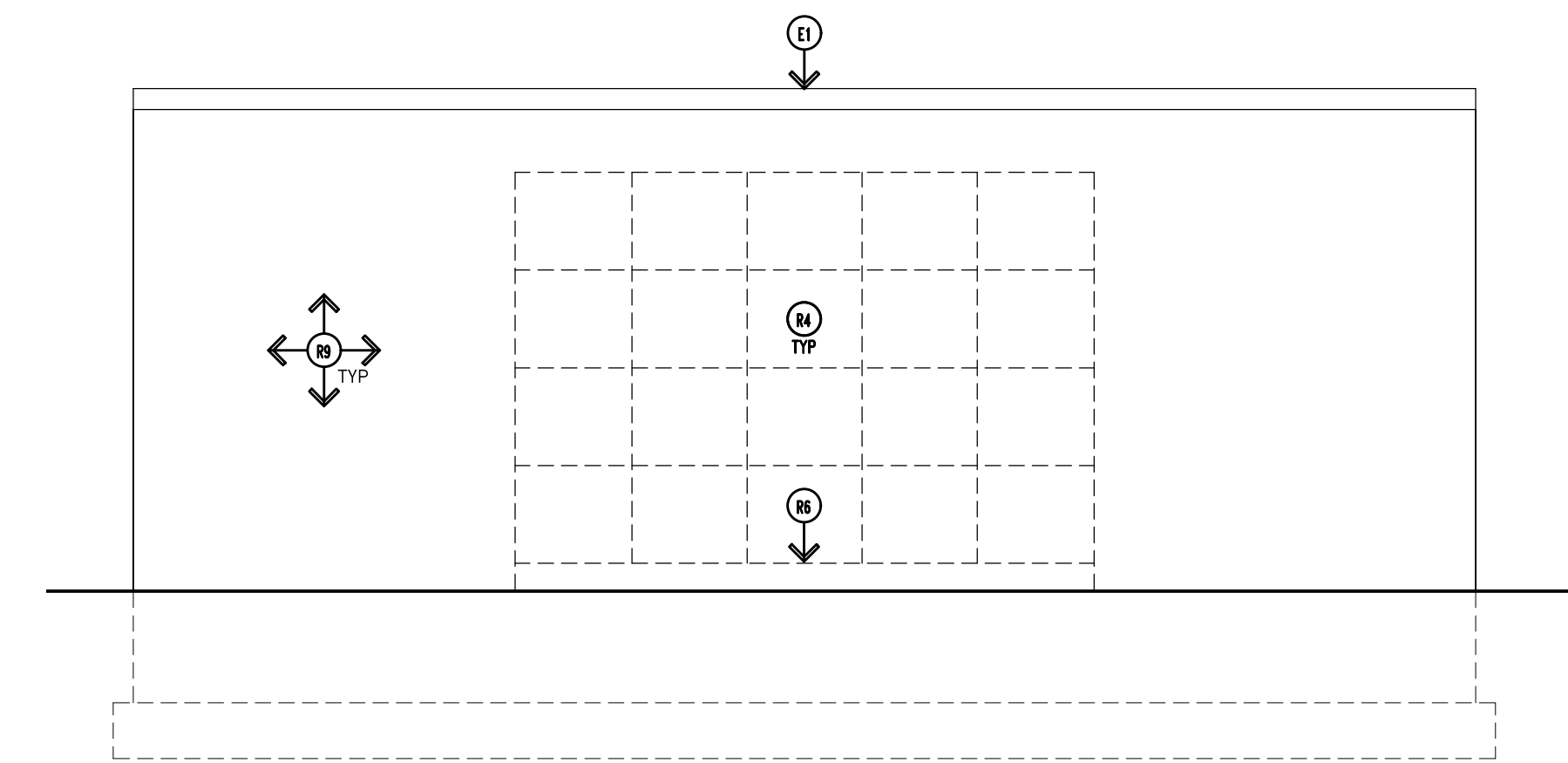
4 Unit A East Elevation Removals
Scale: 1/4"=1'-0"

NOTE: UNIT D WEST ELEVATION (MIRRORED) SIMILAR



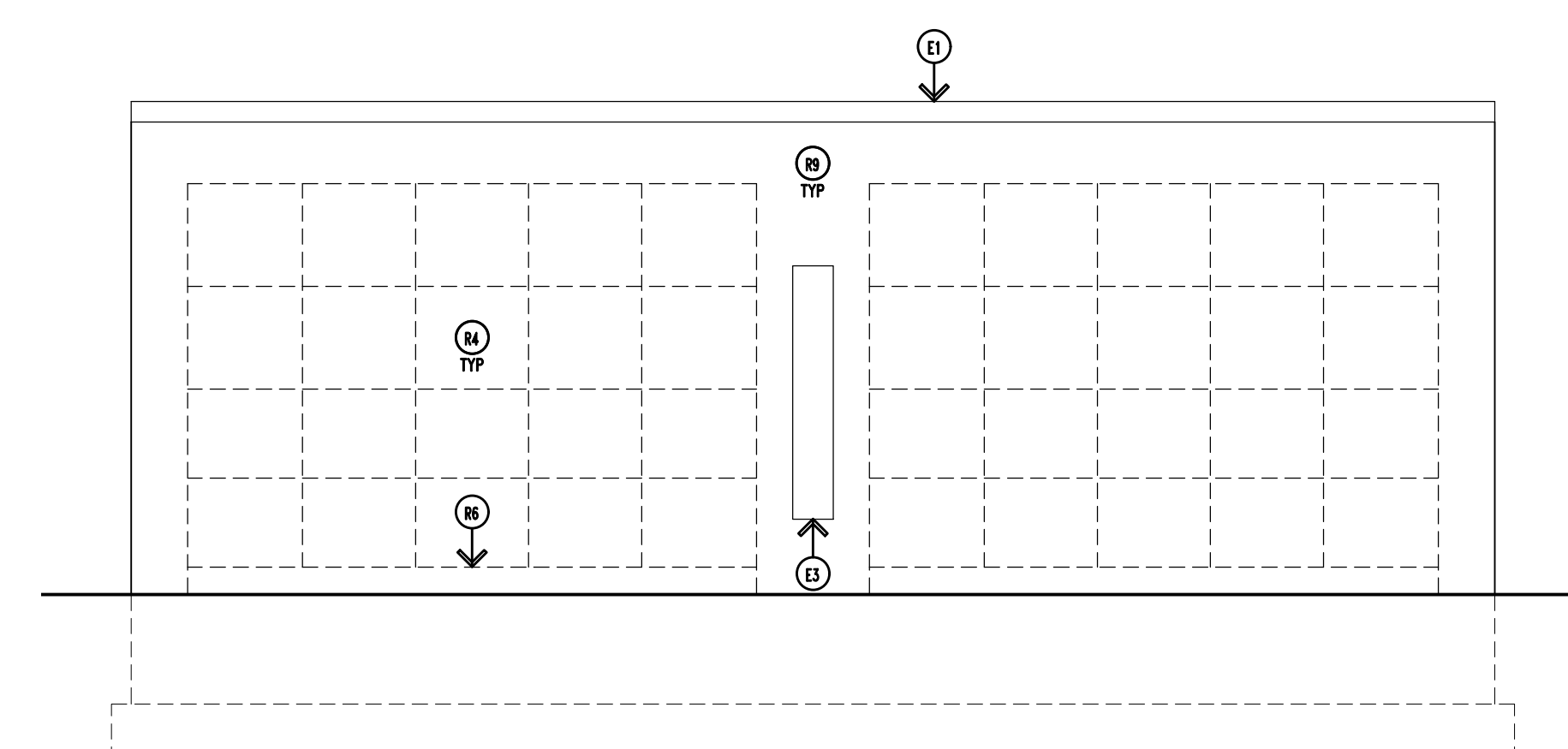
3 Unit A North Elevation Removals
Scale: 1/4"=1'-0"

NOTE: UNIT D NORTH ELEVATION SIMILAR



2 Unit B East Elevation Removals
Scale: 1/4"=1'-0"

NOTE: UNIT B WEST ELEVATION AND UNIT C EAST & WEST ELEVATIONS SIMILAR



1 Unit B North Elevation Removals
Scale: 1/4"=1'-0"

NOTE: UNIT B SOUTH ELEVATION AND UNIT C NORTH & SOUTH ELEVATIONS SIMILAR

Design Development Review: 27 September 2024

Elevation Removals



City of Plymouth
Riverside Cemetery
Columbarium & Mausoleum Improvements

Project No. 3024

A1.11

GENERAL NOTES:

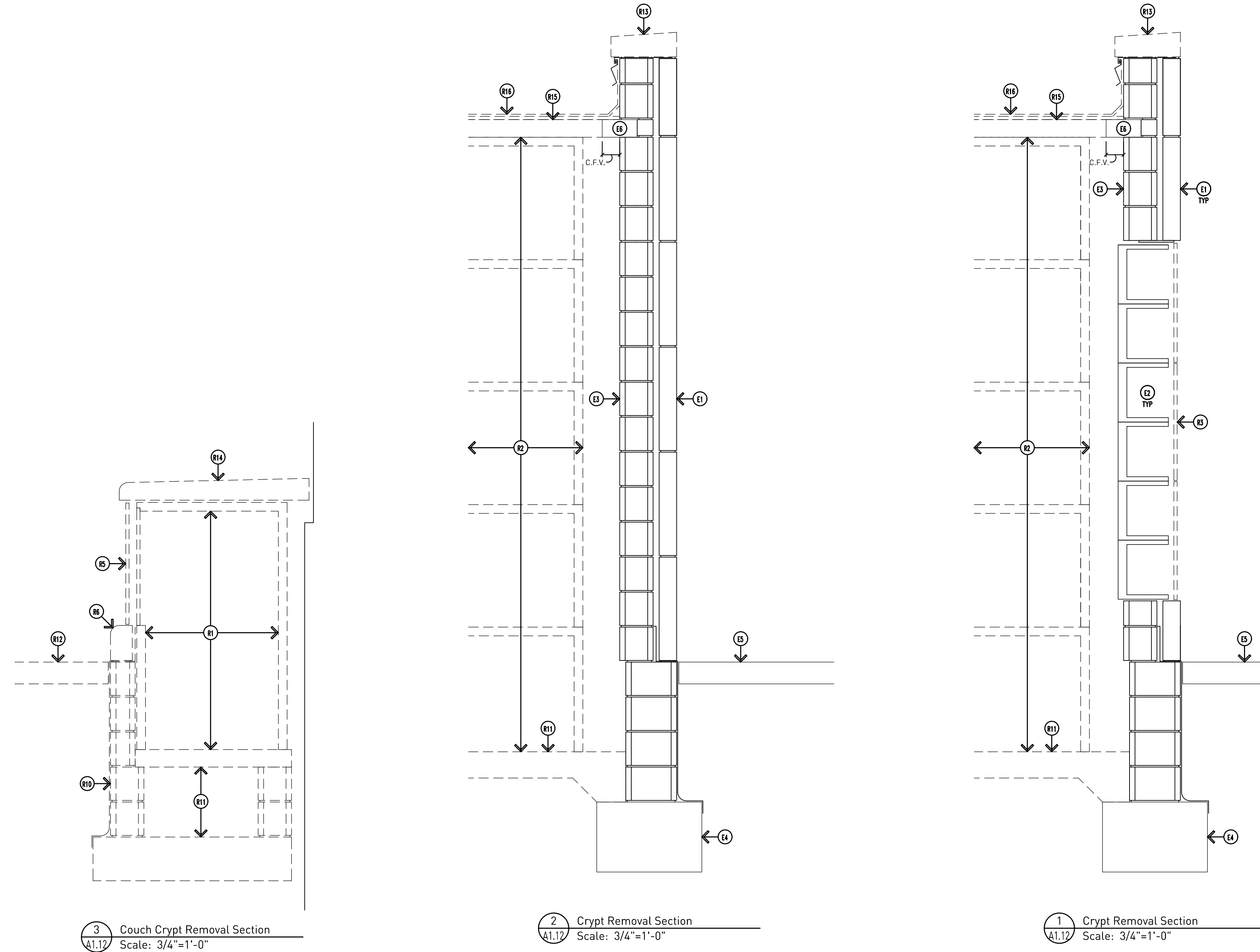
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REMOVAL NOTES:

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- R2. EXISTING CONCRETE CRYPT - REFER TO SITE REMOVALS PLAN AND ELEVATIONS FOR FURTHER INFORMATION.
- R3. EXISTING GRANITE NICHE FRONT AND CONCEALED FASTENING SYSTEM. SALVAGE GRANITE FOR NEW EXPOSED FASTENING SYSTEM. CONTRACTOR TO NOTE GRANITE NICHE FRONT COVERS FOUR (4) NICHE.
- R4. ---
- R5. EXISTING GRANITE CRYPT FRONT AND CONCEALED FASTENING SYSTEM COMPLETE. CONTRACTOR TO SALVAGE GRANITE AND RELOCATE / INSTALL IN PLACES WHERE MISSING, UTILIZING NEW EXPOSED FASTENING SYSTEM.
- R6. EXISTING PRECAST CONCRETE SILL.
- R7. ---
- R8. ---
- R9. ---
- R10. EXISTING MASONRY FOUNDATION WALL - ECU (C.F.V.)
- R11. EXISTING REINFORCED CONCRETE FOUNDATION / SLAB.
- R12. EXISTING CONCRETE SIDEWALK AS REQUIRED FOR NEW WORK.
- R13. EXISTING LIMESTONE COPING.
- R14. EXISTING PRECAST CONCRETE TOP.
- R15. EXISTING CONCRETE ROOF DECK.
- R16. EXISTING ROOFING SYSTEM COMPLETE - INCLUDING COUNTERFLASHING, BASE FLASHING, INSULATION BOARD, ETC.

EXISTING TO REMAIN:

- E1. LIMESTONE VENEER - PREPARE JOINTS FOR TUCKPOINTING (REFER TO ELEVATION REMOVALS)
- E2. NICHE.
- E3. MASONRY WALL.
- E4. CONCRETE FOUNDATION - ECU.
- E5. CONCRETE SIDEWALK.
- E6. CONCRETE ROOF STRUCTURE.



Design Development Review: 27 September 2024

Wall Section Removals



City of Plymouth
Riverside Cemetery
Columbarium & Mausoleum Improvements

Project No. 3024

A1.12

GENERAL NOTES:

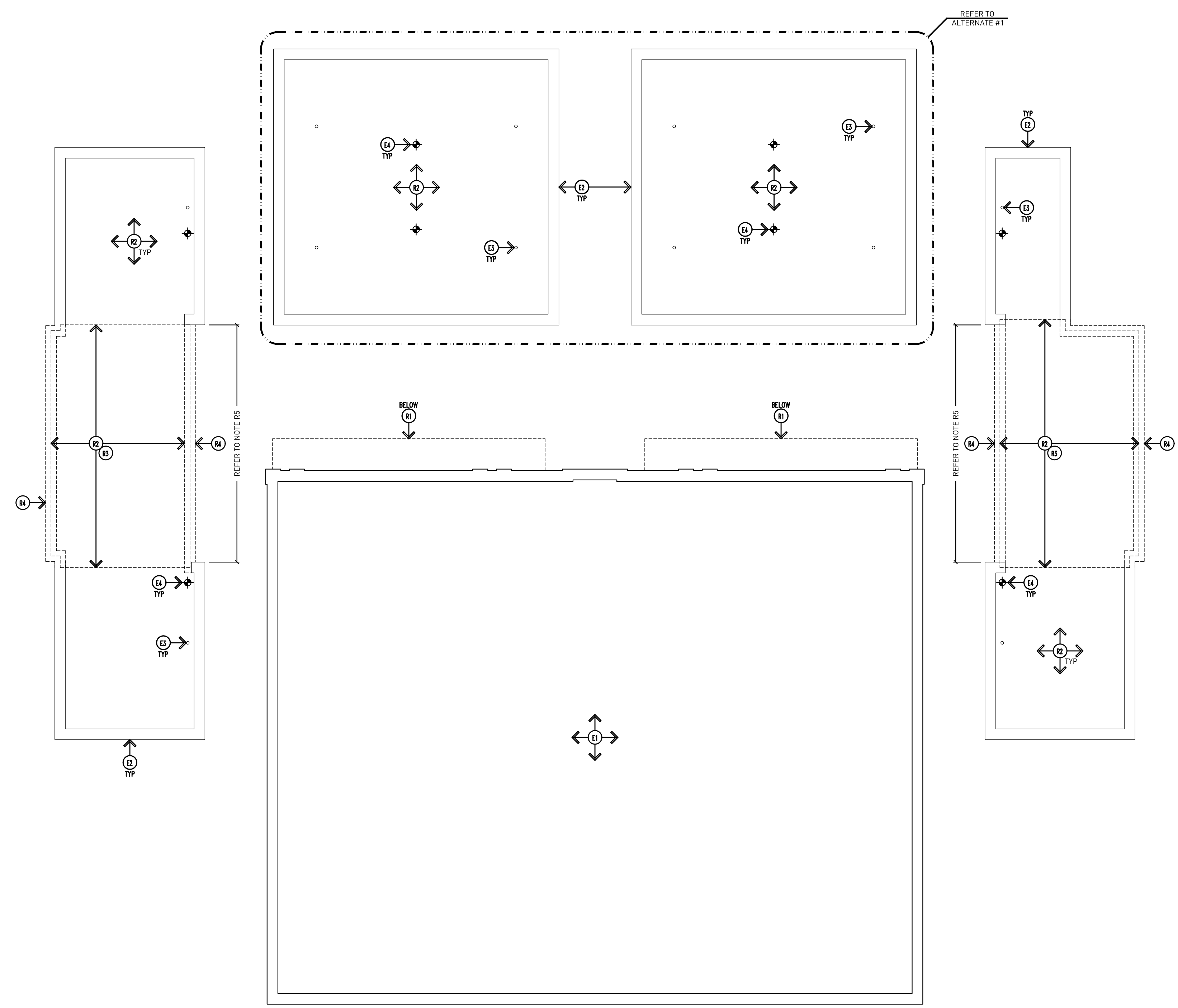
- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. FIELD VERIFY ALL DIMENSIONS, ROOF SUMP LOCATIONS, EQUIPMENT CURBS, ETC. PRIOR TO COMMENCING WITH CONSTRUCTION OPERATIONS.
- G3. THE ROOFING SHALL BE A TWENTY-FIVE (25) YEAR MANUF. ROOFING SYSTEM WARRANTY ALONG WITH A FIVE (5) YEAR LABOR WARRANTY. EDGE METAL TO BE INCLUDED IN FULL SYSTEM WARRANTY
- G4. REFER TO ROOF DETAILS AND MANUFACTURER'S STANDARD DETAILS FOR ADDITIONAL INFORMATION.
- G5. EXISTING ROOF DECK THICKNESS AND SLOPE IS UNKNOWN, CONTRACTOR TO VERIFY AFTER THE ROOFING HAS BEEN REMOVED AND REPORT ANY DISCREPANCIES THAT MAY BE DISCOVERED TO THE ARCHITECT / ROOFING SYSTEM REPRESENTATIVE FOR FURTHER DIRECTION.
- G6. REMOVE EXISTING ROOFING SYSTEMS COMPETE DOWN TO EXISTING ROOF DECK.
- G7. CONTRACTOR TO VISIT THE SITE AND VERIFY ALL MEASUREMENTS, CONDITIONS, ETC. THAT MAY AFFECT THE SPECIFIED WARRANTY.
- G8. REPLACEMENT OF THE ROOF SHALL BE DONE SO-AS TO NOT REMOVE ANY MORE OF THE ROOFING THAN CAN BE REPLACED IN A GIVEN DAY. AT NO TIME SHALL THE ROOF BE LEFT OPEN AND SUBJECT TO WEATHER CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE THAT OCCURS.
- G9. CONTRACTOR TO ASSURE THAT ALL ROOF DRAINS ARE IN PROPER WORKING CONDITION PRIOR TO COMPLETING THE RE-ROOFING OPERATIONS. REPORT ANY DISCREPANCIES TO THE OWNER / ARCHITECT FOR FURTHER DIRECTION.
- G10. AN ON-SITE PRE-CONSTRUCTION MEETING WITH THE ARCHITECT, ROOFING SYSTEM REPRESENTATIVE, OWNER, AND CONTRACTOR SHALL BE CONDUCTED PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO ORDERING OF MATERIAL. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION.

REMOVAL NOTES:

- R1. EXISTING PRECAST CONCRETE ROOF SLAB.
- R2. EXISTING ROOFING SYSTEM COMPLETE INCLUDING COUNTER FLASHINGS, BASE FLASHINGS, ROOFING, INSULATION BOARD, ETC.
- R3. EXISTING ROOF STRUCTURE (ASSUMED 4" THICK BASED ON EXISTING AVAILABLE DRAWINGS). CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS.
- R4. EXISTING LIMESTONE COPING.
- R5. EXISTING MASONRY WALL COMPLETE INCLUDING FOUNDATION WALL BELOW GRADE AS REQUIRED (REFER TO REMOVALS DRAWINGS FOR FURTHER INFORMATION).

EXISTING TO REMAIN:

- E1. MAUSOLEUM ROOF (NO WORK).
- E2. LIMESTONE COPING.
- E3. VENT PIPE-E.C.U. (C.F.V.)
- E4. ROOF DRAIN-E.C.U. (C.F.V.)



1 Roof Removals Plan
 A1.50 Scale: 1/8"=1'-0"

Design Development Review: 27 September 2024



City of Plymouth
 Riverside Cemetery
 Columbarium & Mausoleum Improvements

Project No. 3024 A1.50

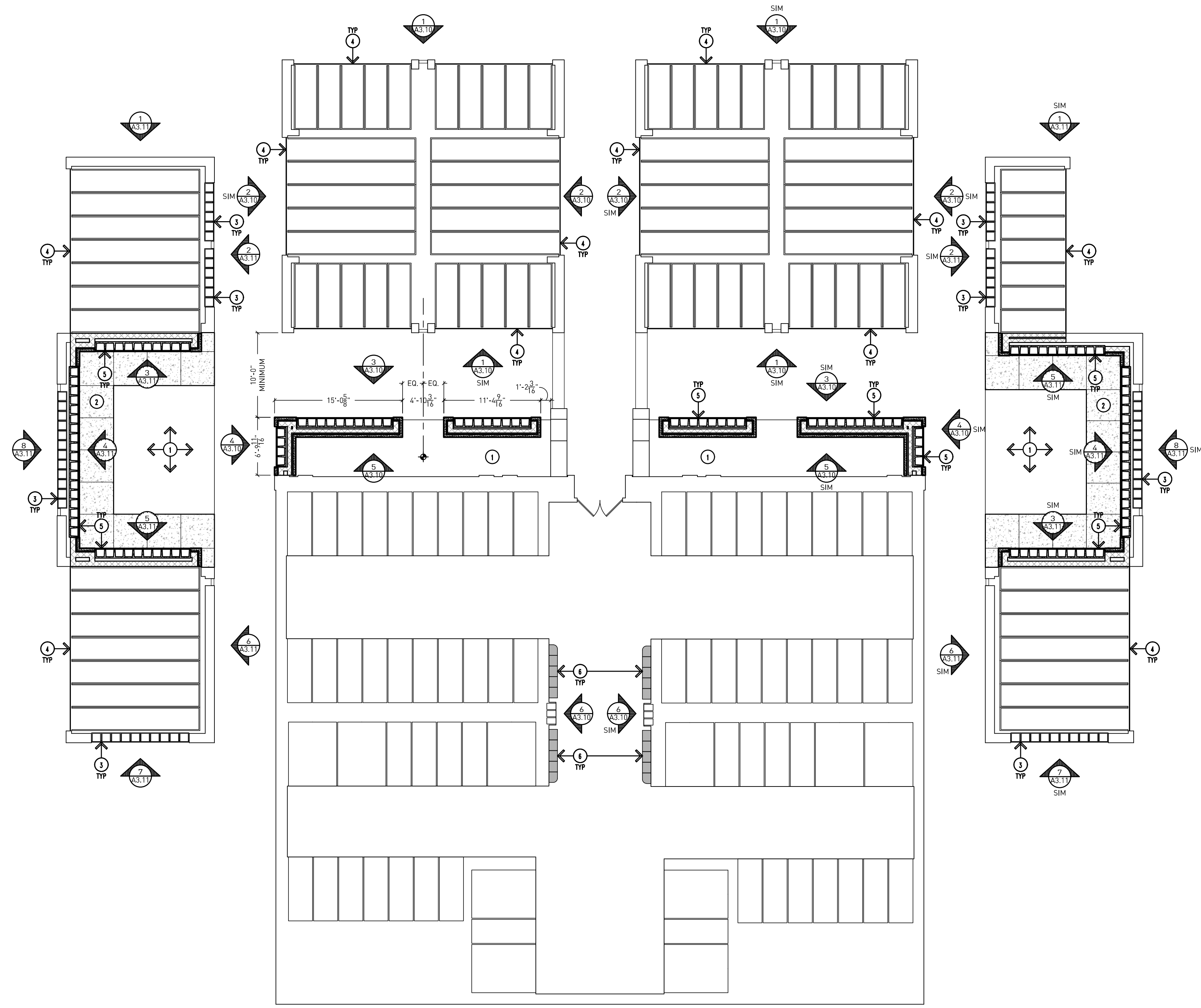


GENERAL NOTES:

- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. FIELD VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ON WORK.
- G3. PROTECT ALL EXISTING ITEMS TO REMAIN FROM CONSTRUCTION OPERATIONS SO AS TO NOT CAUSE DAMAGE.
- G4. ALL AREAS DISTURBED OR DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE PATCHED, REPAIRED, AND FINISHED BACK TO EXISTING CONDITION.
- G5. CONTRACTOR TO COORDINATE SITE ACCESS, BUILDING ACCESS, ETC. WITH OWNERS REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G6. DISPOSE OF ALL ITEMS OFF SITE PER LOCAL BUILDING AND SAFETY ORDINANCES. ANY ITEM REQUESTED BY THE CITY OF PLYMOUTH TO BE SALVAGE AND SHALL BE RETURNED TO THE OWNER.
- G7. REFER TO ELEVATION SHEET(S) FOR FURTHER INFORMATION / CLARIFICATION.
- G8. REFER TO ROOF PLAN FOR FURTHER INFORMATION / CLARIFICATION.
- G9. INTENT IS FOR ALL EXISTING DAMAGED LIMESTONE PIECES TO BE REMOVED AND REPLACED. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
- G10. INTENT IS FOR ALL EXISTING LIMESTONE JOINTS TO BE TUCKPOINTED FOR A LIKE NEW APPEARANCE. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND DETERMINE QUANTITY OF JOINT (LF) TO BE TUCKPOINTED.
- G11. INTENT IS FOR ALL GRANITE CRYPT AND NICHE FRONTS FASTENING SYSTEMS TO BE REMOVED AND REPLACED WITH NEW EXPOSED FASTENER TYPE.

DRAWING NOTES:

- 1. LANDSCAPING AREA-REFER TO LANDSCAPE DRAWINGS FOR FURTHER INFORMATION.
- 2. 4" CONCRETE SIDEWALK OVER MINIMUM 4" COMPACTED SAND FILL. PROVIDE 2" ISOLATION JOINT WITH SEALANT ALONG LIMESTONE WALL / CONCRETE SILL.
- 3. GRANITE NICHE FRONT WITH NEW EXPOSED FASTENING SYSTEM AT EXISTING NICHE. CONTRACTOR TO NOTE GRANITE NICHE FRONT COVERS FOUR (4) NICHE.
- 4. GRANITE CRYPT FRONT WITH NEW EXPOSED FASTENING SYSTEM AT EXISTING CRYPTS. CONTRACTOR TO USE SALVAGED GRANITE WHERE MISSING.
- 5. GRANITE NICHE FRONT WITH EXPOSED FASTENING SYSTEM TO MATCH EXISTING NICHE FRONTS EXACTLY, CONTRACTOR TO NOTE GRANITE NICHE FRONT COVERS FOUR (4) NICHE, AND IS SCORED TO IDENTIFY EACH NICHE AREA.
- 6. GLASS-FRONT NICHE WITH ROUNDED END NICHE-REFER TO ELEVATIONS FOR FURTHER INFORMATION.



1 Site Plan
 A2.10 Scale: 1/8"=1'-0"

Design Development Review: 27 September 2024

Site Plan



City of Plymouth
 Riverside Cemetery
 Columbarium & Masoleum Improvements

Project No. 3024

A2.10

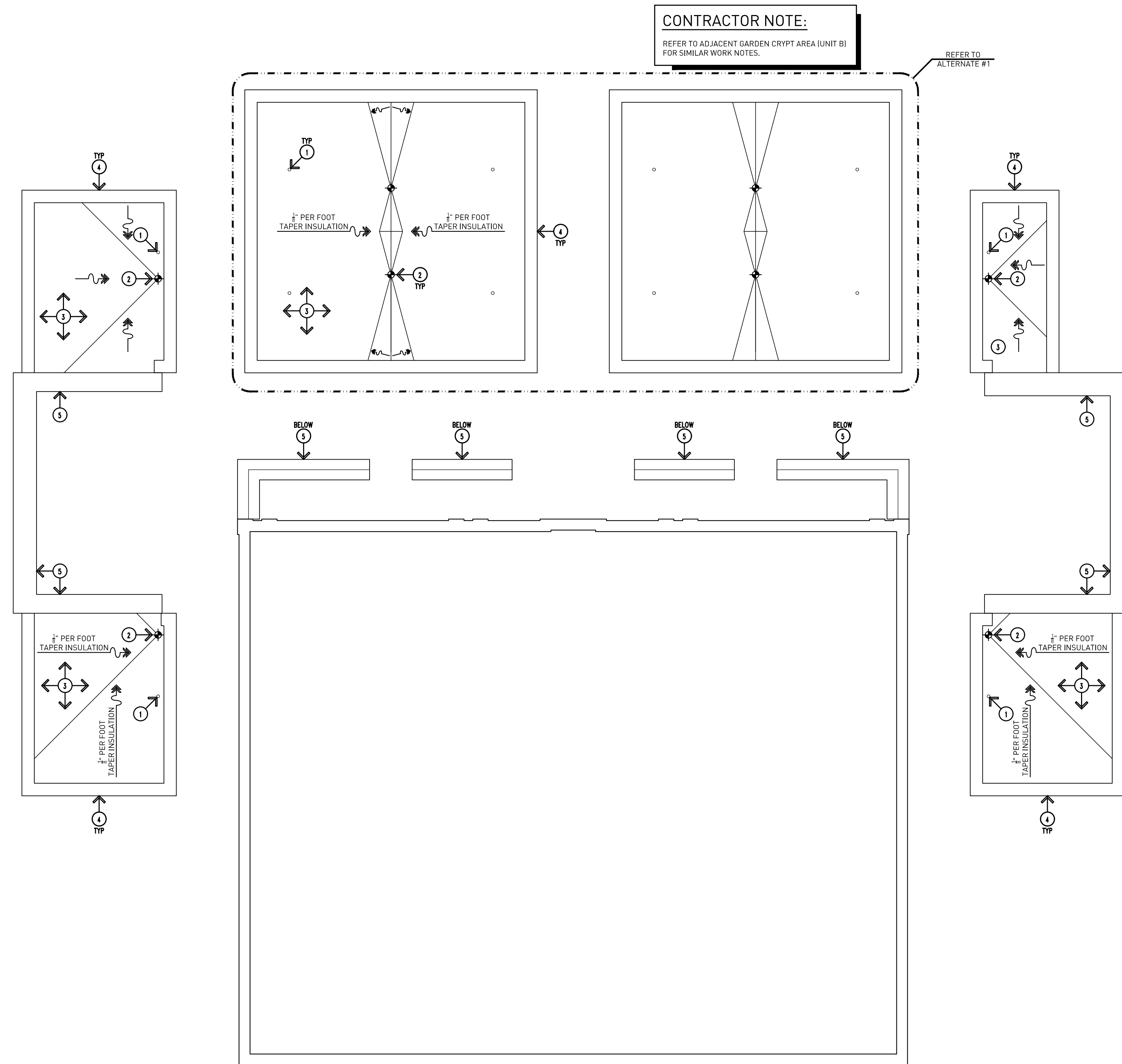


GENERAL NOTES:

- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. FIELD VERIFY ALL DIMENSIONS, ROOF SUMP LOCATIONS, EQUIPMENT CURBS, ETC. PRIOR TO COMMENCING WITH CONSTRUCTION OPERATIONS.
- G3. THE ROOFING SHALL BE A TWENTY (20) YEAR MANUF. ROOFING SYSTEM WARRANTY ALONG WITH A FIVE (5) YEAR LABOR WARRANTY. EDGE METAL TO BE INCLUDED IN FULL SYSTEM WARRANTY.
- G4. REFER TO ROOF DETAILS AND MANUFACTURER'S STANDARD DETAILS FOR ADDITIONAL INFORMATION.
- G5. EXISTING ROOF DECK THICKNESS AND SLOPE IS UNKNOWN, CONTRACTOR TO VERIFY AFTER THE ROOFING HAS BEEN REMOVED AND REPORT ANY DISCREPANCIES THAT MAY BE DISCOVERED TO THE ARCHITECT / ROOFING SYSTEM REPRESENTATIVE FOR FURTHER DIRECTION.
- G6. EXISTING EQUIPMENT, PENETRATIONS, ROOF DRAINS, CURBS, ETC. IDENTIFIED SHALL BE FIELD VERIFIED BY THE CONTRACTOR WHOM WILL BE RESPONSIBLE FOR THE QUANTITIES, CONDITIONS, HEIGHTS, ETC.
- G7. NEW EDGE FLASHING (PARAPET) MATERIAL IS TO BE FIELD VERIFIED WITH EXISTING WALL CONDITIONS.
- G8. CONTRACTOR TO VISIT THE SITE AND VERIFY ALL MEASUREMENTS, CONDITIONS, ETC. THAT MAY AFFECT THE SPECIFIED WARRANTY.
- G9. REPLACEMENT OF THE ROOF SHALL BE DONE SO-AS TO NOT REMOVE ANY MORE OF THE ROOFING THAN CAN BE REPLACED IN A GIVEN DAY. AT NO TIME SHALL THE ROOF BE LEFT OPEN AND SUBJECT TO WEATHER CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE THAT OCCURS.
- G10. CONTRACTOR TO ASSURE THAT ALL ROOF DRAINS ARE IN PROPER WORKING CONDITION PRIOR TO COMPLETING THE RE-ROOFING OPERATIONS. REPORT ANY DISCREPANCIES TO THE OWNER / ARCHITECT FOR FURTHER DIRECTION.
- G11. AN ON-SITE PRE-CONSTRUCTION MEETING WITH THE ARCHITECT, ROOFING SYSTEM REPRESENTATIVE, OWNER, AND CONTRACTOR SHALL BE CONDUCTED PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO ORDERING OF MATERIAL. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION.
- G12. DRAINAGE SADDLES TO SLOPE 1/4" PER FOOT UNLESS NOTED OTHERWISE. CONTRACTOR TO ASSURE POSITIVE DRAINAGE TO ROOF DRAINS / GUTTER EDGE.

DRAWING NOTES:

1. PLUMBING VENT BOOT FLASHING (AND EXTENSION WHERE REQUIRED - C.F.V.)
2. EXISTING ROOF SUMP - CONTRACTOR TO ASSURE POSITIVE DRAINAGE TO ALL LOCATIONS.
3. ROOFING SYSTEM COMPOSITION:
 - 60-MIL FULLY ADHERED EPDM ROOFING MEMBRANE (WITH 20-YEAR DETAILS) CARRIED UP AND OVER COPING
 - ADHESIVE APPLIED TAPER INSULATION 1/2" TAPER START
 - EXISTING CONCRETE ROOF DECK
4. PREFINISHED METAL CAP FLASHING OVER EXISTING LIMESTONE COPING WITH STANDING SEAM END JOINTS. PROVIDE CONTINUOUS CLEATS ON BOTH SIDES. COPING AT UNITS B & C TO BE DONE REGARDLESS IF ALTERNATE #1 COST IS ACCEPTED.
5. PREFINISHED METAL CAP FLASHING OVER SLOPING PRESERVATIVE WOOD BLOCKING (REFER TO SECTIONS FOR FURTHER INFORMATION). PROVIDE CONTINUOUS CLEATS ON BOTH SIDES.



CONTRACTOR NOTE:
REFER TO ADJACENT GARDEN CRYPT AREA (UNIT B) FOR SIMILAR WORK NOTES.

REFER TO ALTERNATE #1

1 Roof Plan
A2.50 Scale: 1/8"=1'-0"

Design Development Review: 27 September 2024

Roof Plan



City of Plymouth
Riverside Cemetery
Columbarium & Mausoleum Improvements

Project No. 3024

A2.50

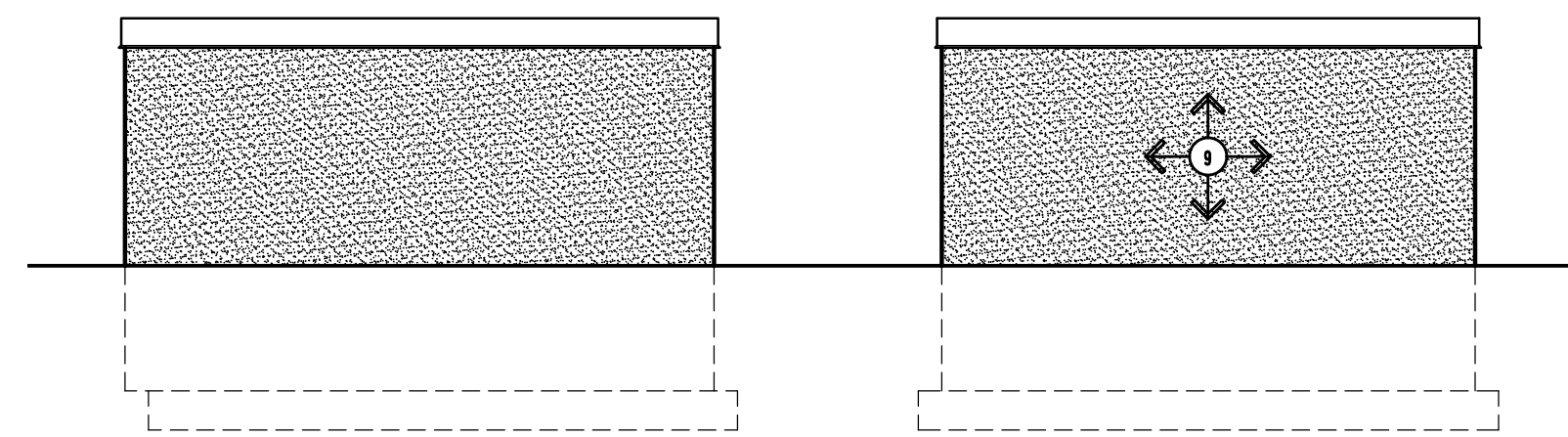
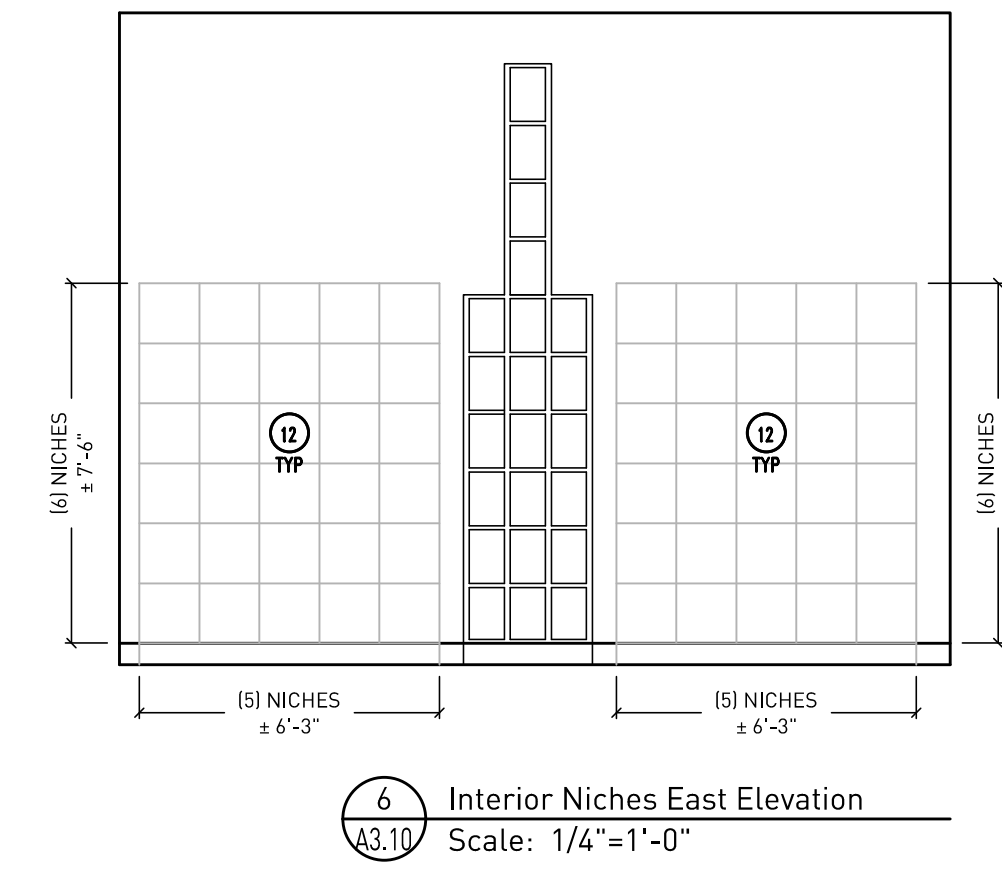


GENERAL NOTES:

- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING ON THE WORK.
- G3. PROTECT ALL EXISTING ITEMS TO REMAIN FROM CONSTRUCTION OPERATIONS SO AS TO NOT CAUSE DAMAGE.
- G4. ALL AREAS DISTURBED OR DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE PATCHED, REPAIRED, AND FINISHED BACK TO EXISTING CONDITION.
- G5. CONTRACTOR TO COORDINATE SITE ACCESS, CONSTRUCTION ACCESS, ETC. WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING ON THE WORK.
- G6. CONTRACTOR TO BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS INCLUDING BUT NOT LIMITED TO ROOF ACCESS, CRYPT CONSTRUCTION, ETC.
- G7. REFER TO ELEVATIONS SHEET FOR FURTHER INFORMATION / CLARIFICATION.
- G8. REFER TO ROOF PLAN FOR FURTHER INFORMATION / CLARIFICATION.
- G9. INTENT IS FOR ALL DAMAGED LIMESTONE PIECES TO BE REMOVED AND REPLACED. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
- G10. INTENT IS FOR ALL EXISTING LIMESTONE JOINTS TO BE TUCKPOINTED FOR A LIKE-NEW APPEARANCE. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND DETERMINE QUANTITY OF JOINTS (LF) TO BE TUCKPOINTED.
- G11. INTENT IS FOR ALL GRANITE CRYPT AND NICHE FRONTS FASTENING SYSTEM TO BE REPLACED WITH NEW EXPOSED FASTENER TYPE.
- G12. CONTRACTOR TO SALVAGE EXISTING GRANITE CRYPT FRONTS TO THE EXTENT POSSIBLE AND RELOCATE / INSTALL IN AREAS MISSING.
- G13. CONTRACTOR TO INSTALL HORIZONTAL JOINT REINFORCING IN NEW MASONRY WALL AT 16" O.C. VERTICALLY.
- G14. CONTRACTOR TO INSTALL 3/8" x 1 1/4" CLEAR WEEP VENT WITH INSECT SCREEN AT ALL NEW MASONRY WALLS AT 32" O.C. MAXIMUM.

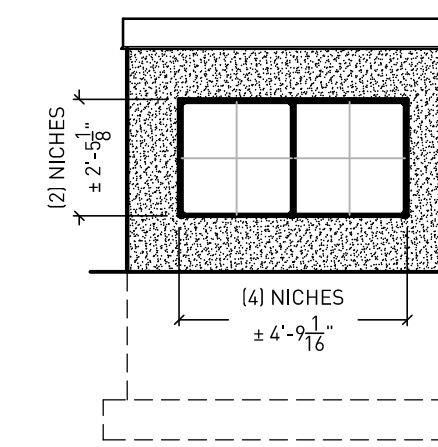
DRAWING NOTES:

- 1. REINSTALLED GRANITE CRYPT FRONT (OR SALVAGED GRANITE FRONTS) WITH NEW EXPOSED FASTENING SYSTEM.
- 2. PREFINISHED METAL CAP FLASHING WITH CONTINUOUS CLEAT ON BOTH SIDES. INTENT IS TO COVER EXISTING LIMESTONE COPING - CONTRACTOR TO FIELD VERIFY FACE HEIGHT REQUIRED (MIN. 6").
- 3. PRECAST CONCRETE SILL.
- 4. APPROXIMATE LINE OF CONCRETE ROOF DECK BEYOND.
- 5. ROOFING / INSULATION BEYOND - REFER TO ALTERNATE #--- FOR UNITS B AND C (UNITS A & D ARE BASE BID).
- 6. TUCKPOINT EXISTING LIMESTONE JOINTS FOR A LIKE NEW APPEARANCE.
- 7. INSTALL SEALANT AND FOAM BACKER ROD (AS REQUIRED TO SUIT CONDITIONS) AT EXISTING LOUVER JOINTS.
- 8. REINSTALLED GRANITE NICHE FRONT WITH NEW EXPOSED FASTENING SYSTEM. CONTRACTOR TO NOTE GRANITE NICHE FRONT COVERS FOR (4) NICHE.
- 9. LIMESTONE WALL PANELS WITH STAINLESS STEEL ANCHORS. PROVIDE 2 x 1 1/2" PLASTIC WEEP VENTS AT BASE OF WALL MAXIMUM 32" O.C.
- 10. PREFINISHED METAL CAP FLASHING WITH CONTINUOUS CLEAT ON BOTH SIDES.
- 11. GRANITE NICHE FRONT WITH EXPOSED FASTENING SYSTEM. CONTRACTOR TO NOTE GRANITE NICHE FRONT COVERS FOR (4) NICHE.
- 12. GLASS FRONT NICHE (ROUNDED END ON OUTSIDE ENDS OF EACH AREA).



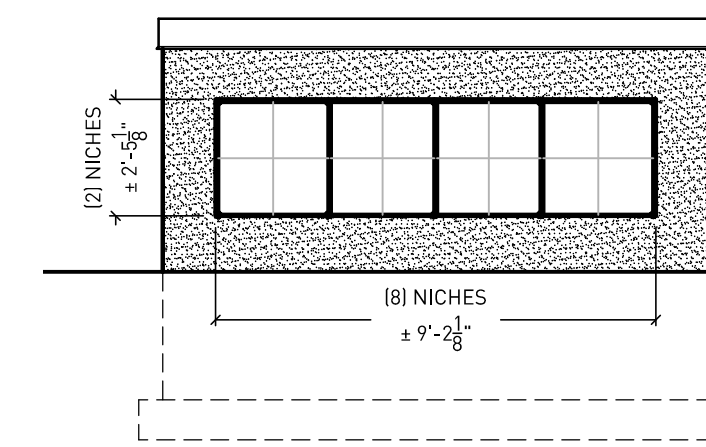
5 Low Niche Wall South Elevation
Scale: 1/4"=1'-0"

NOTE 1: LOW CRYPT WALL ON EAST SIDE (SOUTH ELEVATION) SIMILAR
NOTE 2: REFER TO 3/A3.10 FOR SIMILAR NOTES



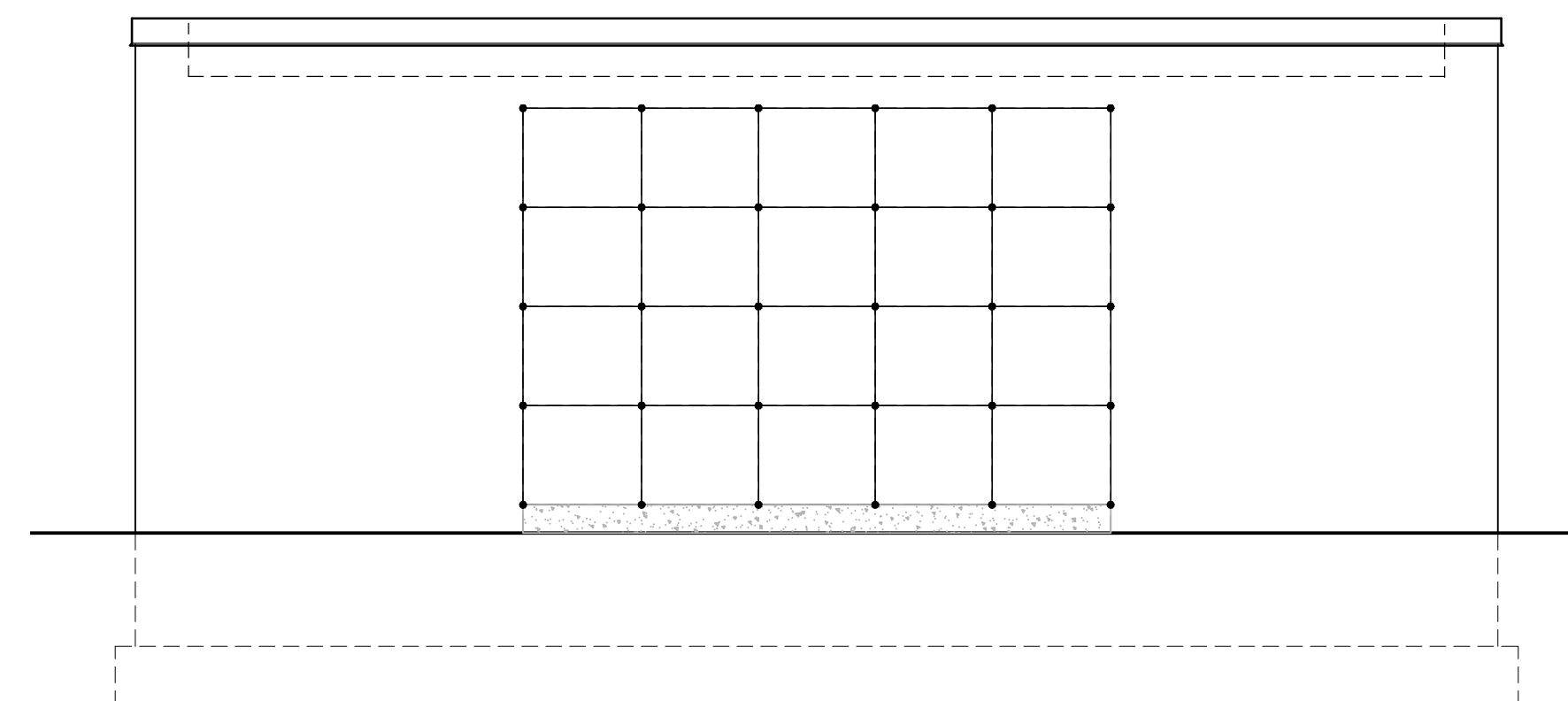
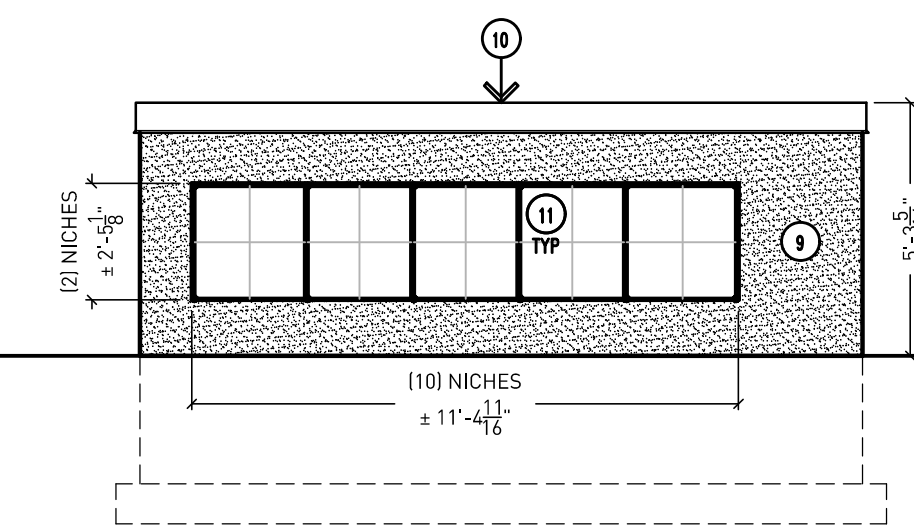
4 Low Niche Wall West Elevation
Scale: 1/4"=1'-0"

NOTE 1: LOW CRYPT WALL ON EAST SIDE (EAST ELEVATION) SIMILAR
NOTE 2: REFER TO 3/A3.10 FOR SIMILAR NOTES



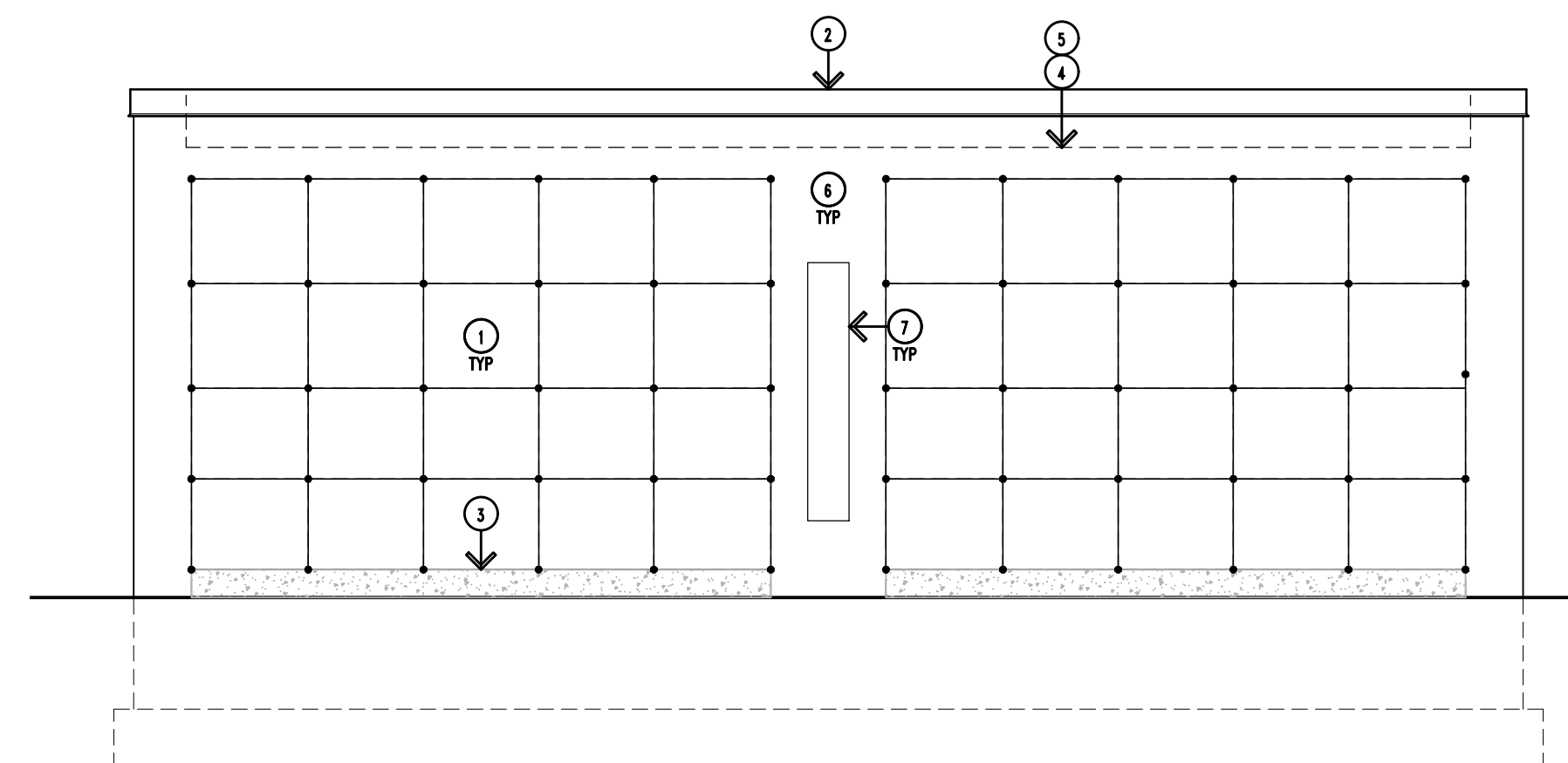
3 Low Niche Wall North Elevation
Scale: 1/4"=1'-0"

NOTE 1: LOW CRYPT WALL ON EAST SIDE (NORTH ELEVATION) SIMILAR
NOTE 2: REFER TO 3/A3.10 FOR SIMILAR NOTES



2 Unit B East Elevation
Scale: 1/4"=1'-0"

NOTE 1: UNIT B WEST ELEVATION AND UNIT C EAST & WEST ELEVATIONS SIMILAR
NOTE 2: REFER TO 1/A3.10 FOR SIMILAR NOTES



1 Unit B North Elevation
Scale: 1/4"=1'-0"

NOTE: UNIT B SOUTH ELEVATION AND UNIT C NORTH & SOUTH ELEVATIONS SIMILAR

Design Development Review: 27 September 2024

Exterior Elevations



City of Plymouth
Riverside Cemetery
Columbarium & Mausoleum Improvements

Project No. 3024

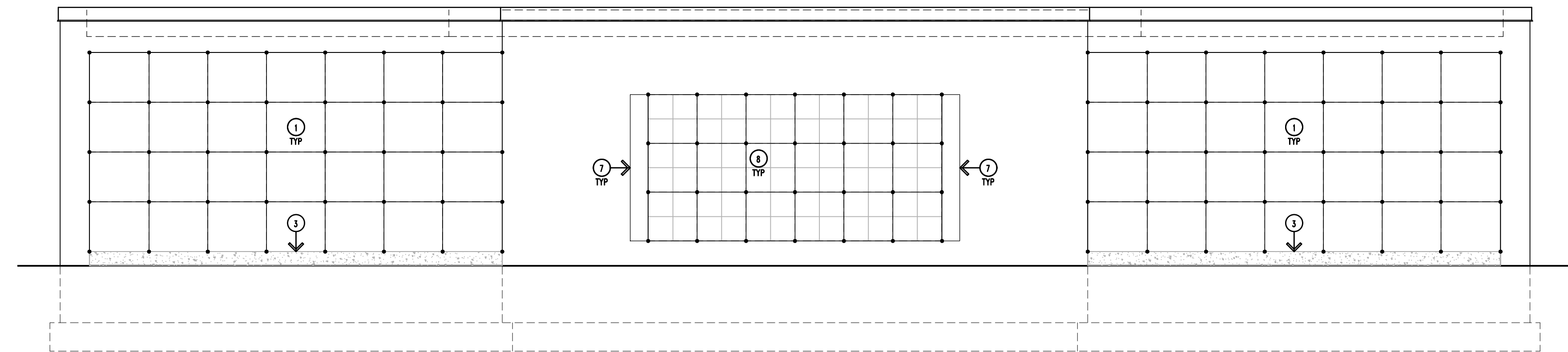
A3.10

GENERAL NOTES:

- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING ON THE WORK.
- G3. PROTECT ALL EXISTING ITEMS TO REMAIN FROM CONSTRUCTION OPERATIONS SO AS TO NOT CAUSE DAMAGE.
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- G9. INTENT IS FOR ALL DAMAGED LIMESTONE PIECES TO BE REMOVED AND REPLACED. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
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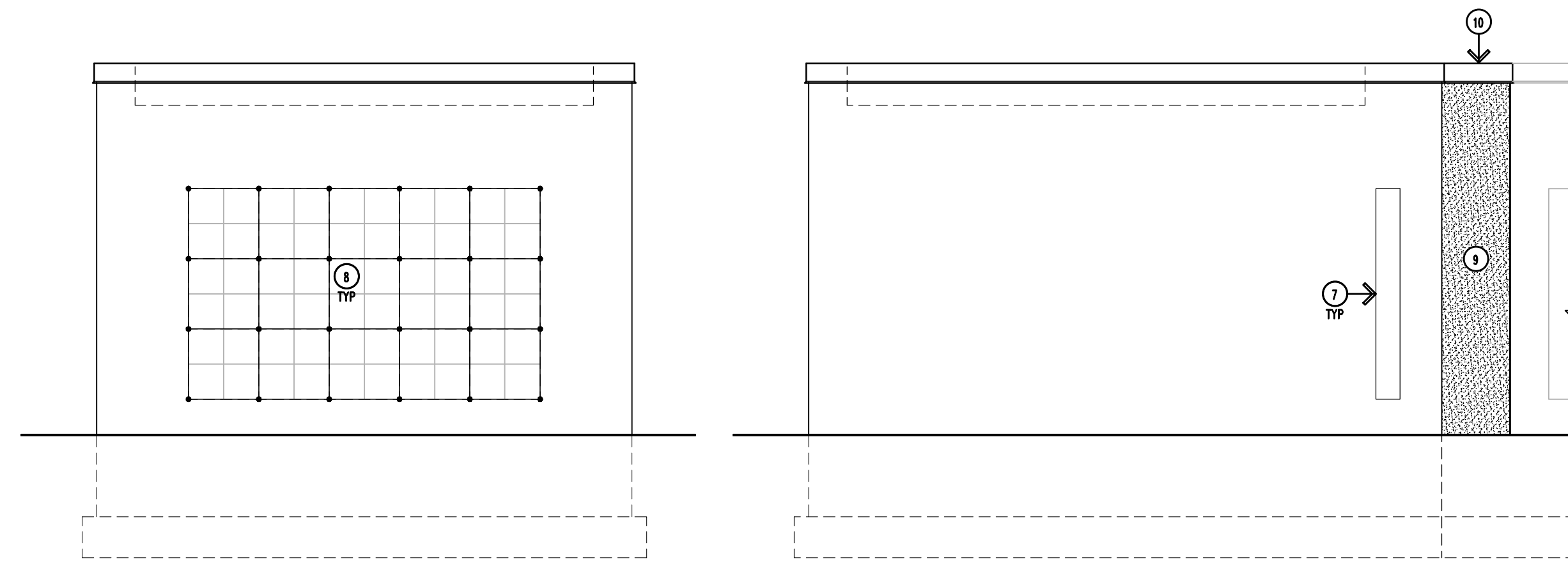
DRAWING NOTES:

- 1. REINSTALLED GRANITE CRYPT FRONT (OR SALVAGED GRANITE FRONTS) WITH NEW EXPOSED FASTENING SYSTEM.
- 2. PREFINISHED METAL CAP FLASHING WITH CONTINUOUS CLEAT ON BOTH SIDES. INTENT IS TO COVER EXISTING LIMESTONE CORING - CONTRACTOR TO FIELD VERIFY FACE HEIGHT REQUIRED (MIN. 6").
- 3. PRECAST CONCRETE SILL.
- 4. APPROXIMATE LINE OF CONCRETE ROOF DECK BEYOND.
- 5. ROOFING / INSULATION BEYOND - REFER TO ALTERNATE #--- FOR UNITS B AND C (UNITS A & D ARE BASE BID).
- 6. TUCKPOINT EXISTING LIMESTONE JOINTS FOR A LIKE NEW APPEARANCE.
- 7. INSTALL SEALANT AND FOAM BACKER ROD (AS REQUIRED TO SUIT CONDITIONS) AT EXISTING LOUVER JOINTS.
- 8. REINSTALLED GRANITE NICHE FRONT WITH NEW EXPOSED FASTENING SYSTEM. CONTRACTOR TO NOTE GRANITE NICHE FRONT COVERS FOR (4) NICHE.
- 9. LIMESTONE WALL PANELS WITH STAINLESS STEEL ANCHORS. PROVIDE 1/2" x 1 1/2" PLASTIC WEEP VENTS AT BASE OF WALL MAXIMUM 32" O.C.
- 10. PREFINISHED METAL CAP FLASHING WITH CONTINUOUS CLEAT ON BOTH SIDES.
- 11. GRANITE NICHE FRONT WITH EXPOSED FASTENING SYSTEM. CONTRACTOR TO NOTE GRANITE NICHE FRONT COVERS FOR (4) NICHE.
- 12. GLASS FRONT NICHE (ROUNDED END ON OUTSIDE ENDS OF EACH AREA).



8 Unit A West Elevation
Scale: 1/4"=1'-0"

NOTE 1: UNIT D EAST ELEVATION SIMILAR
NOTE 2: REFER TO 1/A3.11 FOR SIMILAR NOTES

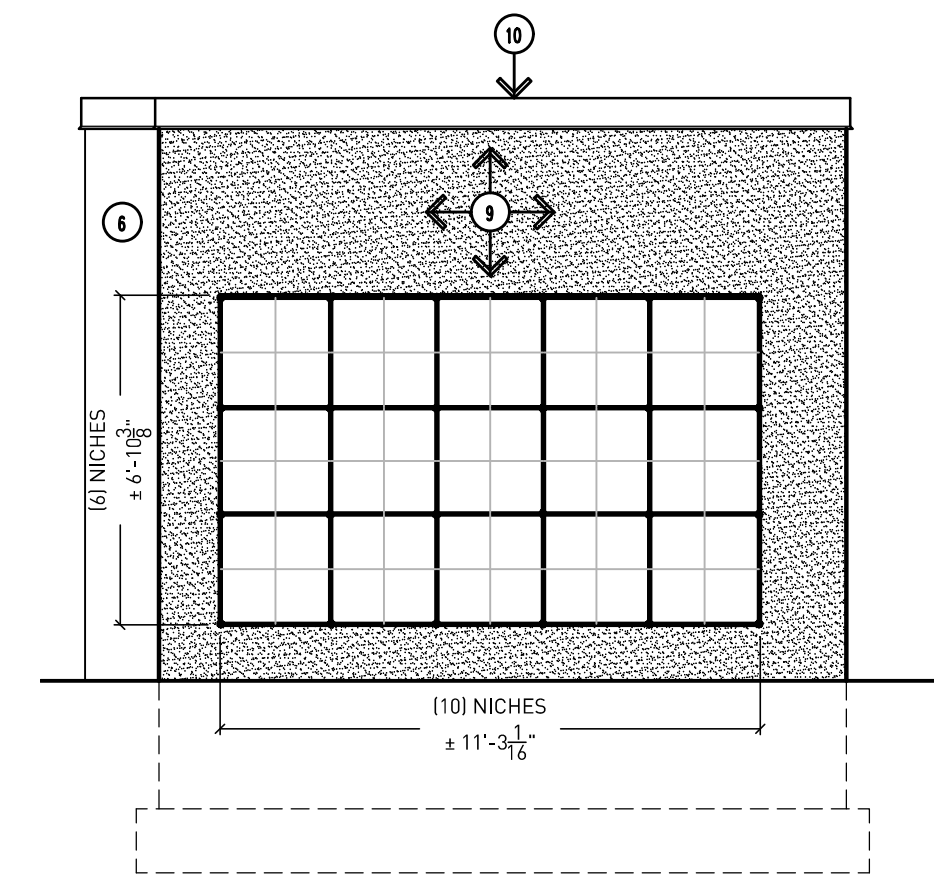


7 Unit A South Elevation
Scale: 1/4"=1'-0"

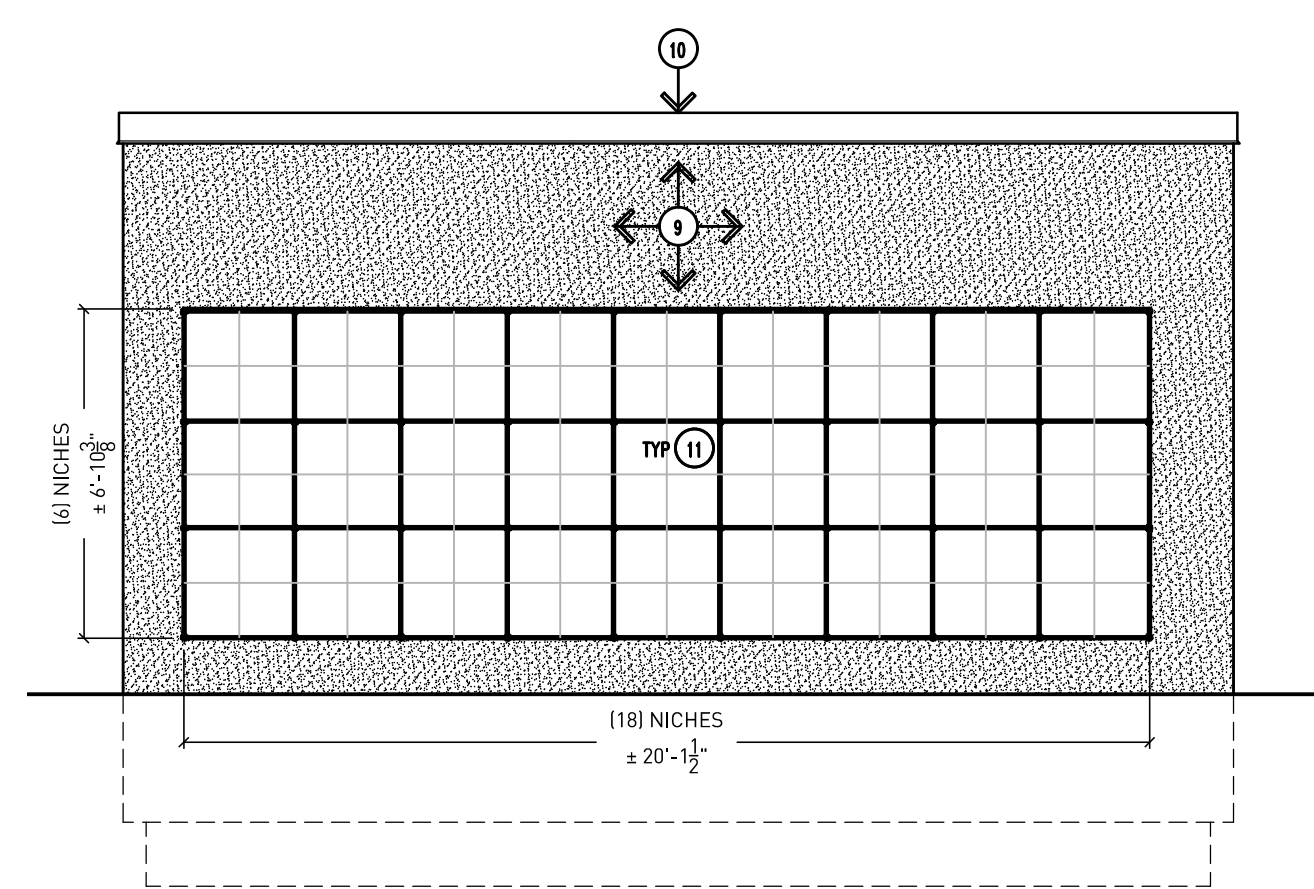
NOTE 1: UNIT D SOUTH ELEVATION SIMILAR
NOTE 2: REFER TO 1/A3.11 FOR SIMILAR NOTES

6 Unit A Partial East Elevation
Scale: 1/4"=1'-0"

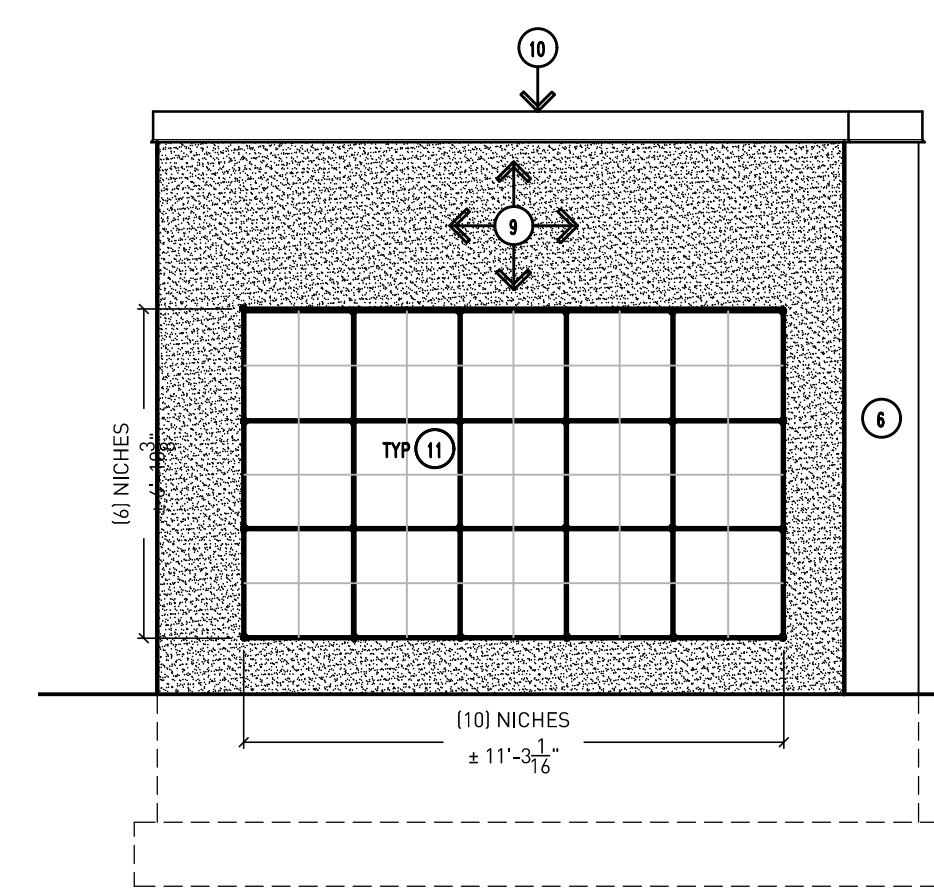
NOTE 1: UNIT D PARTIAL WEST ELEVATION SIMILAR
NOTE 2: REFER TO 1/A3.11 FOR SIMILAR NOTES



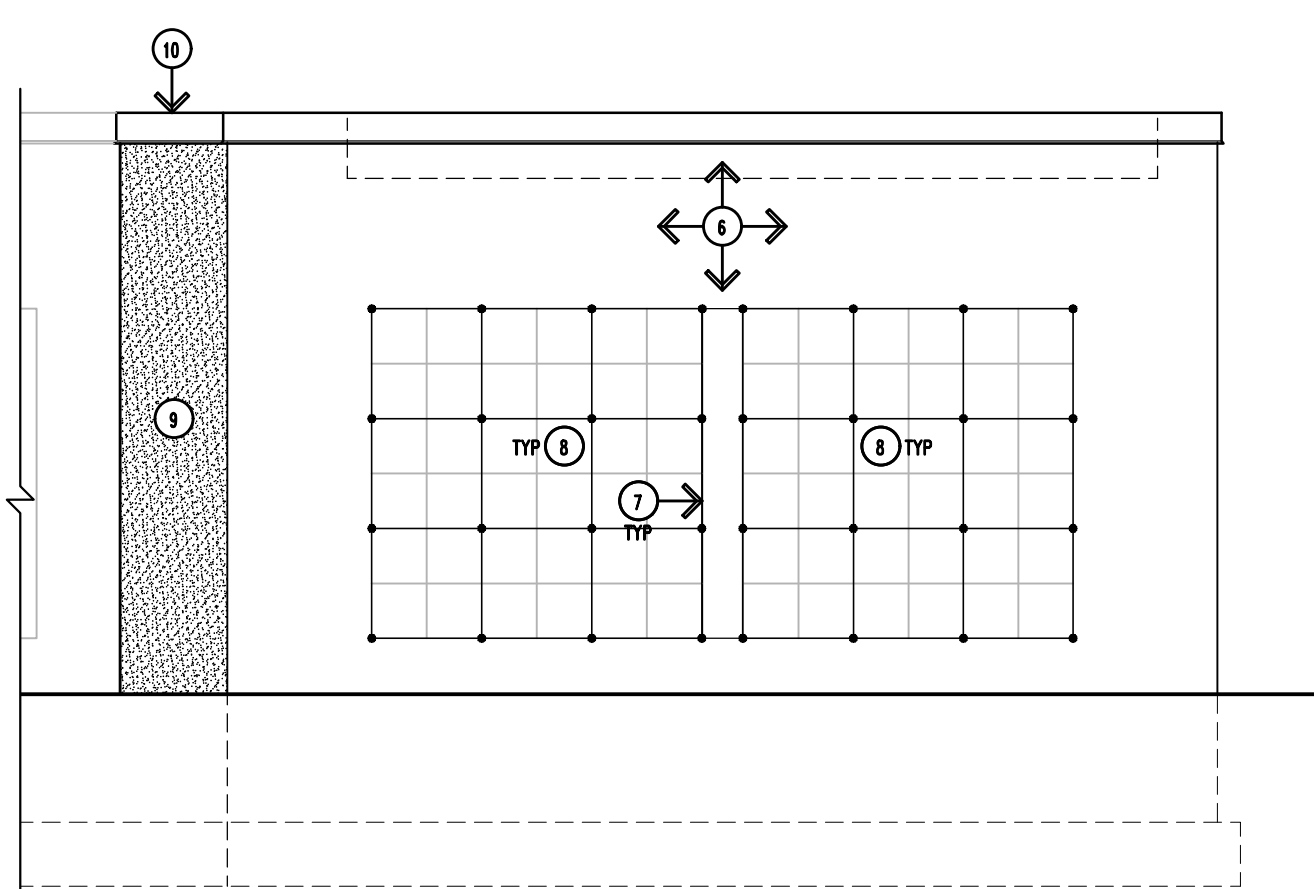
5 Unit A North Elevation
Scale: 1/4"=1'-0"



4 Unit A East Elevation
Scale: 1/4"=1'-0"

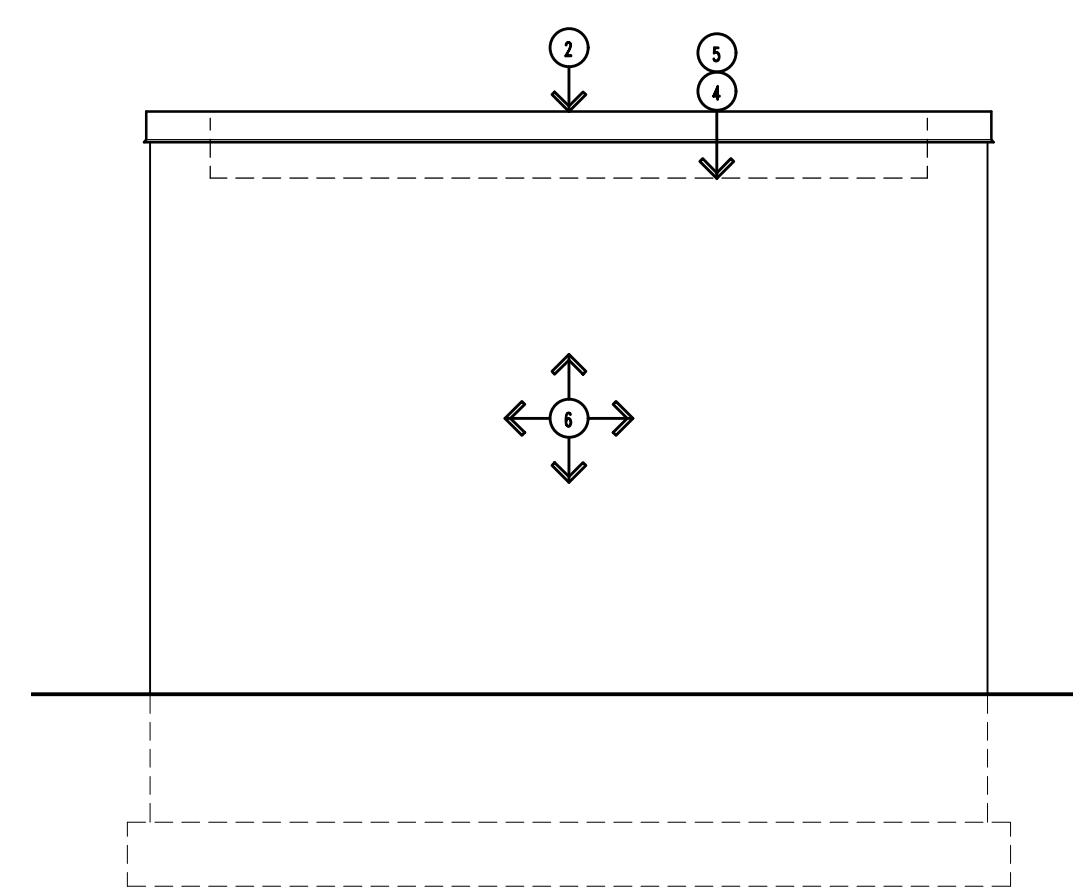


3 Unit A South Elevation
Scale: 1/4"=1'-0"



2 Unit A Partial East Elevation
Scale: 1/4"=1'-0"

NOTE 1: UNIT D PARTIAL WEST ELEVATION SIMILAR
NOTE 2: REFER TO 1/A3.11 FOR SIMILAR NOTES



1 Unit A North Elevation
Scale: 1/4"=1'-0"

NOTE: UNIT D NORTH ELEVATION SIMILAR

Design Development Review: 27 September 2024

Exterior Elevations



City of Plymouth
Riverside Cemetery
Columbarium & Mausoleum Improvements

Project No. 3024

A3.11

GENERAL NOTES:

- G1. DO NOT SCALE DRAWING. DRAWING SCALE IS SHOWN FOR GENERAL REFERENCE ONLY.
- G2. ---

REMOVAL NOTES:

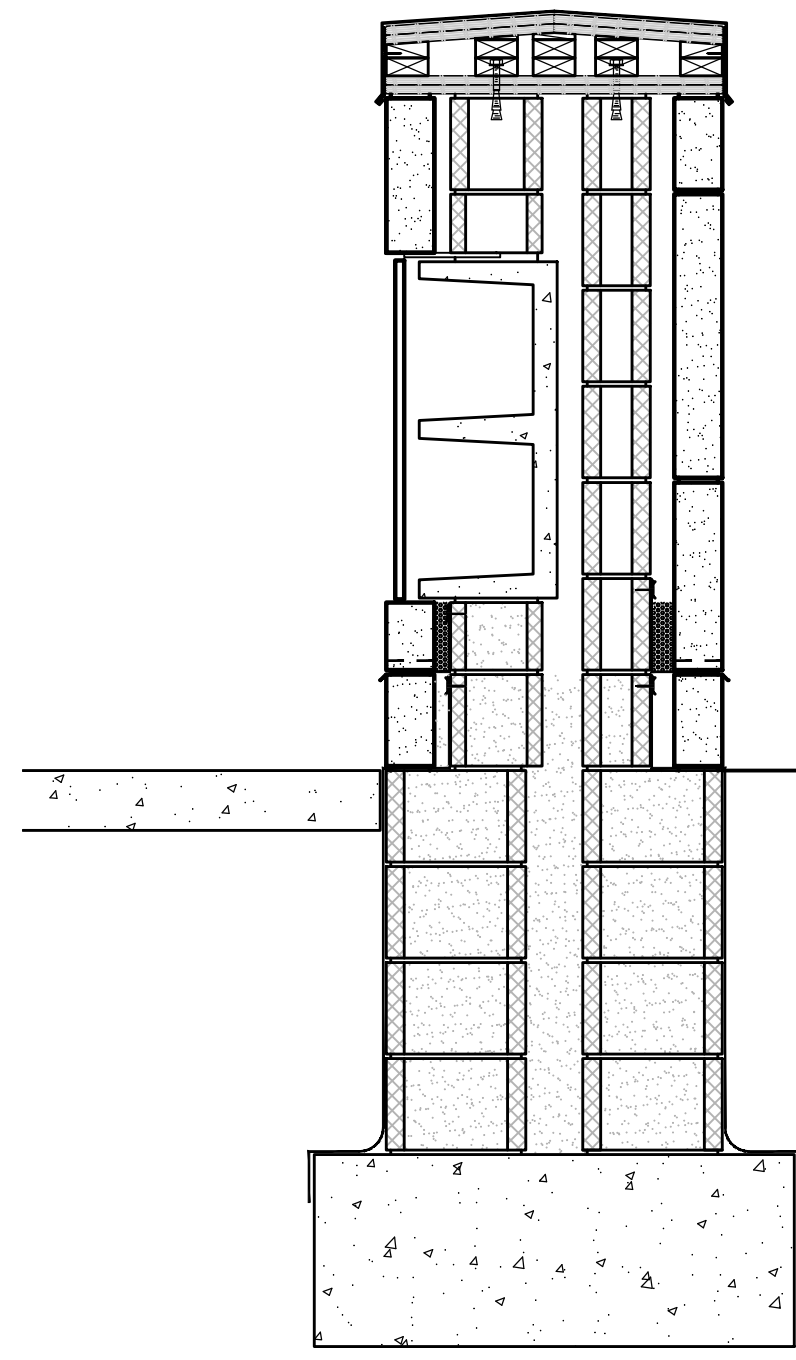
- R1. ---

EXISTING TO REMAIN:

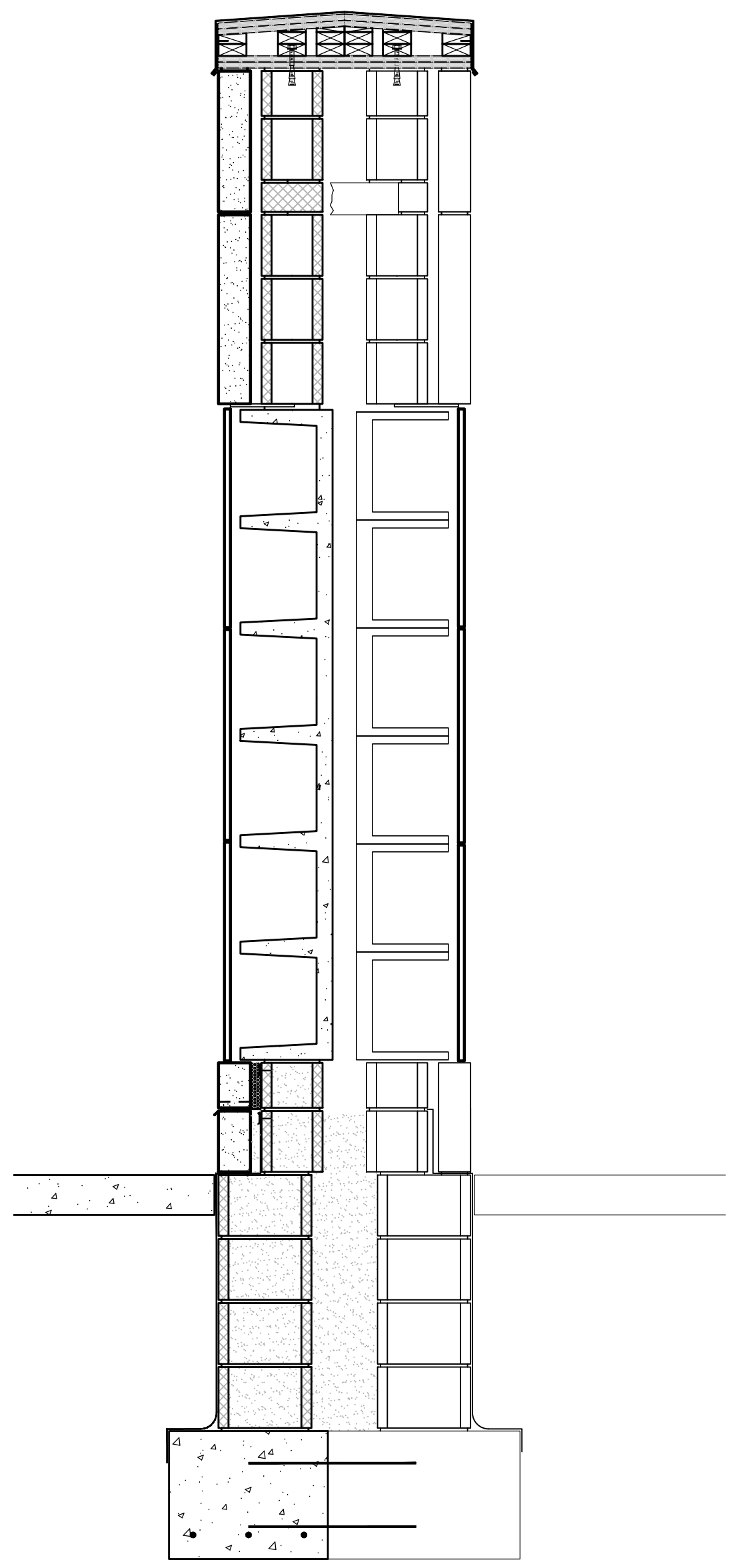
- E1. ---

DRAWING NOTES:

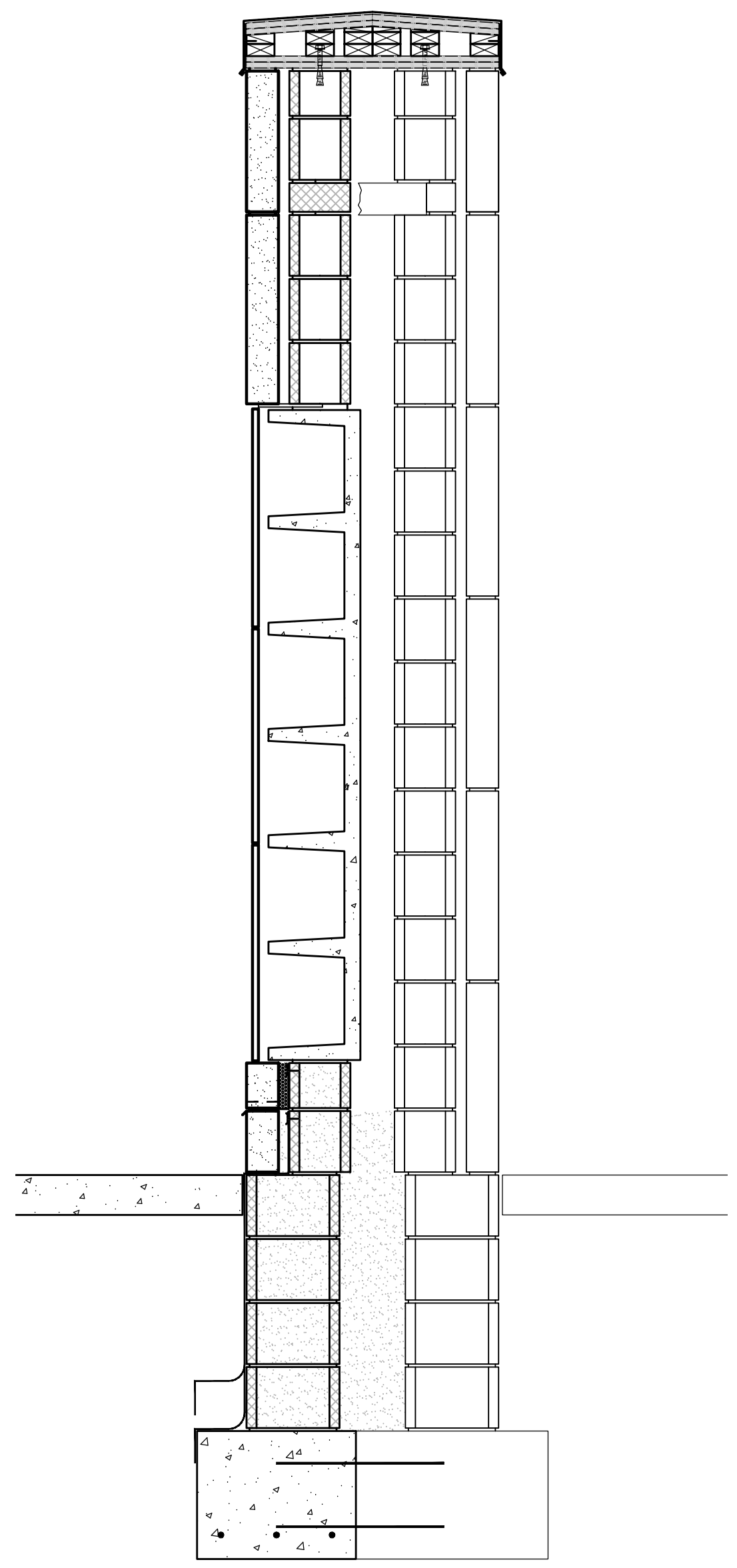
- 1. ---



3 Wall Section
Scale: 3/4"=1'-0"



2 Wall Section
Scale: 3/4"=1'-0"



1 Wall Section
Scale: 3/4"=1'-0"

Design Development Review: 27 September 2024



City of Plymouth
Riverside Cemetery
Columbarium & Mausoleum Improvements

Project No. 3024 A9.00

RESOLUTION #1

The following Resolution was offered by Trustee _____ and seconded by Trustee _____.

- WHEREAS The City of Plymouth owns and operates a public cemetery named Riverside Cemetery; and
- WHEREAS The Cemetery Board of Trustees has been discussing the future of the Mausoleum; and
- WHEREAS The City Commission approved the proposal from Ehresman Architects on May 20, 2024 for four phases of the project to include design, construction documents, bidding, and construction administration; and
- WHEREAS The Cemetery Board of Trustees reviewed the design development from Ehresman Architects.

NOW THEREFORE BE IT RESOLVED THAT the Cemetery Board does hereby recommend to the City Administration that construction documents be developed.

RESOLUTION #2

The following Resolution was offered by Trustee _____ and seconded by Trustee _____.

- WHEREAS The City of Plymouth owns and operates a public cemetery named Riverside Cemetery; and

- WHEREAS The Cemetery Board of Trustees has been discussing the future of the Mausoleum; and

- WHEREAS The City Commission approved the proposal from Ehresman Architects on May 20, 2024 for four phases of the project to include design, construction documents, bidding, and construction administration; and

- WHEREAS The Cemetery Board of Trustees reviewed the design development from Ehresman Architects.

NOW THEREFORE BE IT RESOLVED THAT the Cemetery Board does hereby recommend to the City Administration that construction documents be developed with the following changes:

- A.

- B.

- C.

- D.

- E.

RESOLUTION #3

The following Resolution was offered by Trustee _____ and seconded by Trustee _____.

WHEREAS The City of Plymouth owns and operates a public cemetery named Riverside Cemetery; and

WHEREAS The Cemetery Board of Trustees has been discussing the future of the Mausoleum; and

WHEREAS The City Commission approved the proposal from Ehresman Architects on May 20, 2024 for four phases of the project to include design, construction documents, bidding, and construction administration; and

WHEREAS The Cemetery Board of Trustees reviewed the design development from Ehresman Architects.

NOW THEREFORE BE IT RESOLVED THAT the Cemetery Board does hereby recommend to the City Administration that Ehresman Architects updates the design and bring new design development to a future Cemetery Board meeting.